



21b AINSWORTH WAY  
DESIGN & ACCESS STATEMENT  
REV.C (NOV 2022)  
JUNE 2022

21b AINSWORTH WAY

studio  
hagenhall

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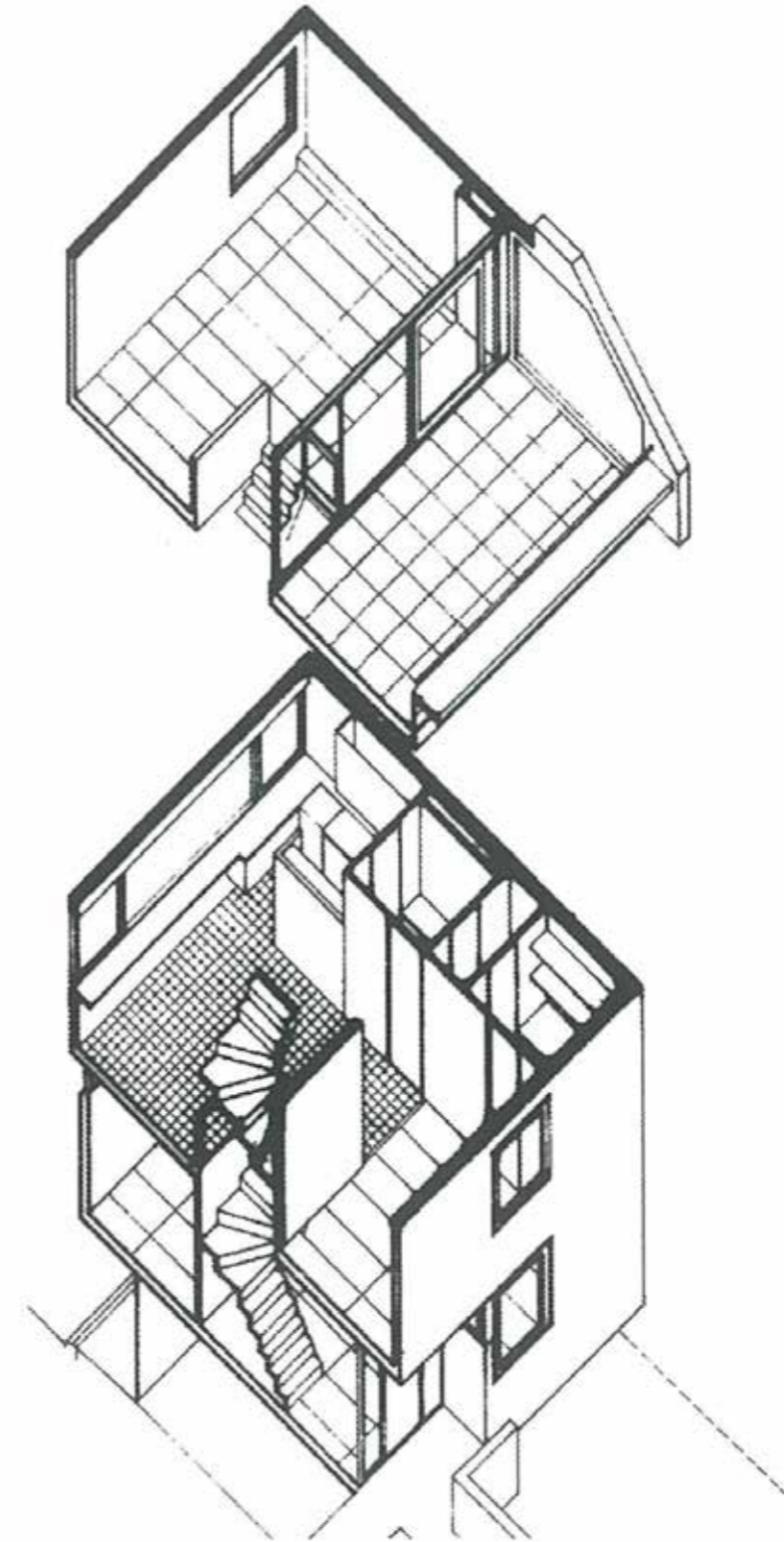
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3 - SURVEY

4 - PROPOSED WORKS / SPECIFICATION

5 - CONCLUSION



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# 1.0 INTRODUCTION

This design and access statement has been prepared in relation to, and in support of, Full Planning & Listed Building Consent applications for proposed works to 21b Ainsworth Way - a three story 'Block-C' house situated within the Grade II\* Listed Alexandra and Ainsworth estate.

The proposal aims to sympathetically refurbish the entire interior of the property (including the kitchen and bathrooms), which has been almost entirely altered from its original design, as conceived and realised by Neave Brown for Camden Council.

The document is to be read in conjunction with the following materials:

Location Plan

Block Plan

Existing & Proposed Plans/Elevations/Sections\_REV.C

Room Detail Sheets\_REV.C

21b AINSWORTH WAY



## 2.0 STATEMENT OF SIGNIFICANCE

The significance of the Grade II\* Listed estate, designed by Neave Brown in 1968, is best described in the Alexandra Road Estate Management Guidelines (Levitt Burnstein 2006). Below is a summary of its key features of significance:

*Designed in 1968 and built between 1972 and 1978 by the London Borough of Camden Architects Department, Alexandra Road Estate is one of the most ambitious examples of the innovative new social housing emerging from the Department at this time, and of new housing in Britain. Its architect was Neave Brown.*

*The street is the dominant element in the design and seen as a modern translation of the traditional London Street, where the sum of the whole exceeds the individual parts in creating a meaningful urban space. All dwellings are entered directly from the streets, which are freed of traffic by the parking garage provided at low level. At Alexandra Road, Rowley Way can be seen as one of the most successful examples of the segregation of traffic and the pedestrian, and it remains a successful social space.*

*The construction of the Estate is of white board marked concrete with areas of self-coloured render. The predominant materials are light in colour with contrasting joinery, inside and out. Concrete was the natural material from which to form the large, complex section, and the areas of self-coloured render are a reference to the Regency terrace. At Alexandra Road the quality and detailing of the materials is high. The care devoted to the internal fittings was perhaps unique amongst local authority departments at this time.*

*The quality and importance of the estate has been widely recognised both in England and abroad. It is a powerful icon of the optimism and idealism that underpinned post-war public sector architecture. It continues to be regularly visited by architectural students and practitioners.*

## 2.0 STATEMENT OF SIGNIFICANCE

The Alexandra Road Estate is split into three 'Blocks'. 21b Ainsworth Way is located in the most southern part of the estate, in 'Block C'. Block C is unique to blocks A and B as it occupies all three floors of the block offering a spacious 3 three story dwelling.

The exterior of the home is largely unaltered and still retains the original fenestration, front door and ironmongery. The front garden, steps and balcony arrangement, are all unaltered and therefore of highest significance.

Internally, Neave Brown's original layout and design intent has been greatly altered, with the original open plan and sliding doors now replaced with dividing partition walls and swing doors; all original fixtures, fittings and finishes have been removed and replaced with unsuitable and unsympathetic modern equivalents in alternative configurations.

The only original, partial remaining, element is the staircase (treads, balustrade and handrail), however the stair treads have been covered in carpet and the balustrade and handrails have been decorated in non-original painted finish. In some areas, the balustrades and handrails have been removed entirely, or built over.

As such, the majority of the interior of 21b Ainsworth way is of low historic and architectural significance

It is unclear whether these changes were made before or after the building was designated Grade II\* Listed status in 1993. An application to alter the configuration of the property was approved on **19/09/1996** (application number **L9602520R1 - case file J6/3/14**), which illustrates a similar layout to the current/existing condition, but it is unclear to what extent the original fabric was altered prior to or after this application, due to a lack of existing information.

The following pages of this section include the available documents pertaining to the 1996 approved application.

**Planning (Listed Buildings and Conservation Areas) Act 1990**

Please read accompanying notes before answering any questions. Please complete all sections in BLOCK CAPITALS. Please answer every question. Five copies of the completed form and five sets of drawings (as specified in Note 6) are required.

I apply for listed building consent and declare that to the best of my knowledge all the information contained in this application form is correct.  SIGNED <u>M. A. Mohamed</u> Applicant/Agent.  DATE <u>6.8.96</u>	<b>FOR OFFICE USE</b> Case File:  Reg. No. HB/  Date Rec'd
---	---

<b>1. Applicant</b> Name: <u>Mr. A. MOHAMED</u> Address: <u>21 B AINSWORTH WAY</u> <u>LONDON NW8</u> Post Code: <u>0SR</u> Tel. No: <u>0171-7241656</u>	<b>Agent</b> (if any) to whom correspondence will be sent. Name: <u>DESIGN ASSOCIATES</u> Address: <u>75 ABBEY ROAD</u> <u>LONDON NW8</u> Post Code: <u>OAF</u> Tel. No: <u>0171-6255471</u>
---	--

<b>2. Address of Application Site</b> <u>21 B AINSWORTH WAY NW8</u> <small>Tick appropriate box</small>	Grade of Building		
	I	II*	II

<b>3. Description of Proposed Works</b> a. Does the proposal involve demolition of listed building(s)? (if yes, specify buildings or parts of buildings affected): <u>Proposed internal alterations</u>		YES COMPLETE <input type="checkbox"/> YES PARTIAL <input checked="" type="checkbox"/> NO <input type="checkbox"/>
b. Will there be alterations and/or extensions to listed building(s)? (if yes, give a brief description of works proposed, both internal and external): <u>Refurbishment of kitchen &amp; Bathroom</u>		YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
c. Does the proposal relate to a variation or discharge of conditions on a listed building consent? If "Yes", specify: Date of decision: _____: Registration No. _____ / _____ Details of the relevant condition: _____		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

<b>4. Alterations or Extensions</b> (to be answered only if works involve alterations or extensions) Materials - specify type & colour of materials & applied finishes where applicable to: Walls & Roof: <u>Exposed brick partition</u> Windows & Doors: <u>To match</u> Internal surfaces: <u>Woodwork and handrail to match existing finishes</u>	
---	--

<b>5. Submission of Application for Planning Permission or Advertisement Consent</b> Has an application for planning permission been submitted in respect of the proposed works? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> If no, please state reason: <u>Internal alteration to existing flat</u> Has an application for advertisement consent been submitted in respect of the proposed works? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
---	--

<b>6. Plans and Drawings</b> List all drawings submitted for approval. Five copies of each drawing will be required unless the application is submitted in conjunction with a planning application. In such a case, provided that the drawings for each application are identical, one set will be sufficient. <u>576/1A</u>
--

London Borough of Camden  
Town Hall  
Argyle Street  
London WC1H 8EQ  
Tel 0171 278 4444  
Fax 0171 860 5713

Design Associates,  
75 Abbey Road,  
London,  
NW8 OAF

Application No: L9602520R1  
Case File: J6/3/14

2nd October 1996

Dear Sir(s)/Madam

**DECISION**

Planning (Listed Buildings and Conservation Areas) Act 1990  
Planning (Listed Buildings and Conservation Areas) Regulations 1990

GRANT LISTED BUILDING CONSENT - Subject to Conditions

Address : 21B Ainsworth Way, NW8

Date of Application : 19/09/1996

Proposal :

**Internal alterations,  
as shown on drawing no. 576/1B.**

The Council has considered your application and decided to grant consent subject to the following conditions:

Standard condition:  
The development hereby permitted must be begun not later than the expiration of five years from the date on which this consent is granted.

Standard Reason:  
In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990

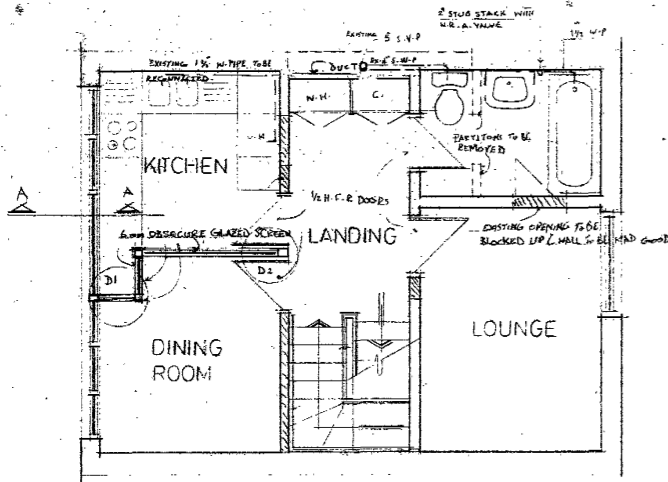
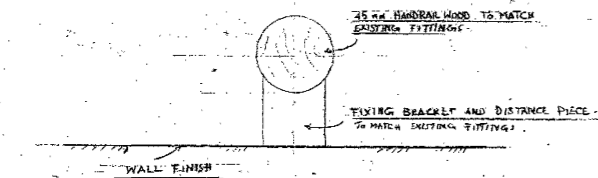
Additional conditions:

- The works hereby approved are only those specifically indicated on the drawing(s) referred to above.
- That all new works and works of making good to the retained fabric, whether internal or external, shall be finished to match the adjacent work with regard to the methods used and to material, colour, texture and profile.

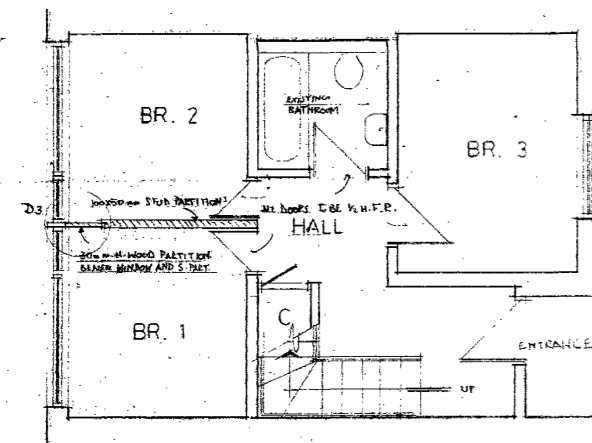
Director Mark Gilks BA(Hons), M.Soc.Sc., MRTPI

NOTES

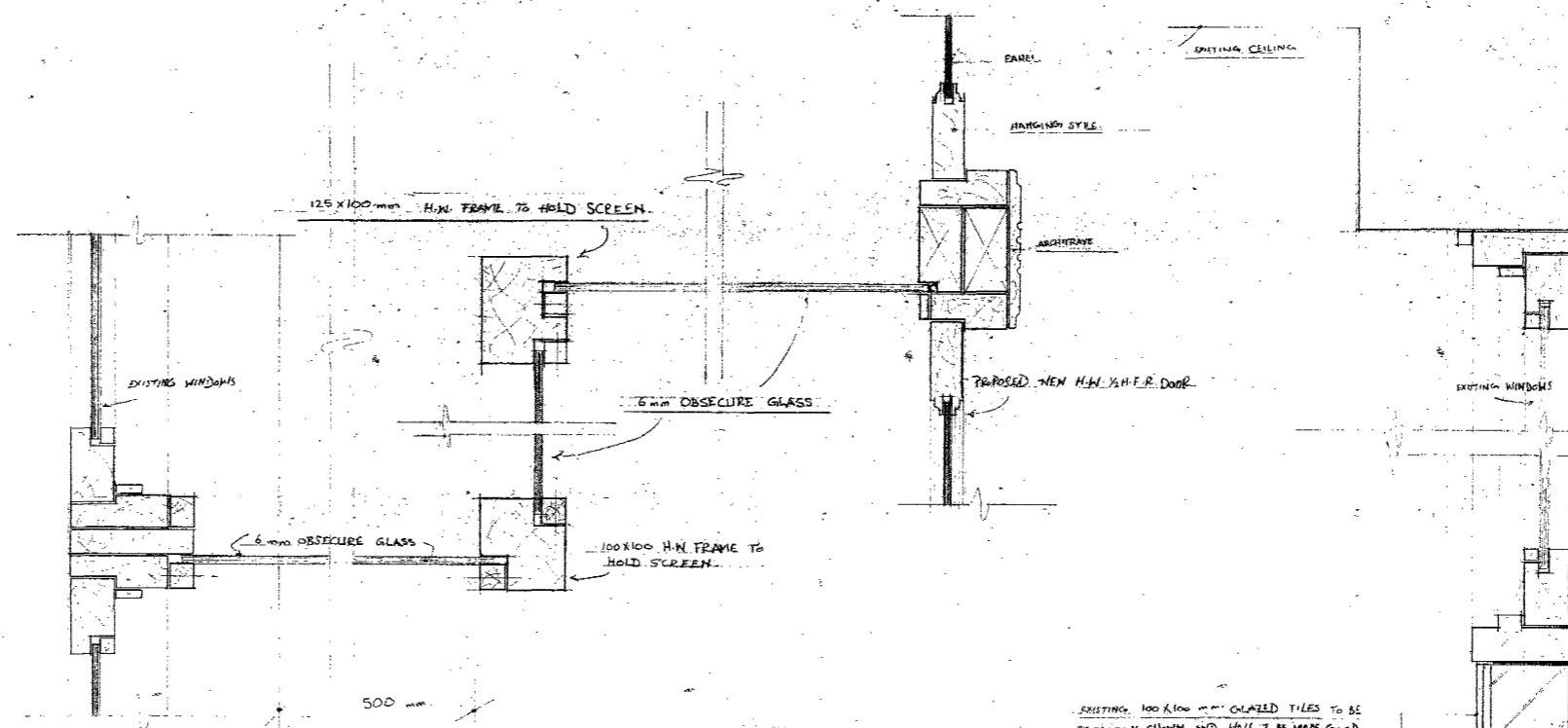
HANDRAIL DETAIL 1/2



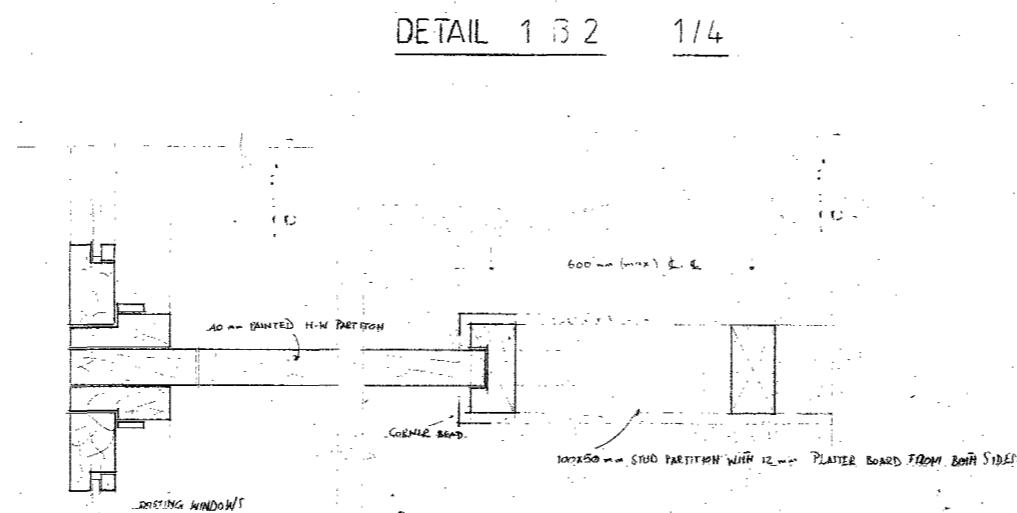
FIRST FLOOR PLAN



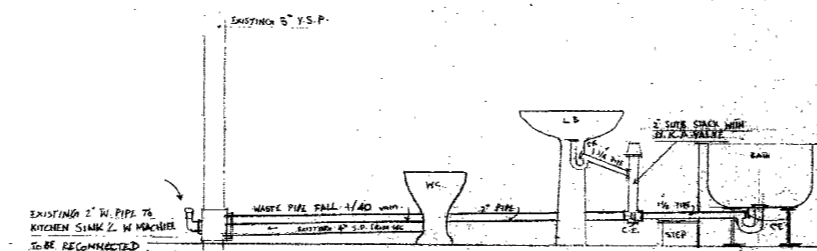
GROUND FLOOR PLAN



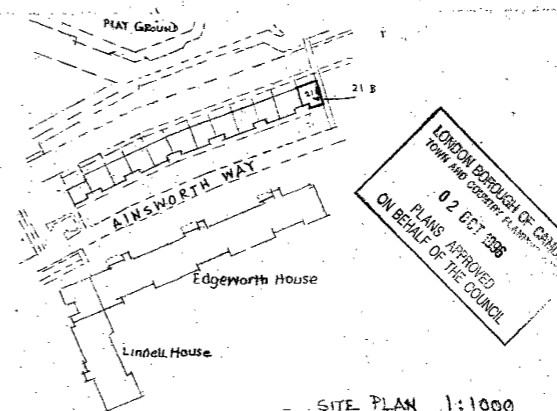
SECTION A-A 1/4



DETAIL 3 1/4



DRAINAGE DETAIL 1/20



SITE PLAN 1:1000

REV	DATE	BY	CHK	REVISION
1				

DRAWING TITLE	
GROUND & FIRST FLOOR PLAN AND DETAILS	
CLIENT	
MR. A. MOHAMED	
PROJECT	
PROPOSED ALTERATIONS AT	
LONDON BOROUGH OF CAMDEN	
21 B AINSWORTH WAY	
REC: 19 SEP 1996	
LONDON NW.8	

Design Associates	
CHARTERED ARCHITECTS	
75 ARLEY ROAD LONDON W15 6AA	
TEL: 011-625 5471 FAX: 011-625 4755	
DRAWING No	576/1
Scale	1:50 1:10 1:20
DATE	AUG 96

L9602520R1

## 3.0 SURVEY

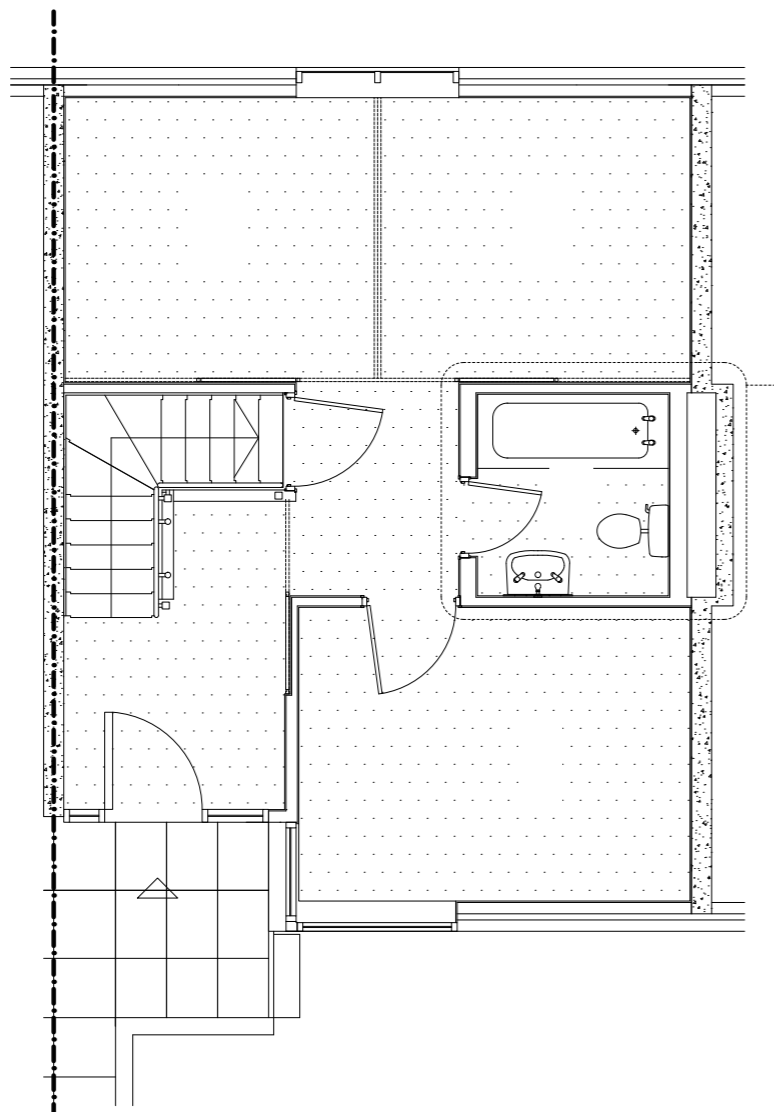
This section aims to illustrate the current condition of the property, to what extent the original fabric and design intent has been lost, how the current plan deviates from the original Neave Brown design, and where any original elements remain in place.

Each floor is assessed in terms of how it deviates from the original layout, followed by a closer look at the existing fittings, fixtures and finishes.

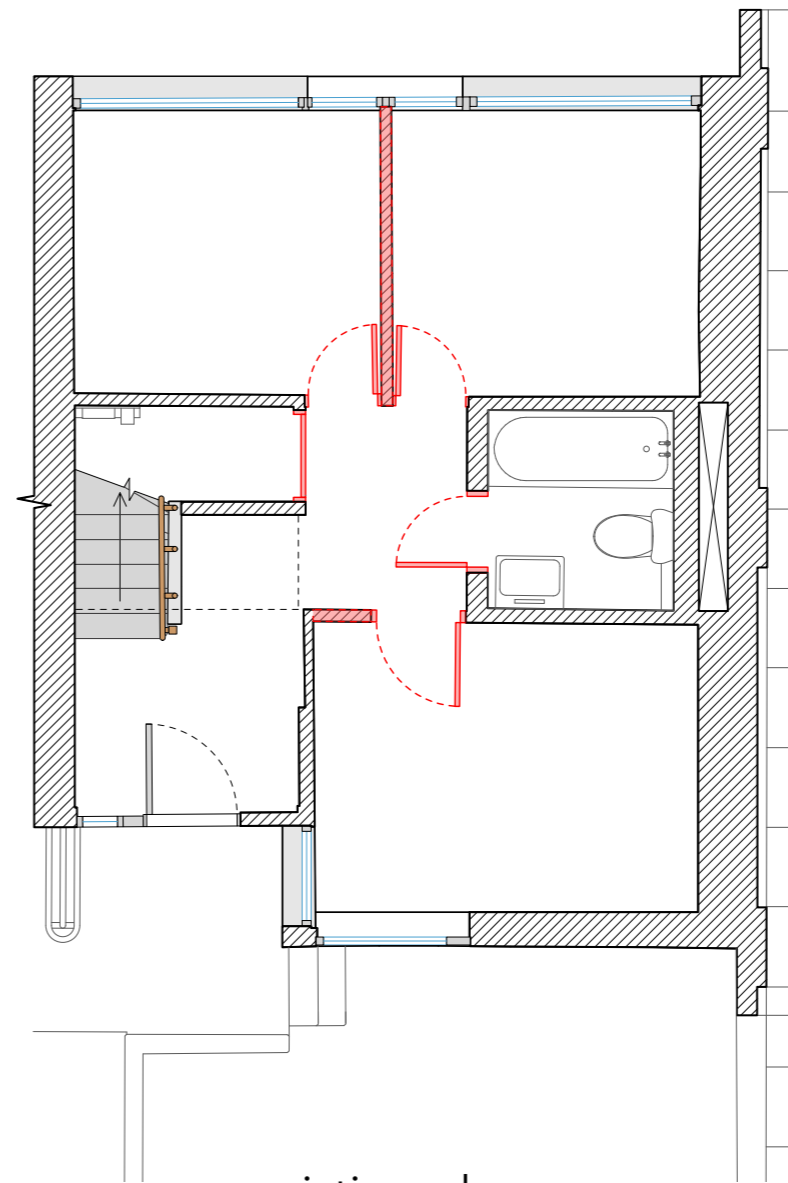
# 3.1 SURVEY

## Ground Floor\_original vs existing layout

In its current state, the Ground Floor layout of 21b Ainsworth Way (right) bears some resemblance to Neave Brown's original design (left). However, the original sliding doors have been removed and replaced with a fixed stud wall and regular swing doors, and the original room dividing sliding partition has been removed and replaced with a fixed stud wall. All doors, frames and floor and wall finishes are non-original. The layout of the bathroom resembles the original layout to some extent, but there are no traces of the original fixtures, fittings or finishes. The original stair remains in its original position and largely intact, albeit with altered finishes.



original Neave Brown plan



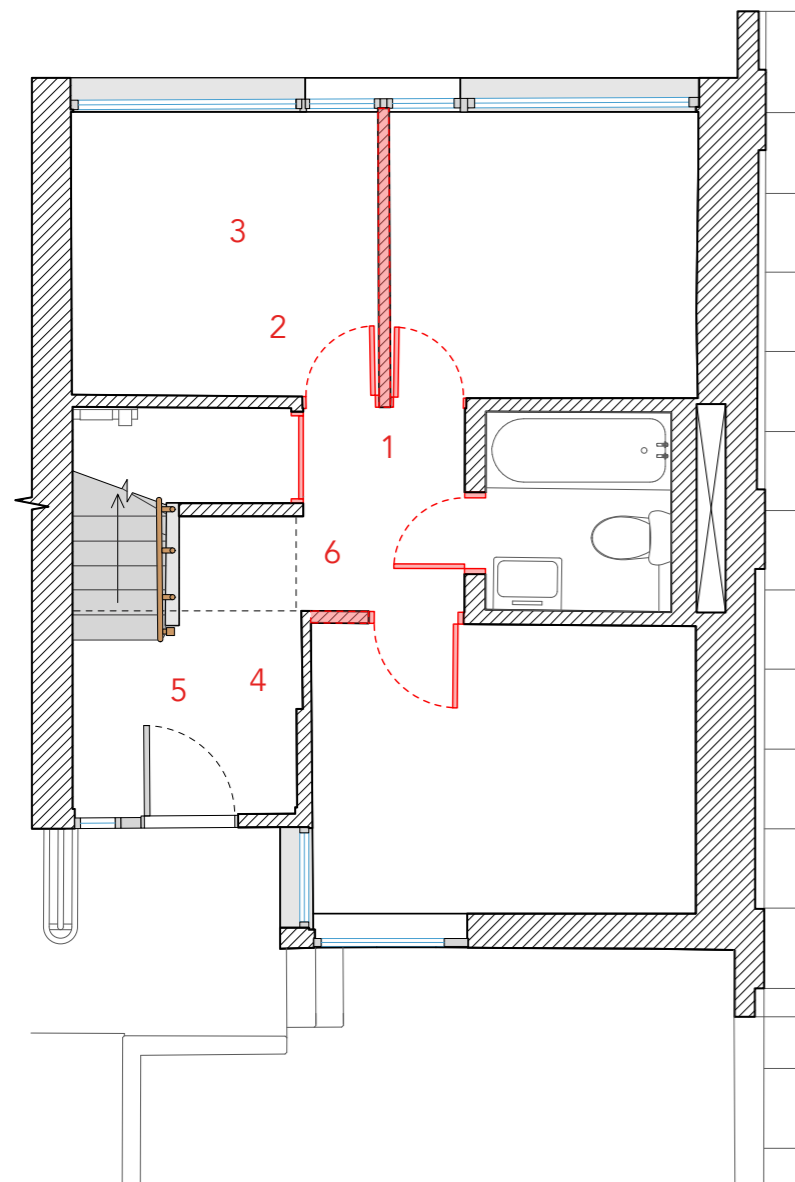
existing plan

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# 3.1 SURVEY

## Ground Floor\_existing hallway & bedroom



1. floor to ceiling sliding doors + track missing, replaced with wall + two swing doors/frames



2. dividing partition wall in the bedroom with non-original door + frame to hallway



3. original dark painted windows now painted white, walls covered in wallpaper



4. recess where sliding door + track would have been located in hallway



5. original stair treads covered in carpet, original balustrade + handrail painted over



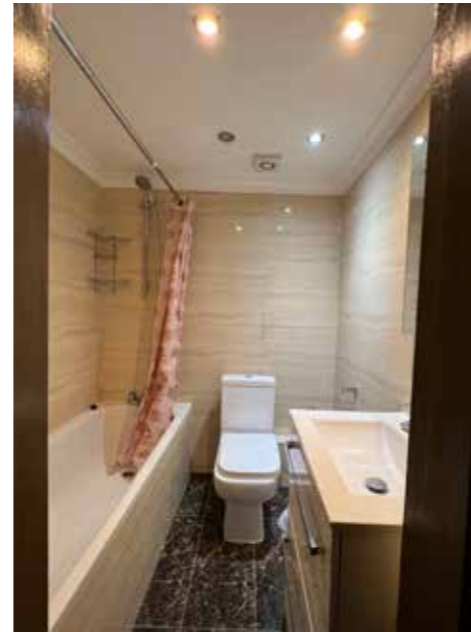
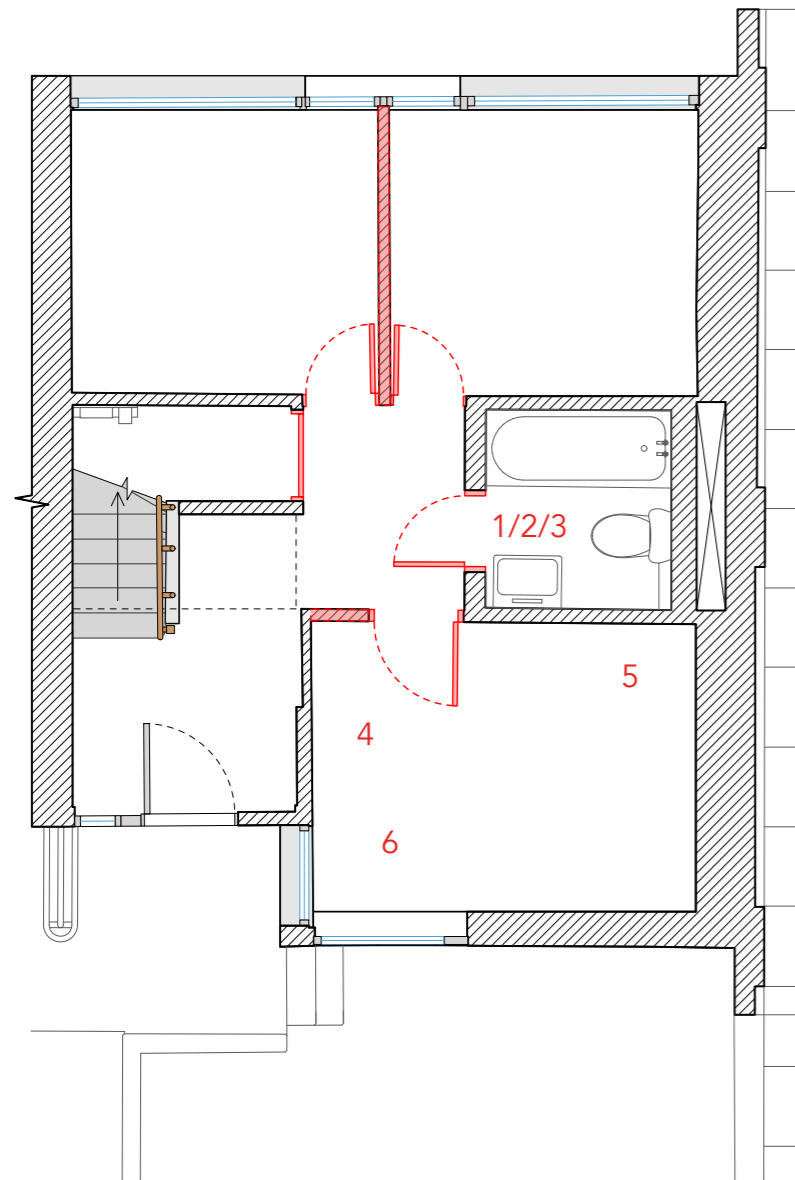
6. non-original door + frame to bathroom - note non-original floor finish throughout

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# 3.1 SURVEY

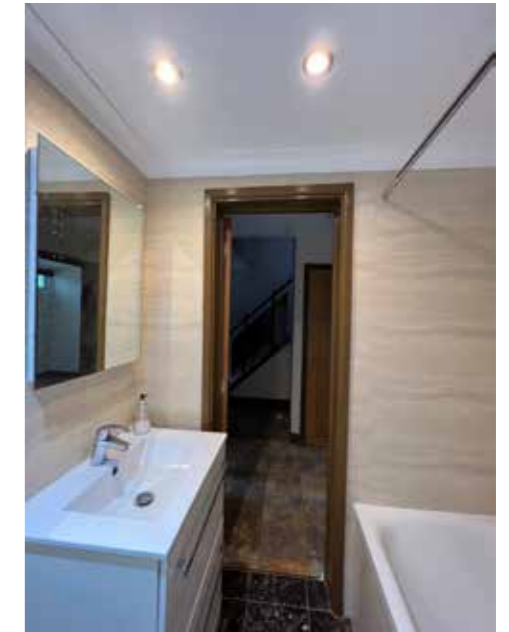
## Ground Floor\_existing bathroom & bedroom



1. all original fittings, fixtures + finishes missing, replaced with unsympathetic equivalents.



2. all original fittings, fixtures + finishes missing, replaced with unsympathetic equivalents.



3. all original fittings, fixtures + finishes missing, replaced with unsympathetic equivalents.



4. original dark painted windows now painted white, walls covered in wallpaper



5. original dark painted windows now painted white, walls covered in wallpaper



6. non-original door + frame - note non-original floor finish throughout

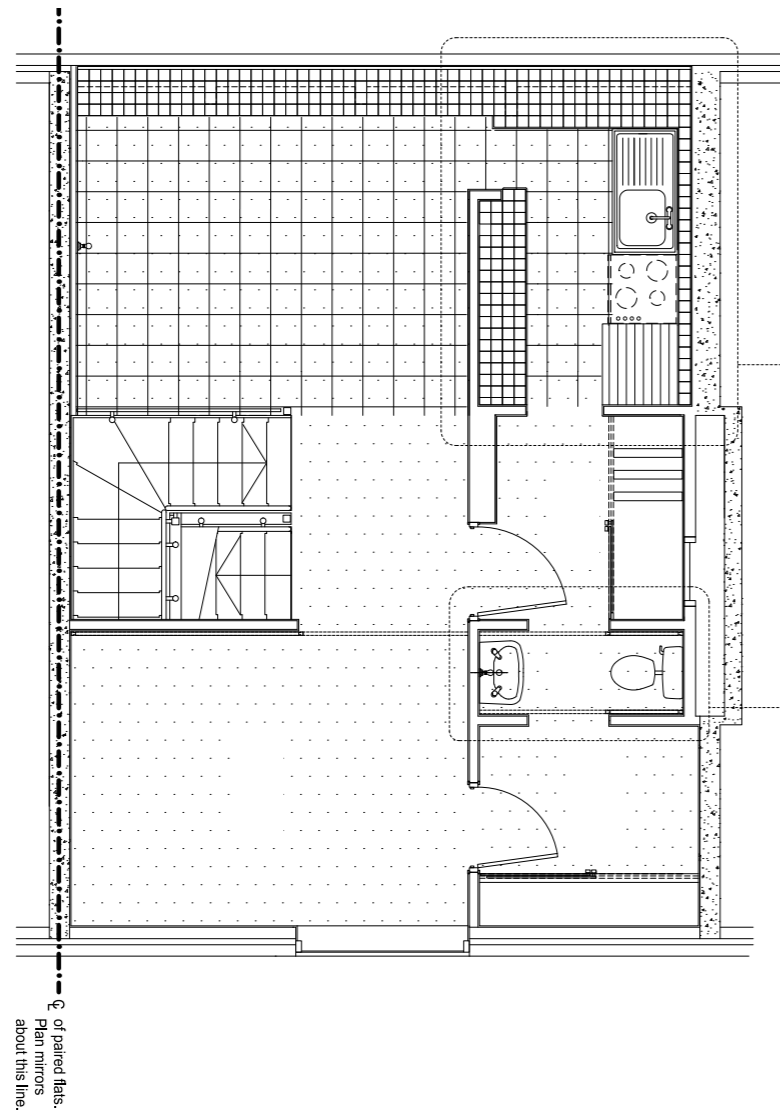
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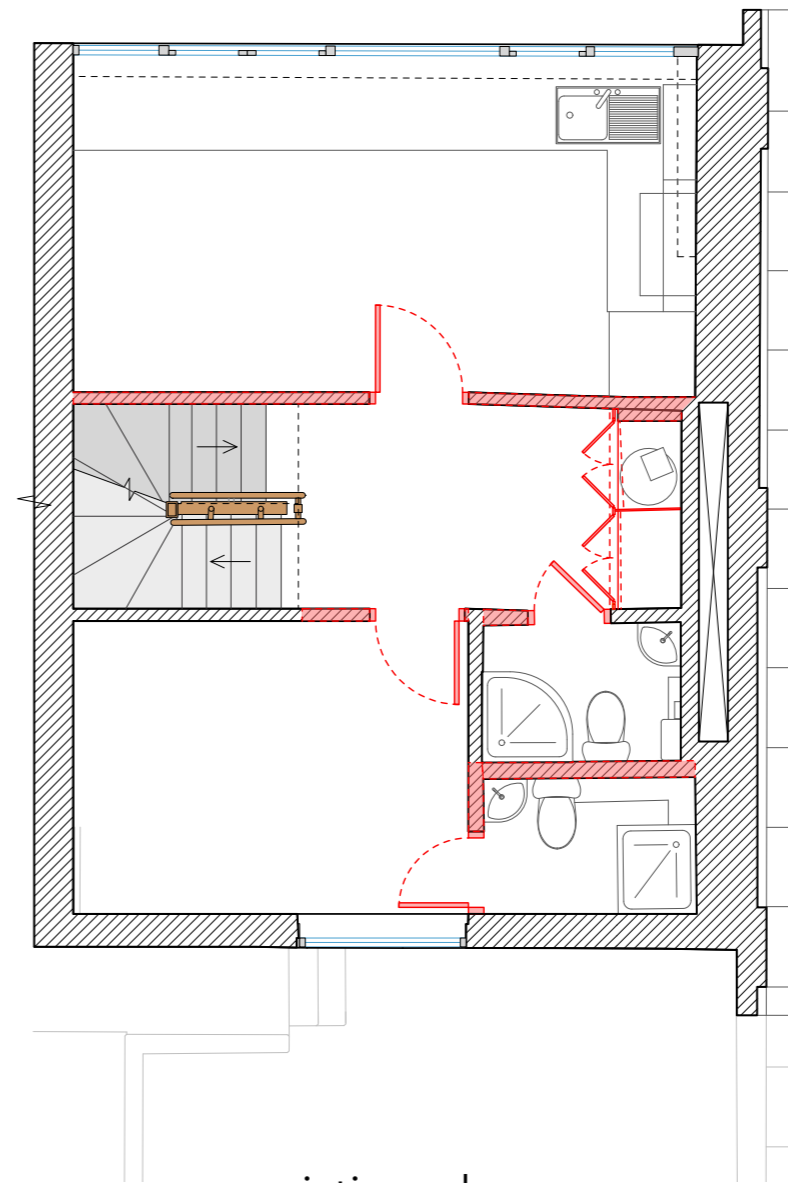
## 3.2 SURVEY

### First Floor\_original vs existing layout

The First Floor layout of 21b Ainsworth Way (right) bears very little resemblance to Neave Brown's original design (left). The original open plan configuration has been completely lost, with a stud wall separating the stair and kitchen/dining area - as a result, the original stair balustrade between the dining area and stair has been removed. The original sliding door to the bedroom has been removed and replaced with a standard swing door and frame, set in a stud wall. The entirety of the original kitchen, including fittings and fixtures, has been demolished and replaced over time. The larder layout and joinery has been completely removed. The original bathroom is no longer present, either in configuration or materiality, while a second non-original bathroom and partition wall have been added in place of the original dressing room.



original Neave Brown plan

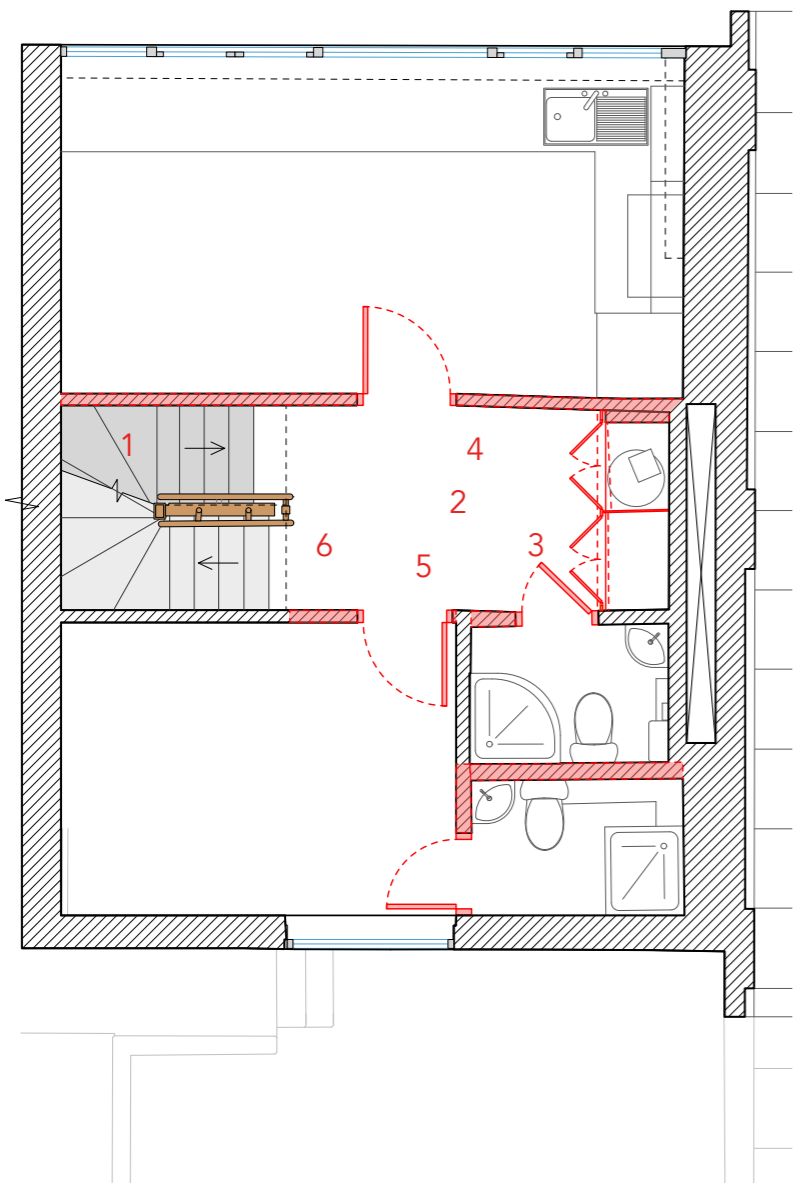


existing plan

21b AINSWORTH WAY

# 3.2 SURVEY

## First Floor\_existing landing/hallway



1. original stair treads covered in carpet, original balustrade + handrail painted over



2. original hot water tank in non-original joinery, original utility wall no longer present



3. original asbestos service void access panel to be replaced with modern equivalent



4. non-original wall + door + frame, original stair balustrade no longer present, note non original floor finish



5. non-original wall + door + frame, original sliding door + track not present



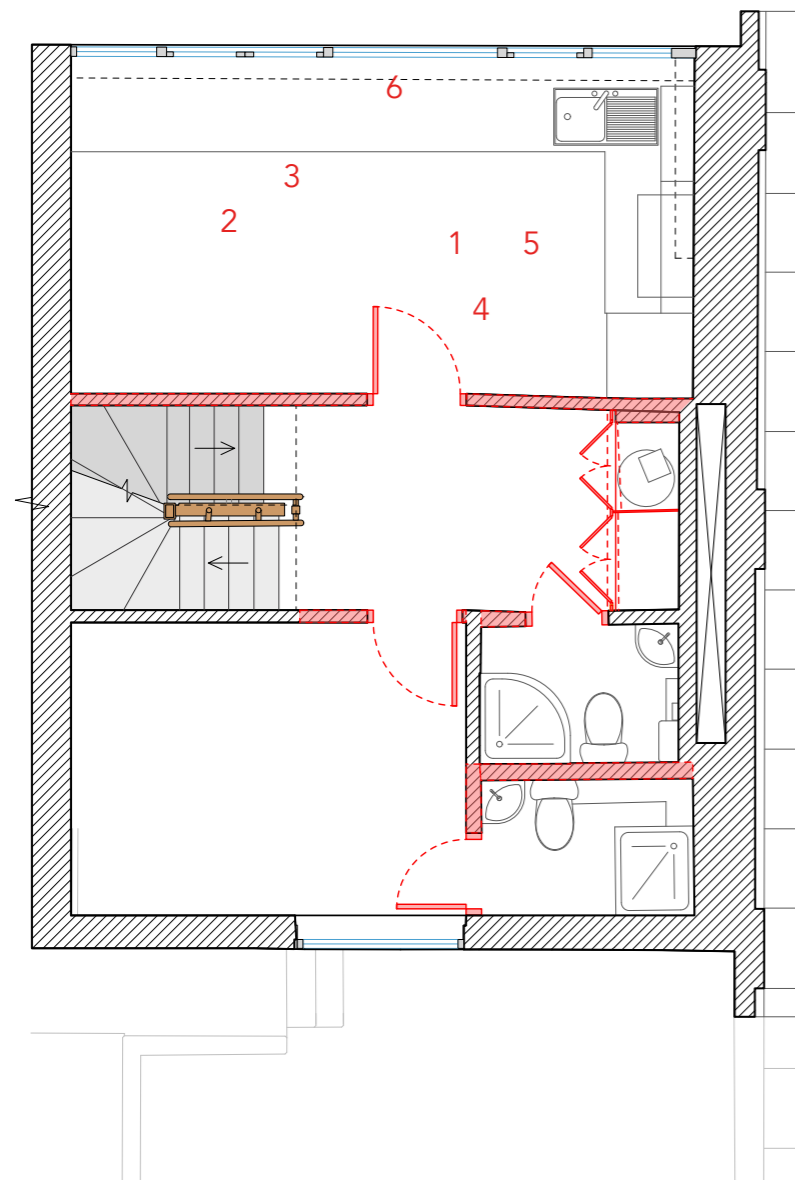
6. original balustrade + handrail painted over

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## 3.2 SURVEY

### First Floor\_existing kitchen



1. original window storage + tile counter removed, original stair balustrade removed



2. original window storage + tile counter removed, note non-original floor finish



3. original window storage + tile counter removed, non-original wall + door + frame



4. non-original wall + door + frame, original stair balustrade no longer present



5. all original kitchen fittings + fixtures removed and replaced with unsympathetic equivalents



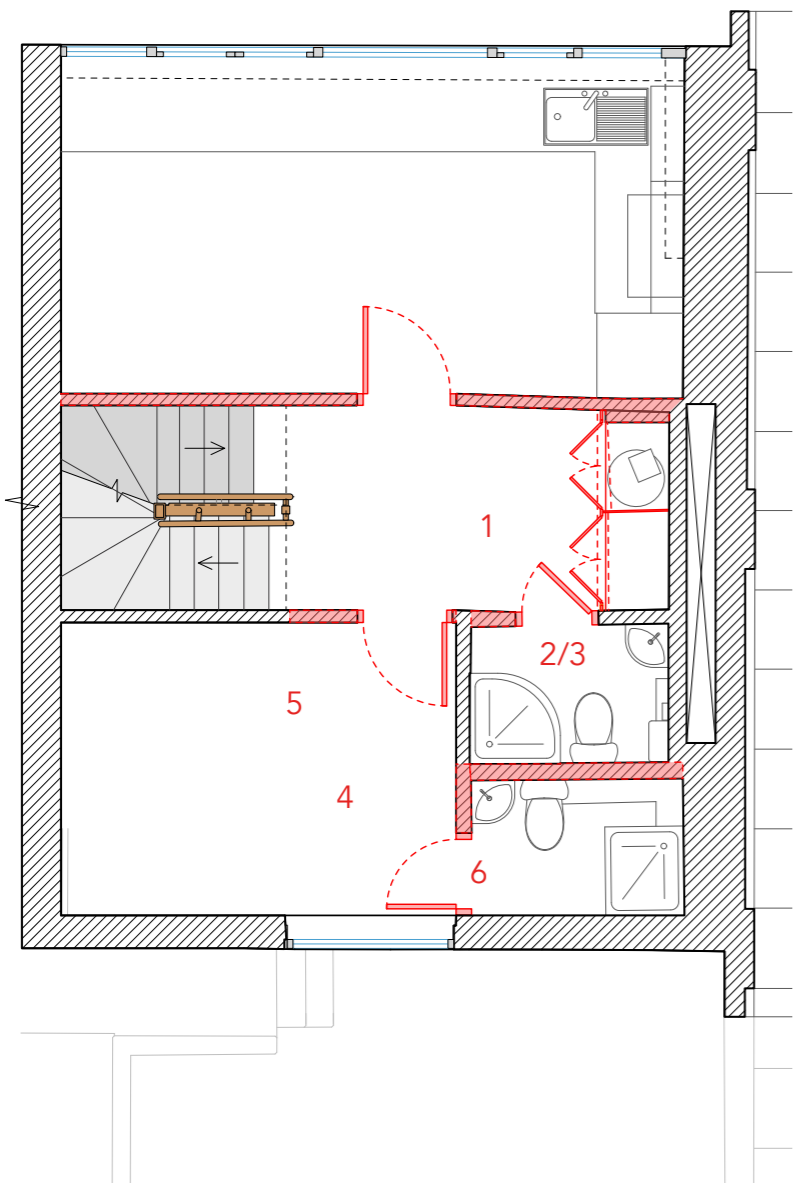
6. original windows painted white internally, and in significant state of disrepair

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# 3.2 SURVEY

## First Floor\_existing bathrooms & bedroom



1. entrance to existing bathroom 1 from landing, non-original door + frame



2. all non-original bathroom fittings + finishes, non-original layout



3. all non-original bathroom fittings + finishes, non-original layout



4. entrance to existing bathroom 2 from bedroom, non-original door position + door + frame



5. non-original fittings + finishes, note non-original floor finishes



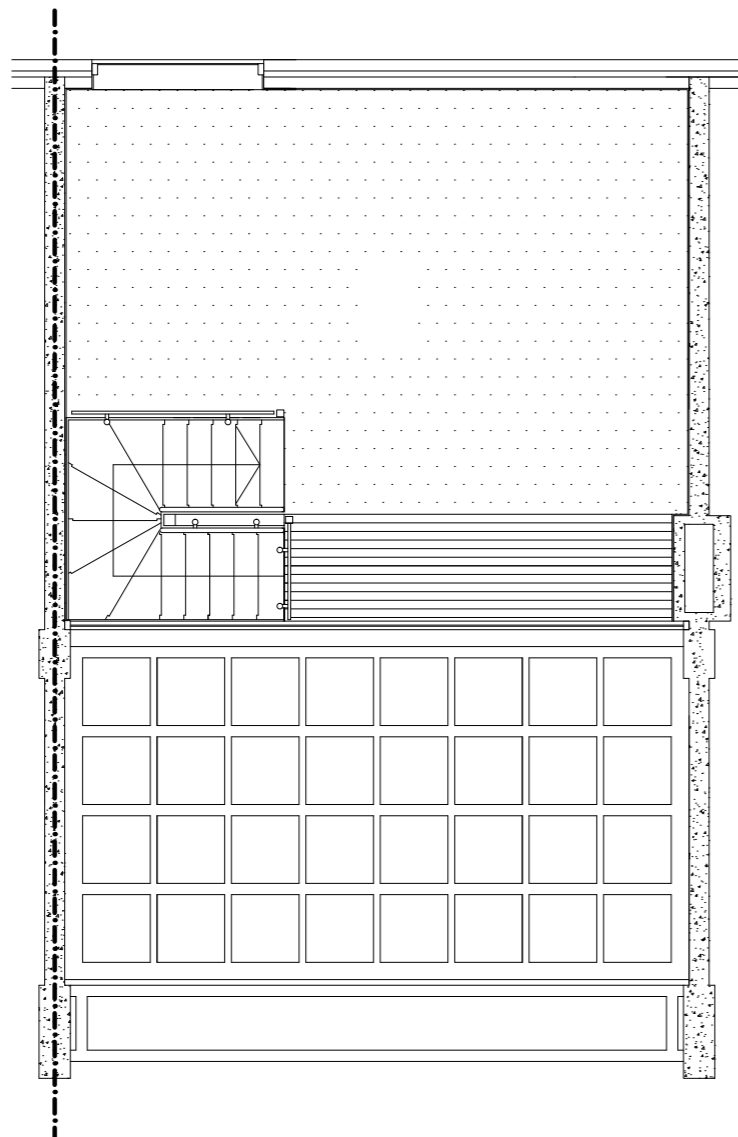
6. all non-original bathroom fittings + finishes, non-original layout in place of dressing room

21b AINSWORTH WAY

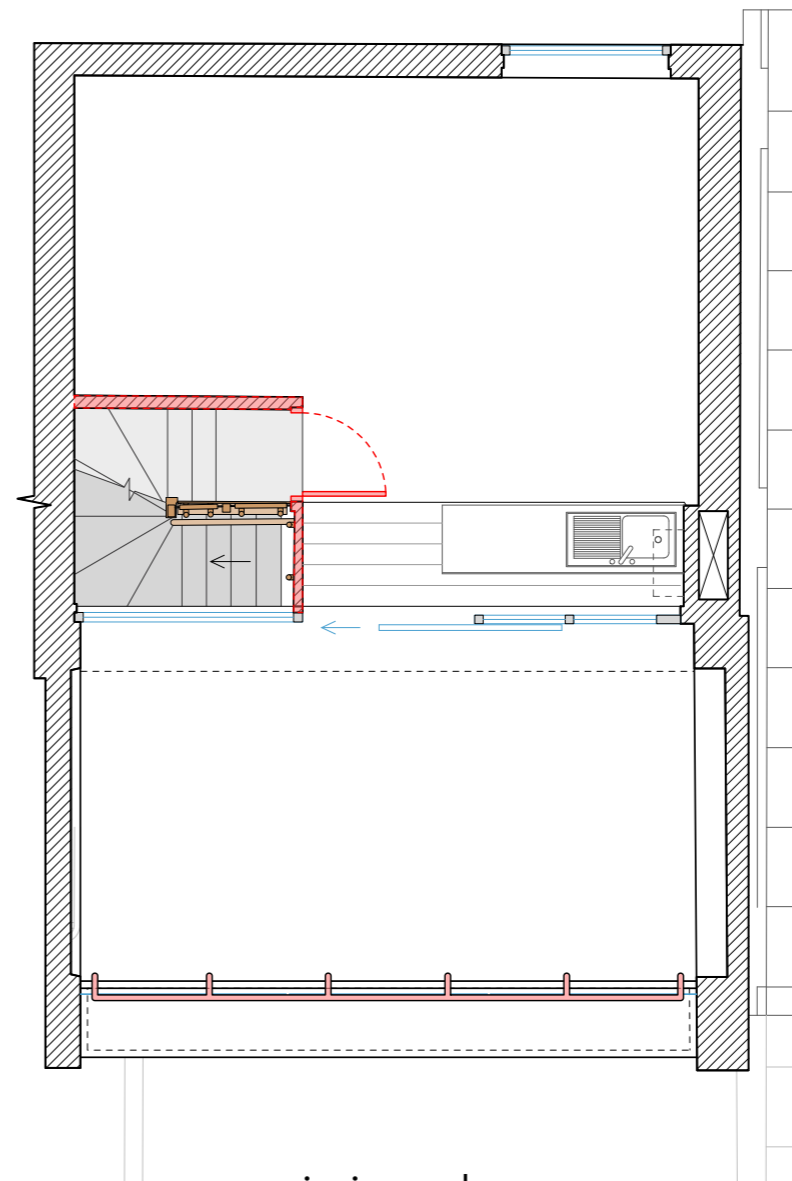
## 3.3 SURVEY

### Second Floor\_original vs existing

The Second floor layout of 21b Ainsworth Way (right) has also been stripped of Neave Brown's original design intent (left). The open-plan stair has been enclosed by building up the original concrete parapet wall to the ceiling, and the addition of a partition wall between the end of the deck and the stair balustrade. This section of balustrade has thankfully not been removed (as with the kitchen). A non-original door and frame now separate the living area from the stair. A kitchenette has been placed in the living area, where there was never any intention in the original Neave Brown design. The original decking appears to be intact underneath the kitchen and non-original floor finish.



original Neave Brown plan



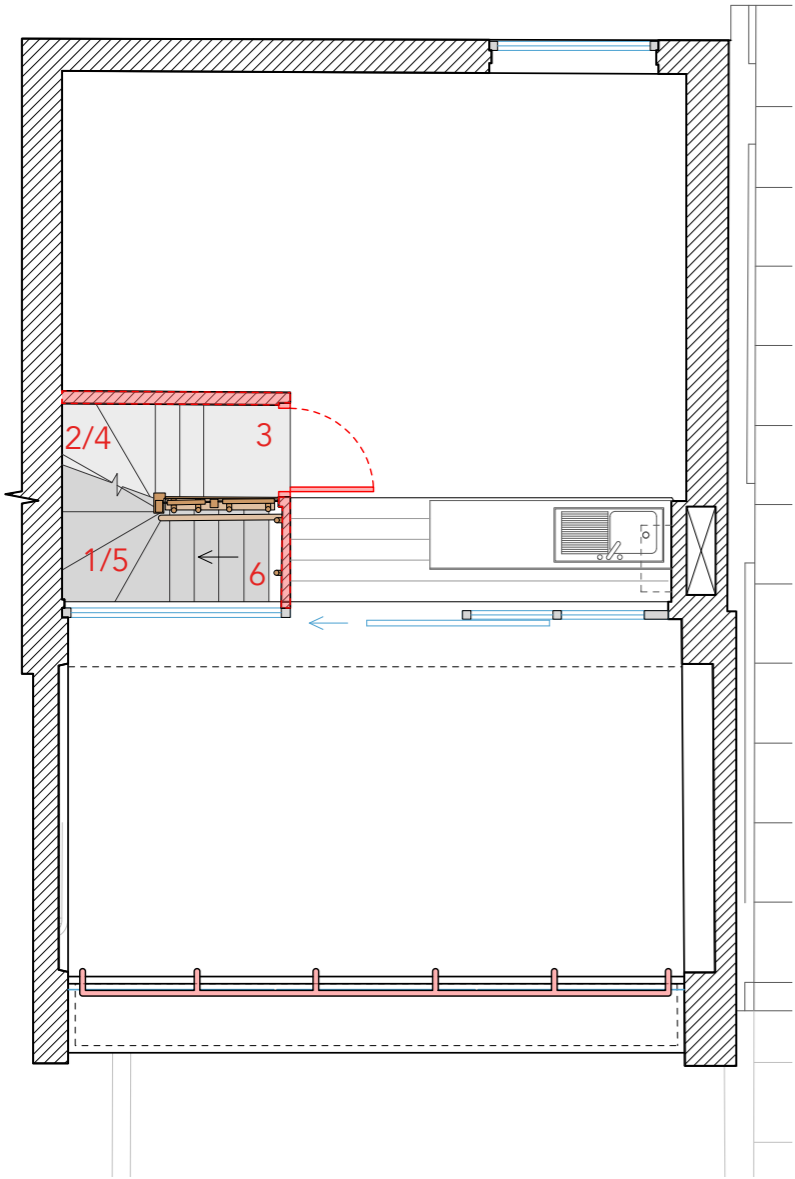
existing plan

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# 3.3 SURVEY

## Second Floor\_existing stair



1. stud wall built on top of original parapet wall, separating living space from stair



2. non-original stud wall + door + frame built behind original balustrade



3. original balustrade + handrail painted over, note non-original floor finish



4. non-original wall blocking stair from kitchen below, original stair structure intact



5. original balustrade + hand-rail painted over, connections + details still present



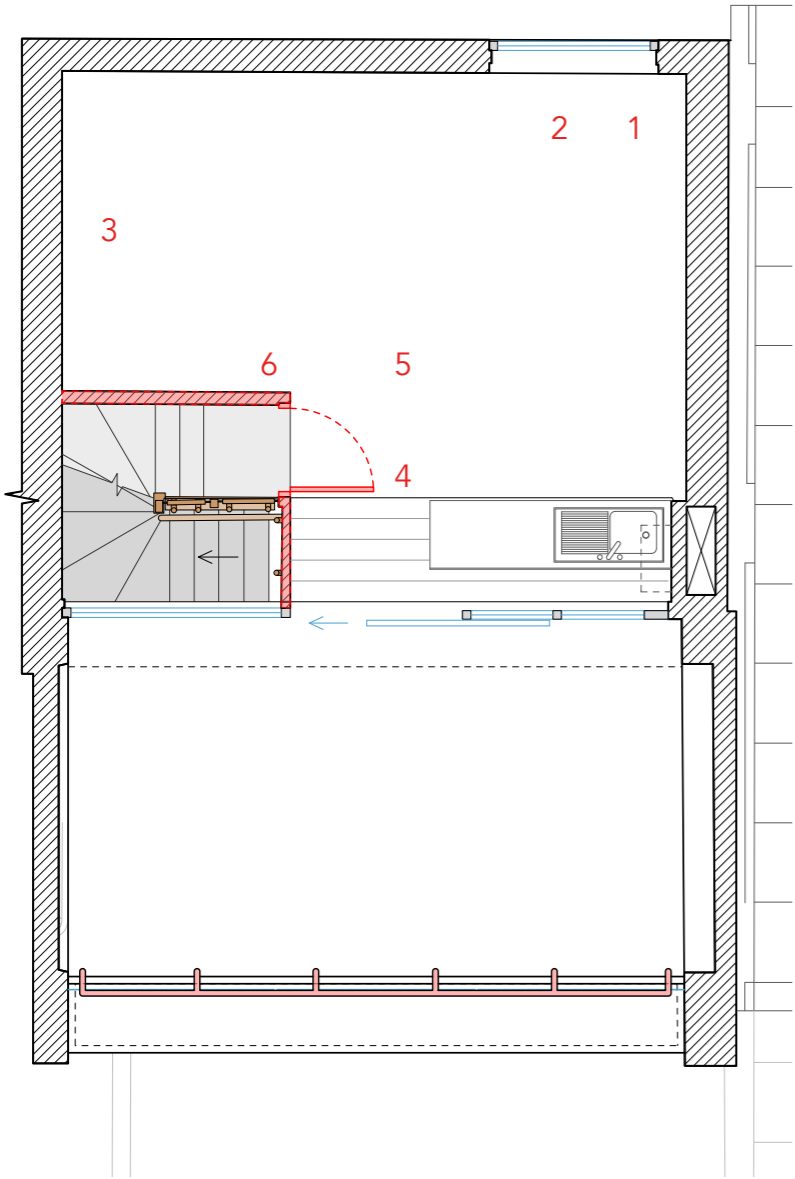
6. original stair connections + details still present

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# 3.3 SURVEY

## Second Floor\_existing living



1. non-original kitchen, original windows painted white internally, non-original wall paper



2. non-original walls to stair - note non-original floor finish



3. non-original kitchen, windows painted white internally, note non-original floor finish



4. original raised plinth covered over - original material intact underneath, albeit painted



5. non-original wall + door + frame to stair, concealing original balustrade

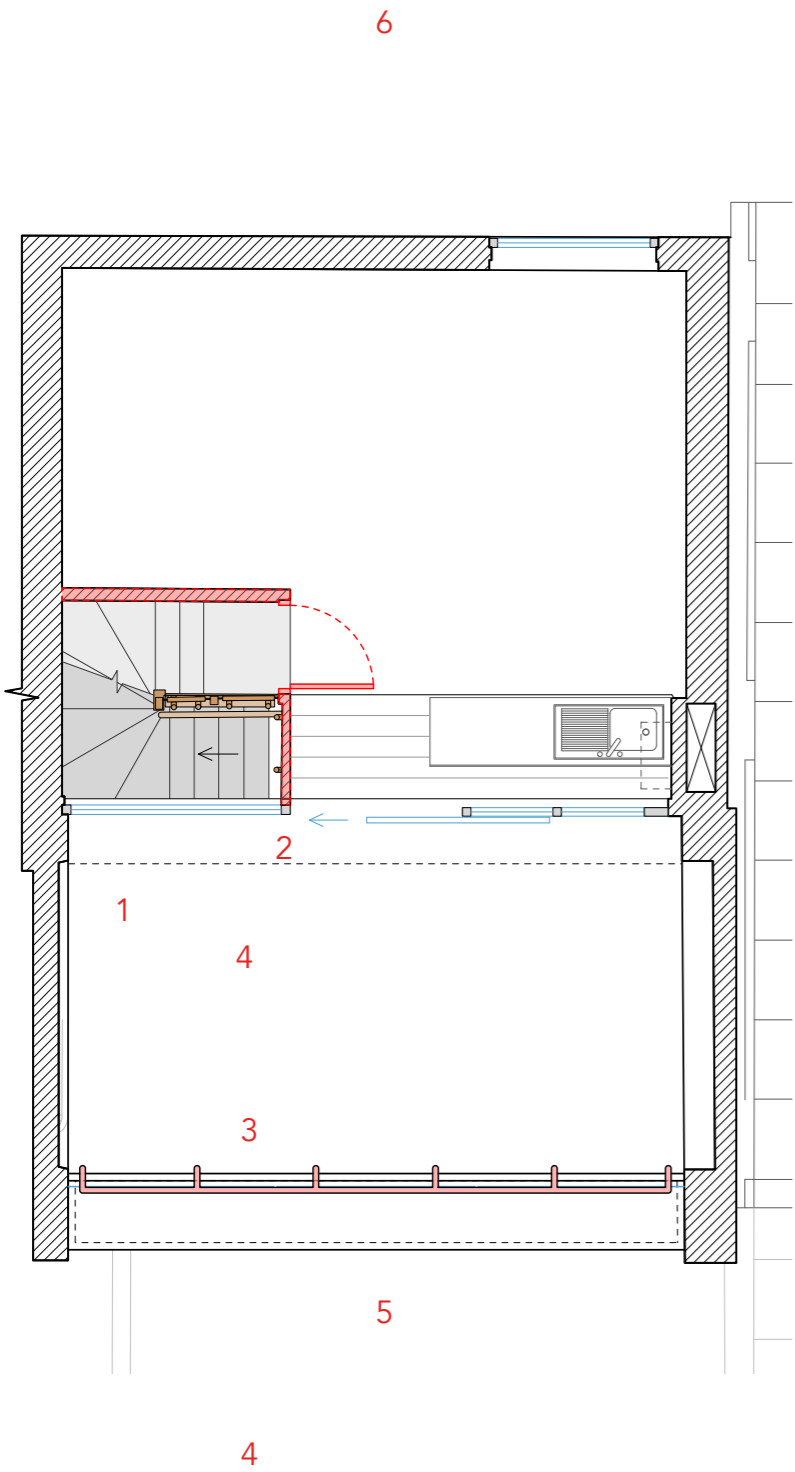


6. original concrete parapet wall has been built on top of, but appears to be intact

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# 3.3 SURVEY

## Second Floor\_existing terrace + windows



1. exterior fixed terrace window in original finish/colour, unaltered, but in state of disrepair



2. exterior sliding terrace window in original finish/colour, unaltered, but in state of disrepair



3. original handrail intact, paint faded/damaged, original glass screen still present



4. original front entrance in original format, in some state of disrepair



5. front exterior door + windows in original finish/colour, unaltered, but in state of disrepair



6. rear exterior windows in original finish/colour, unaltered, but in state of disrepair

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# 3.3 SURVEY

## All Floors\_Asbestos Report

The Asbestos survey carried out at 21b Ainsworth Way identified two locations where Asbestos is present:

- 1 - floor tiles concealed by the timber floor on the Second Floor, as show in the summary page below
- 2 - insulated access panel to service void on the First Floor

We propose to have all Asbestos related items professionally removed prior to any further works commencing. In terms of the finished floor levels, this will enable to us to lay new linoleum to match the original floor level.

Extract from the Asbestos Survey & Report (produced by “NSUK” on 29th March 2022) summarising the two locations where Asbestos is present:

FS23912-30/03/2022-10:07-UID22

### Asbestos Register



Location	Item	Additional
Item ID	001(OS)	
Referenced to	NS13535-001	
Property Name	Specified areas of 21b Ainsworth Way	
Area/floor	001	
Room/location	001	
Specific location	Floor	
Product/debris type	Other Encapsulated Material Flooring Thermoplastic Floor Tile(s)	
Asbestos type	Identified Chrysotile	
Extent	20 m²	
Licensed/non-licensed	N/A	
Air Test		
<b>Actions/recommendations</b>		
Action/recommendations	Remove Remove ACM before Refurb. Work under FCC by FLC	

<b>Material Assessment</b>	
Product Type (a)	1
Extent of Damage (b)	1
Surface Treatment (c)	0
Asbestos Fibre (d)	1
Total (a+b+c+d)	03
Material Risk Assessment	Very Low
<b>Comments</b>	
Grey floor tiles & bitumen presumed to run beneath all fitted floor coverings throughout the property.	



Location	Item	Additional
Item ID	002(OS)	
Referenced to	NS13535-002	
Property Name	Specified areas of 21b Ainsworth Way	
Area/floor	002	
Room/location	005	
Specific location	Wall	
Product/debris type	Asbestos Board(s) Insulation Board Panel(s)	
Asbestos type	Identified Amphibole (exc. Crocidolite)	
Extent	1 m²	
Licensed/non-licensed	N/A	
Air Test		
<b>Actions/recommendations</b>		
Action/recommendations	Remove Remove ACM before Refurb. Work under FCC by FLC	

<b>Material Assessment</b>	
Product Type (a)	2
Extent of Damage (b)	1
Surface Treatment (c)	1
Asbestos Fibre (d)	2
Total (a+b+c+d)	06
Material Risk Assessment	Low
<b>Comments</b>	

# 4.0 PROPOSED WORKS

## Introduction

As a whole, the proposed works aim to reverse previous unsympathetic work carried out across the house (resulting in the near total removal and replacement of historic fabric and layout) and celebrate the original scheme by emulating Neave Brown's design intent via the use of new materials and layout. While not a perfect re-creation of the historic design, much research (of drawings and existing precedent) and careful consideration has gone into this proposal and its choice of materials.

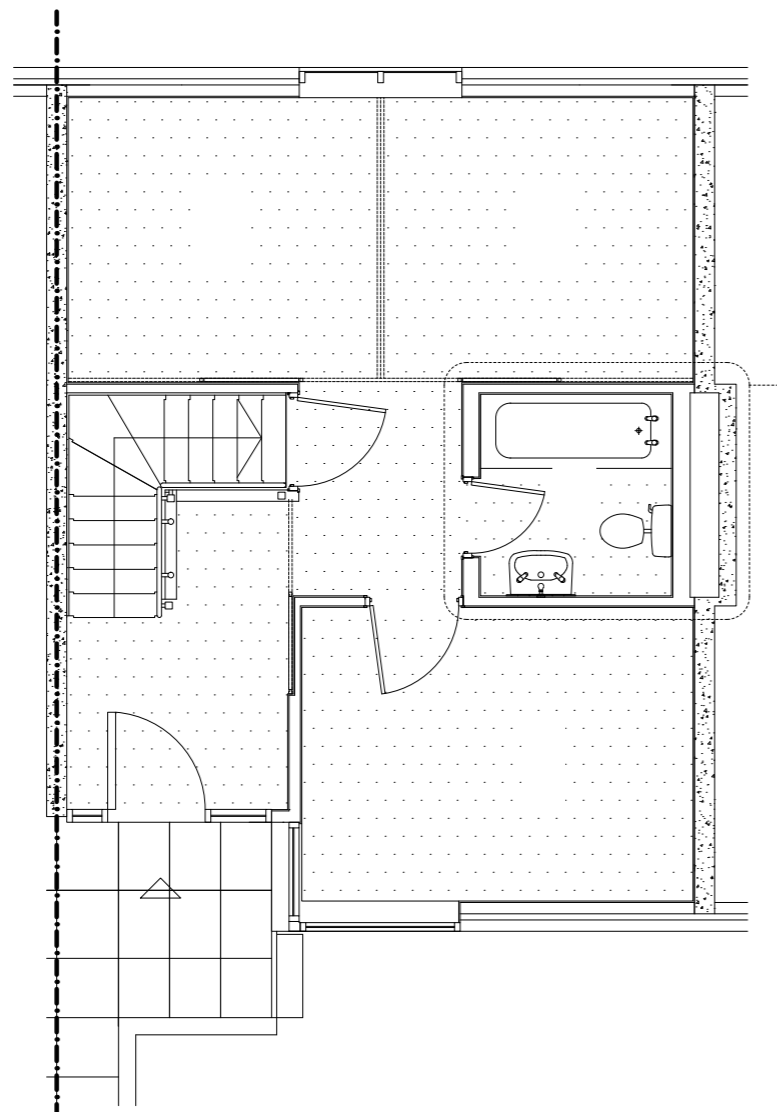
The alterations have been considered on both a room-by-room basis and holistically, with choice of materials being paramount. The unpicking and editing of previous alterations to the property will enhance and restore aspects of its special architectural interest - primarily the original staircase and open plan layout - with the aim of reinstating the high quality level of design that previously existed.

While following the original design principles, the proposal seeks to update the house in-line with contemporary living standards and functionality.

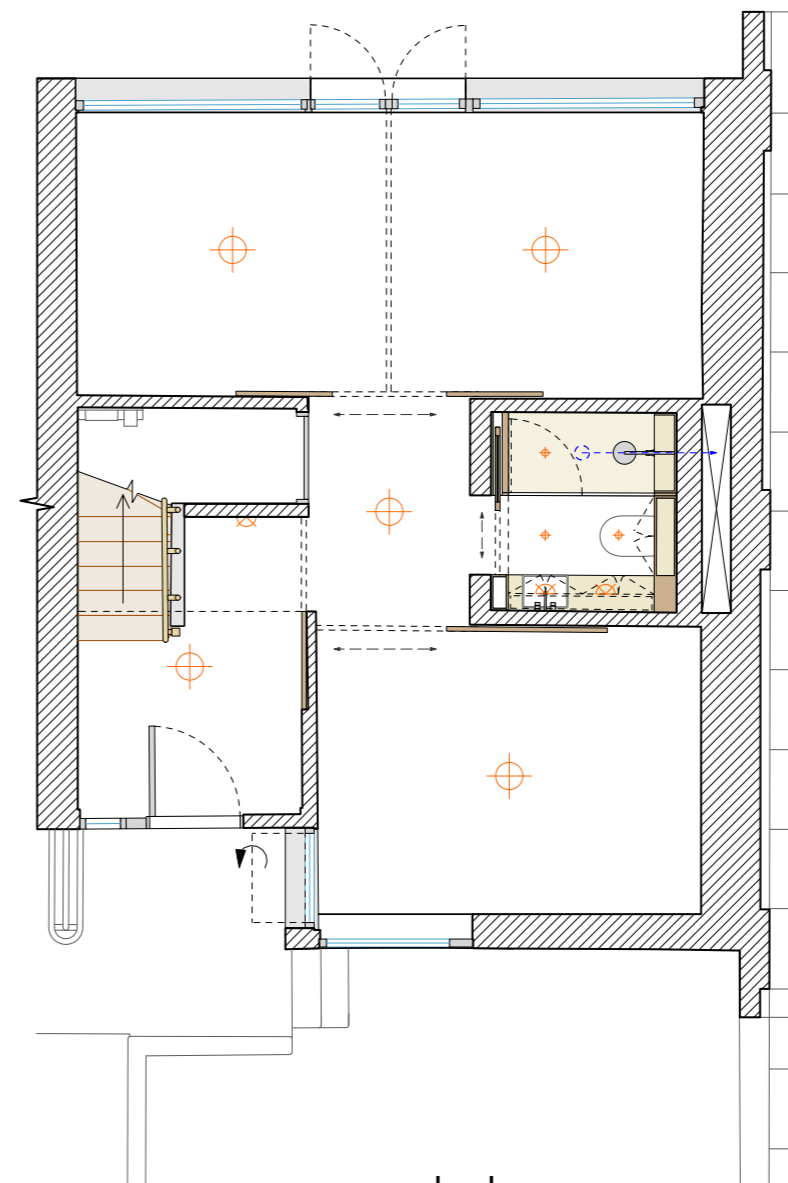
# 4.1 PROPOSED WORKS

## Ground Floor\_design intent

By removing all non-original walls and doors, and reinstating sliding doors and tracks, the proposed ground floor plan will closely resemble Neave Brown's original design. The bathroom layout will also closely resemble that of the original, but with a more accessible shower in place of the bath. Materially, the bathroom will feature a limited palette and details, including tiles in keeping with the original aesthetic. Discrete, improved storage has been proposed in line with modern day standards. Internal decorations will be returned to their original palette of white uncovered walls, while the non-original timber flooring and faux-marble slabs will be replaced with linoleum throughout. All windows will be stripped, repaired and re-decorated to match the exterior finish, as per the original design (dark/black stain). The existing stair, one of the only original features not to be demolished, will be stripped of the existing carpet and paint, and repaired and re-finished in line with the original design (clear varnish).



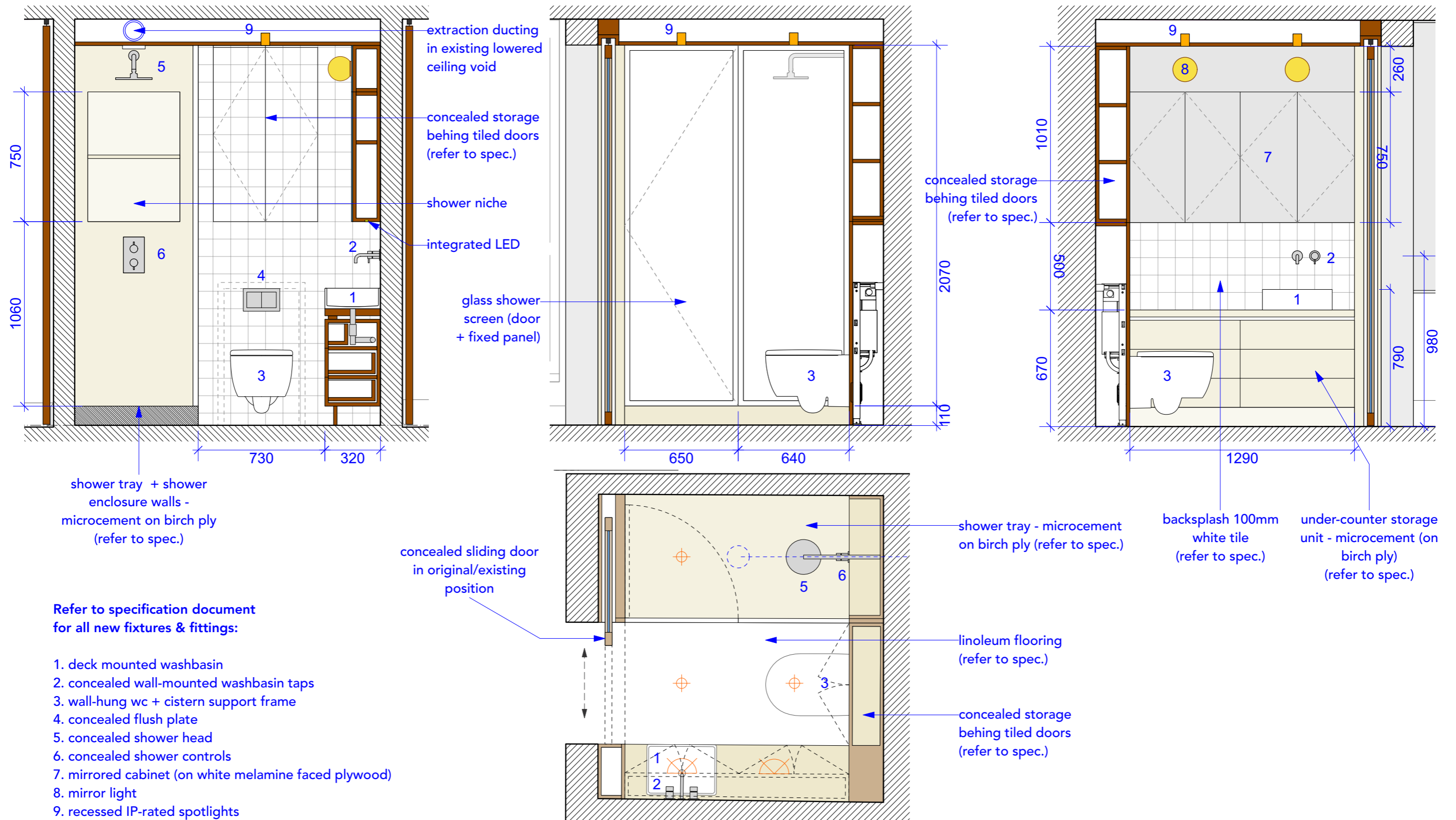
original Neave Brown plan



proposed plan

# 4.1 PROPOSED WORKS

## Ground Floor\_bathroom



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# 4.1 PROPOSED WORKS

## Ground Floor\_bathroom\_materials & specification



type: wall finish  
 material: ceramic tile  
 colour: white  
 size: 100x100x6mm  
 brand: reed harris / tessera



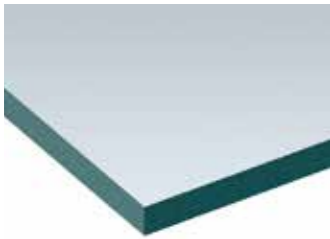
type: floor finish  
 material: linoleum  
 colour: "dark chocolate" (3581)  
 size: 2.5mm thick  
 brand: forbo (marmoleum)



type: wall/floor finish - shower  
 counter finish  
 material: microcement on ply  
 colour: white  
 size: n/a  
 brand: n/a



type: mirror/wall lights  
 material: frosted glass  
 colour: white  
 size: n/a  
 brand: flos / mini glo-ball



type: shower screen glass  
 material: clear glass  
 colour: n/a  
 size: n/a  
 brand: n/a



type: basin (surface mounted)  
 material: ceramic  
 colour: white  
 size: 605 x 320mm  
 brand: arezzo



type: mirror for vanity cabinet  
 material: mirrored glass  
 colour: n/a  
 size: n/a  
 brand: n/a



type: basin faucet + controls  
 material: stainless steel  
 colour: brushed  
 size: n/a  
 brand: crosswater / mpro

# 4.1 PROPOSED WORKS

## Ground Floor\_bathroom\_materials & specification cont.



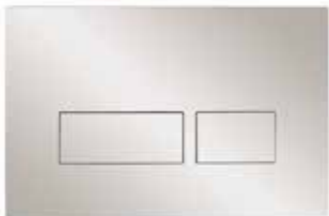
type: shower head + arm  
material: stainless steel  
colour: brushed  
size: n/a  
brand: crosswater / mpro



type: wall-mounted toilet  
material: ceramic  
colour: white  
size: n/a  
brand: duravit / me by stark



type: shower controls  
material: stainless steel  
colour: brushed  
size: n/a  
brand: crosswater / mpro



type: wall-mounted flush-plate  
material: stainless steel  
colour: brushed  
size: n/a  
brand: crosswater / mpro



type: ceiling spotlight  
material: metal / recessed  
colour: white  
size: 90mm dia.  
brand: mr resistor / rock n'roll / IP + fire rated

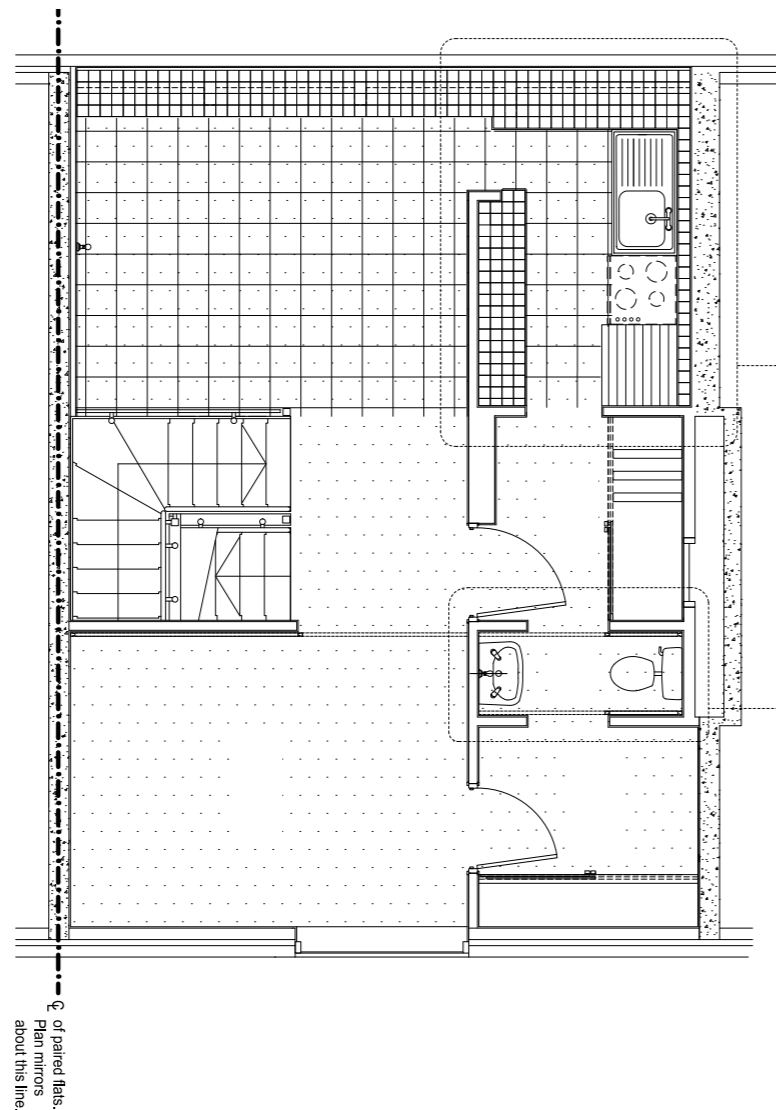


type: toilet cistern/frame  
material: concealed  
colour: brushed  
size: 820x150mm  
brand: geberit / duofix kappa

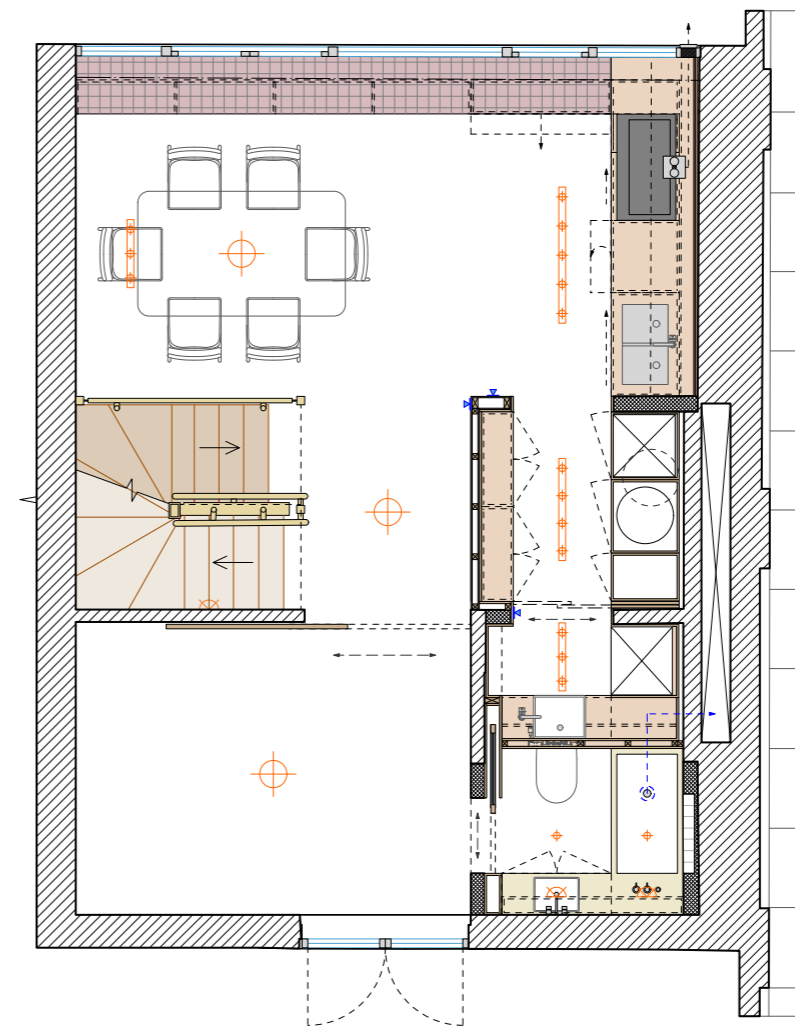
## 4.2 PROPOSED WORKS

### First Floor\_design intent

Similar to the ground floor, the proposal seeks to remove all non-original partition walls, swing-doors and frames in order to closely match Neave Brown's original open plan design. This will require the replication of the removed balustrade between the dining area and the stair, and the reinstatement of the sliding door and track to the bedroom. Where the original larder/utility wall has been removed during past development, a new painted (white) partition is proposed to recreate a layout and appearance similar to the original design, offering increased functionality and improved storage. By removing one of the two non-original bathrooms, a new utility area is proposed to meet the demands of a modern household. The proposed kitchen will closely resemble the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original design. The bathroom will be finished in a similar palette to the ground floor. Internal decorations will be returned to their original palette of white uncovered walls, while the non-original timber flooring, tile and faux-marble slabs will be replaced with linoleum throughout. All windows will be stripped, repaired and re-decorated to match exterior finish, as per the original design. The existing stair, one of the only original features not to be demolished, will be stripped of the existing carpet and paint, and repaired and re-finished in line with the original design.



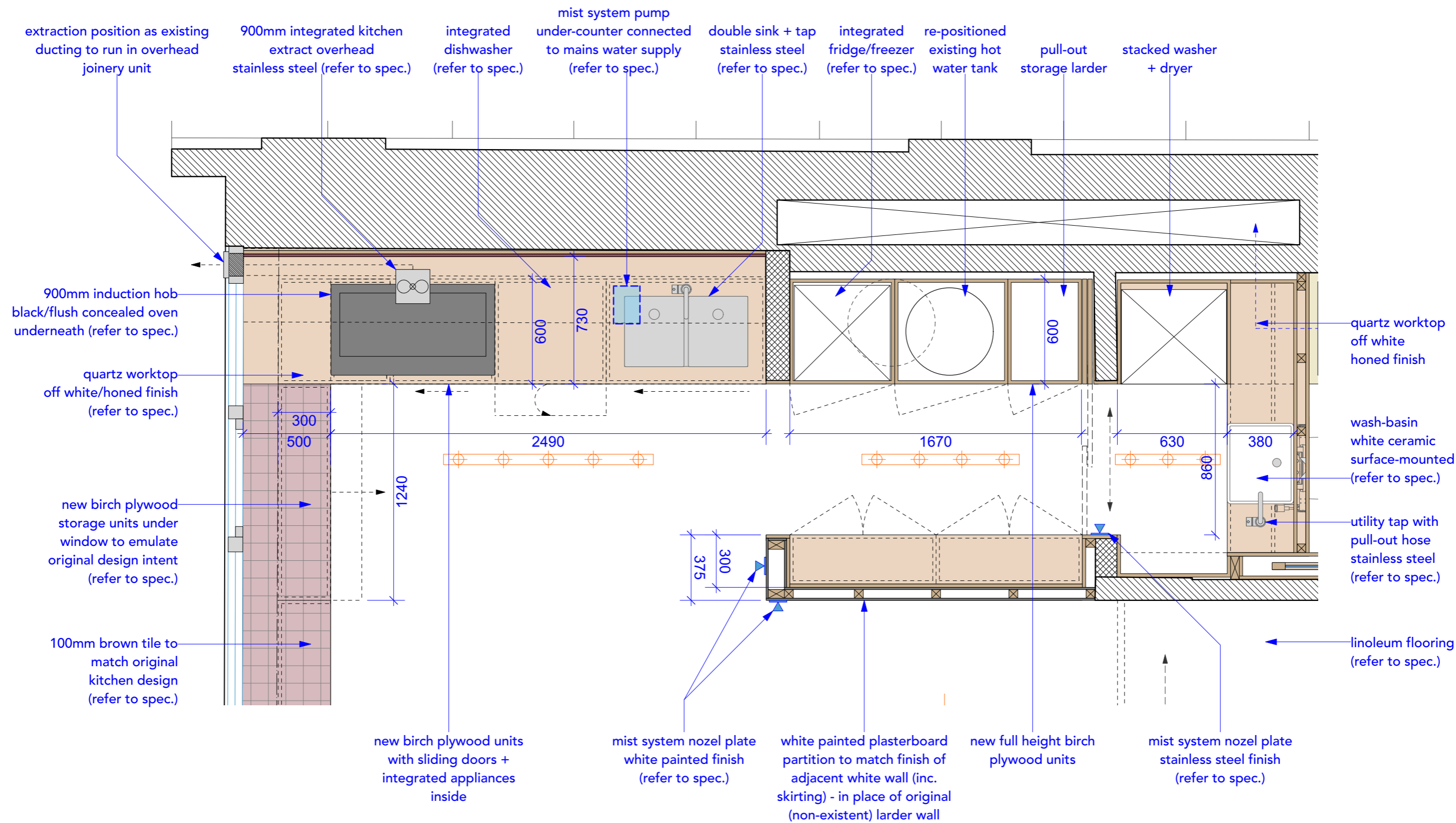
original Neave Brown plan



proposed plan

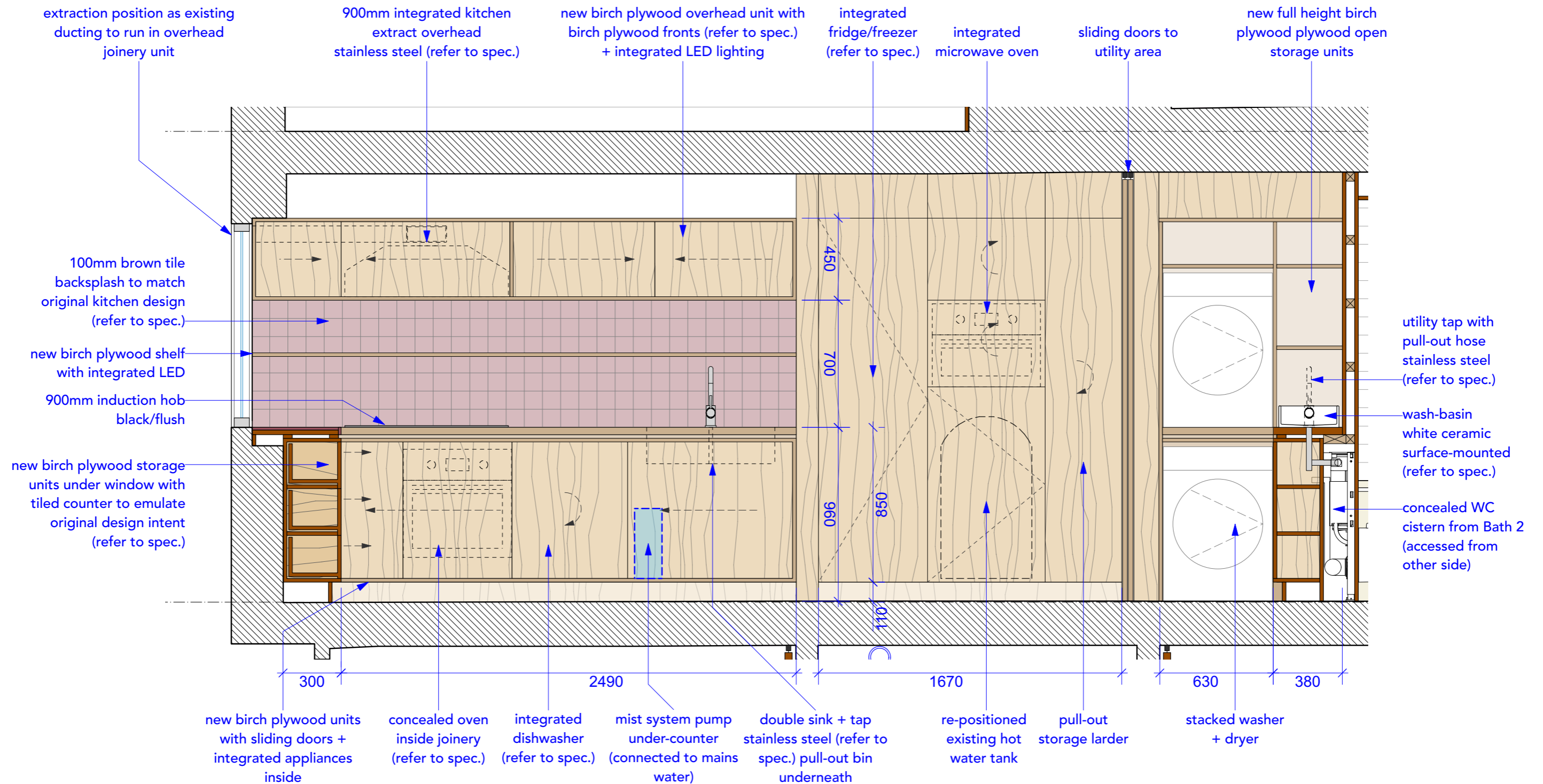
# 4.2 PROPOSED WORKS

## First Floor\_kitchen/larder/utility



# 4.2 PROPOSED WORKS

## First Floor\_kitchen/larder/utility

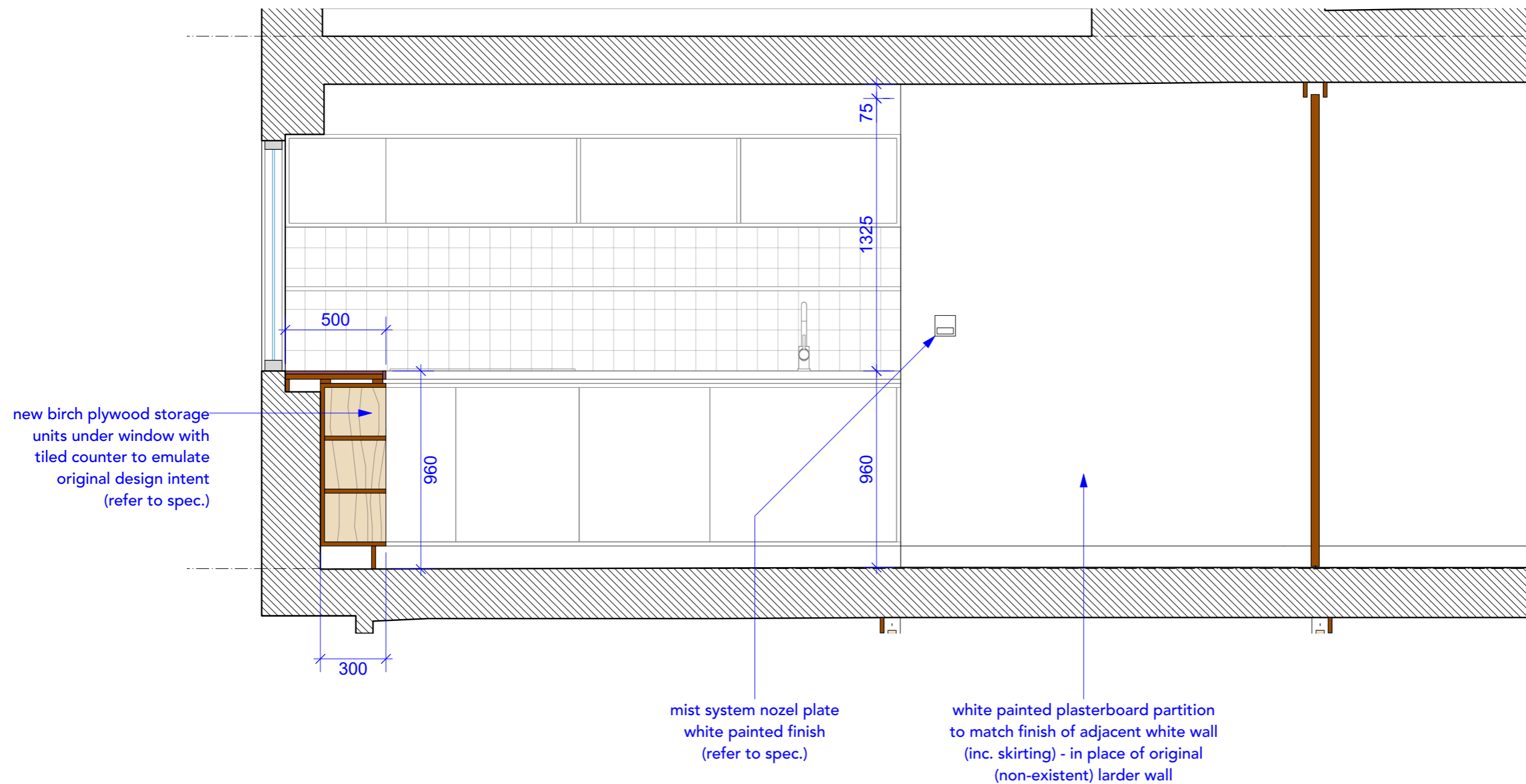


21b AINSWORTH WAY

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hagenhall

## 4.2 PROPOSED WORKS

First Floor\_kitchen/larder/utility

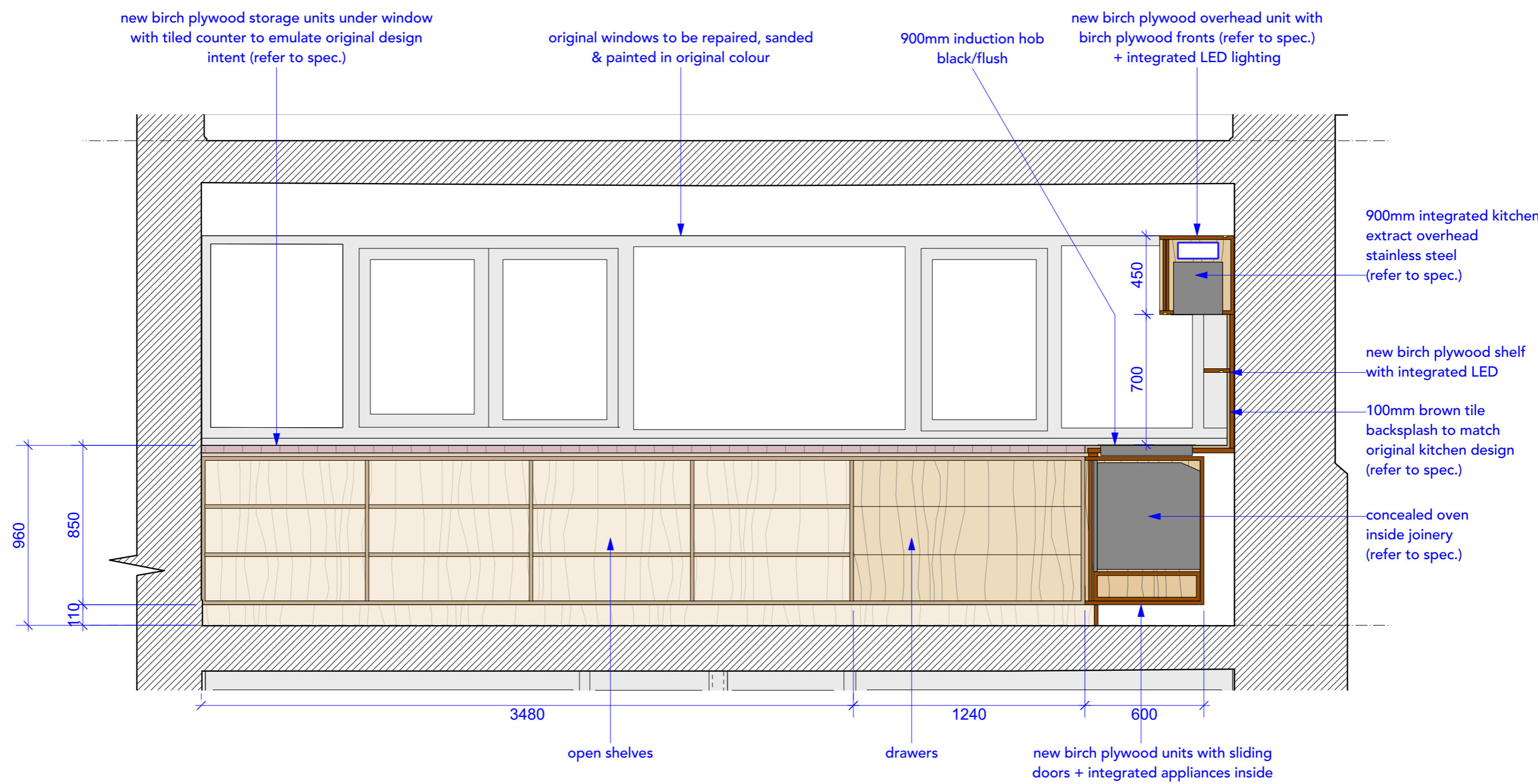


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hagenhall

# 4.2 PROPOSED WORKS

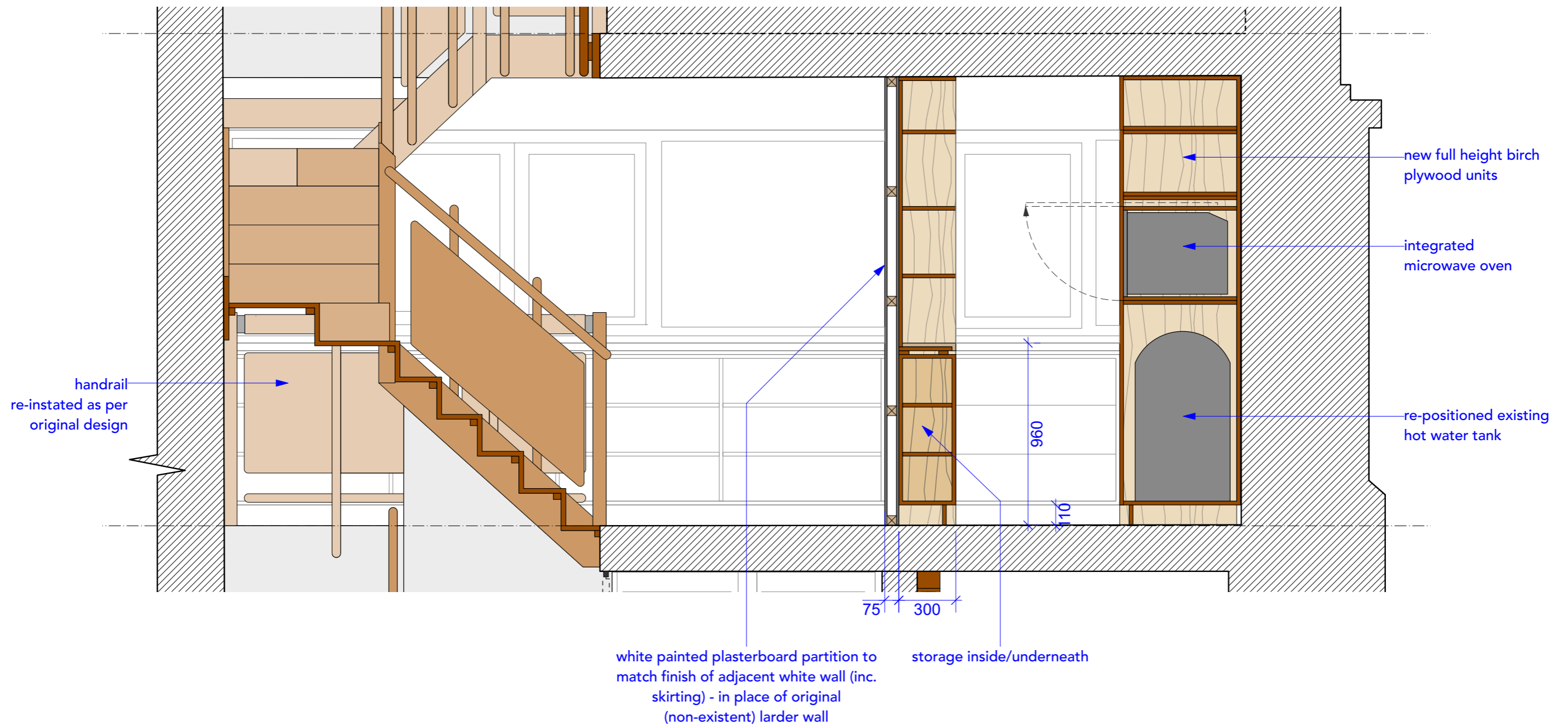
## First Floor\_kitchen/larder/utility



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## 4.2 PROPOSED WORKS

### First Floor\_kitchen/larder/utility

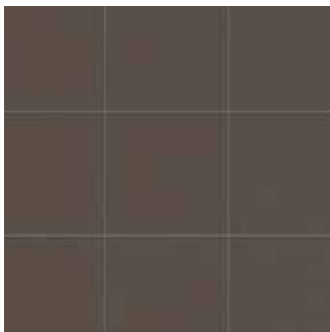


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# 4.2 PROPOSED WORKS

## First Floor\_kitchen/larder/utility\_materials & specification



type: backsplash  
type: window counter top  
material: ceramic tile  
colour: brown  
size: 100x100x6mm  
brand: reed harris / tessera



type: floor finish  
material: linoleum  
colour: "dark chocolate" (3581)  
size: 2.5mm thick  
brand: forbo (marmoleum)



type: kitchen worktop  
material: quartz  
colour: light beige  
size: n/a  
brand: variostone / light beige



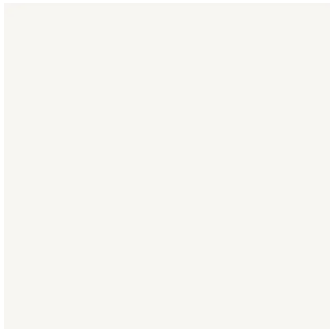
type: original stair  
material: plywood sanded  
colour: clear varnish  
size: n/a  
brand: n/a



type: all joinery/storage  
material: birch plywood  
colour: clear oil/varnish  
size: n/a  
brand: n/a



type: original windows  
material: timber - sanded  
colour: re-stained black  
size: n/a  
brand: dulux / matt finish varnish



type: wall paint  
material: paint  
colour: All White  
size: n/a  
brand: Farrow & Ball / Dulux Match

# 4.2 PROPOSED WORKS

## First Floor\_kitchen/larder/utility\_materials & specification cont.



type: sink under-mount  
material: stainless steel  
colour: stainless steel  
size: 750x440x180mm  
brand: Reginox / New York



type: tap (boiling water / filter)  
material: stainless steel  
colour: brushed  
size: n/a  
brand: quooker / flex



type: induction hob  
material: glass  
colour: black  
size: 940x520mm  
brand: Miele / KM7897FLFS



type: oven (concealed)  
material: glass  
colour: black  
size: 600mm  
brand: Neff / B57VS24H0B



type: extract  
material:  
colour:  
size:  
brand:



type: fridge (integrated)  
material: n/a  
colour: white / integrated  
size: 600mm  
brand: Neff / KI7863DF0G



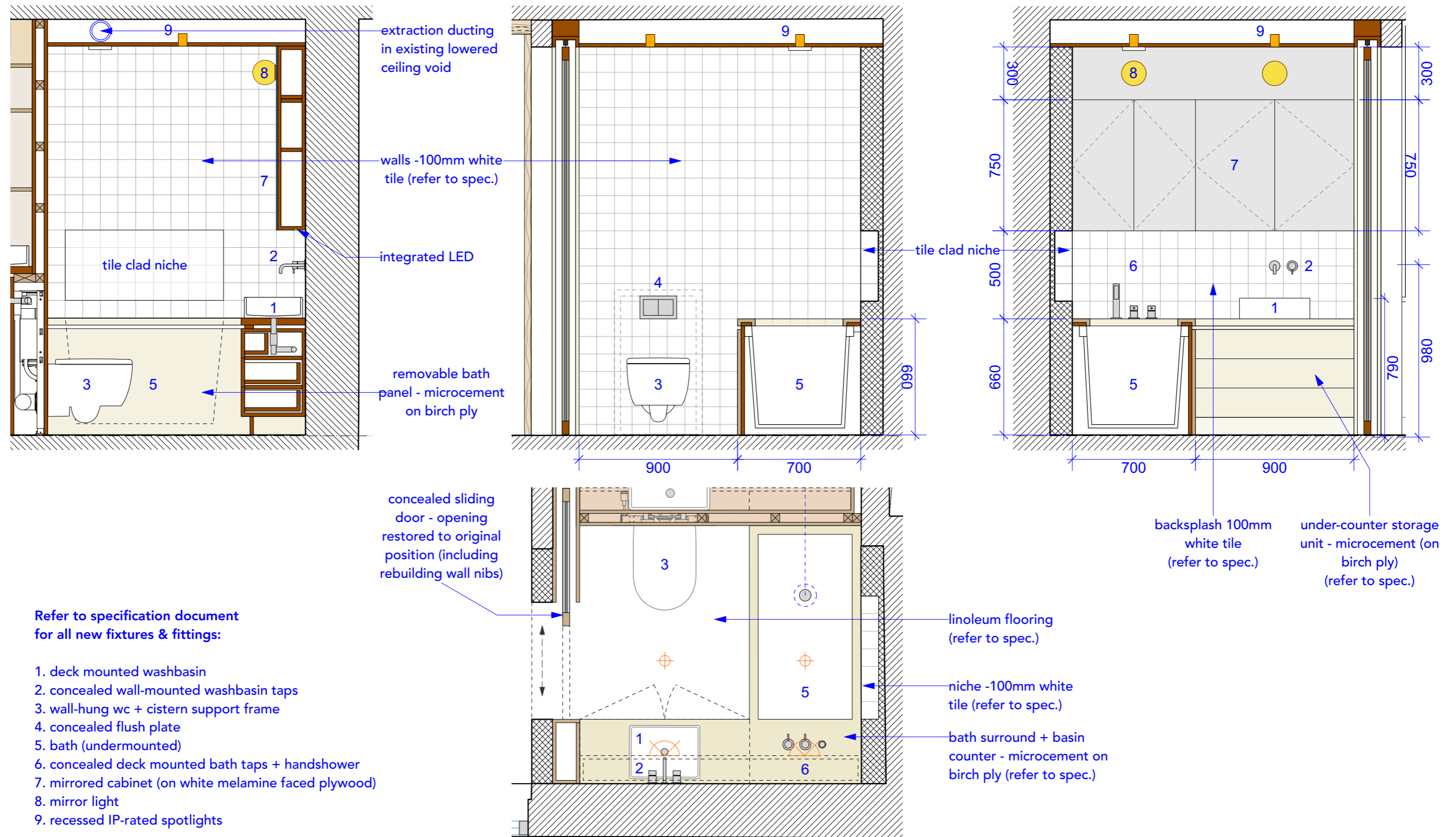
type: ceiling spotlight bar  
material: metal  
colour: white  
size: 400/500/600mm  
brand: Astro / Ascoli 3/4/5



type: oven / microwave  
material: glass  
colour: black  
size: 600  
brand: Neff / C17MS32H0B

# 4.2 PROPOSED WORKS

## First Floor\_bathroom



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# 4.2 PROPOSED WORKS

## First Floor\_bathroom\_materials & specification



type: wall finish  
 material: ceramic tile  
 colour: white  
 size: 100x100x6mm  
 brand: reed harris / tessera



type: floor finish  
 material: linoleum  
 colour: "dark chocolate" (3581)  
 size: 2.5mm thick  
 brand: forbo (marmoleum)



type: bath surround/front panel  
 type: counter finish  
 material: microcement on ply  
 colour: white  
 size: n/a  
 brand: n/a



type: mirror/wall lights  
 material: frosted glass  
 colour: white  
 size: n/a  
 brand: flos / mini glo-ball



type: mirror for vanity cabinet  
 material: mirrored glass  
 colour: n/a  
 size: n/a  
 brand: n/a



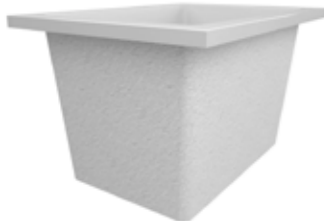


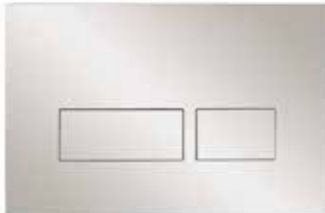



type: basin (surface mounted)  
 material: ceramic  
 colour: white  
 size: 605 x 320mm  
 brand: arezzo



type: basin faucet + controls  
 material: stainless steel  
 colour: brushed  
 size: n/a  
 brand: crosswater / mpro

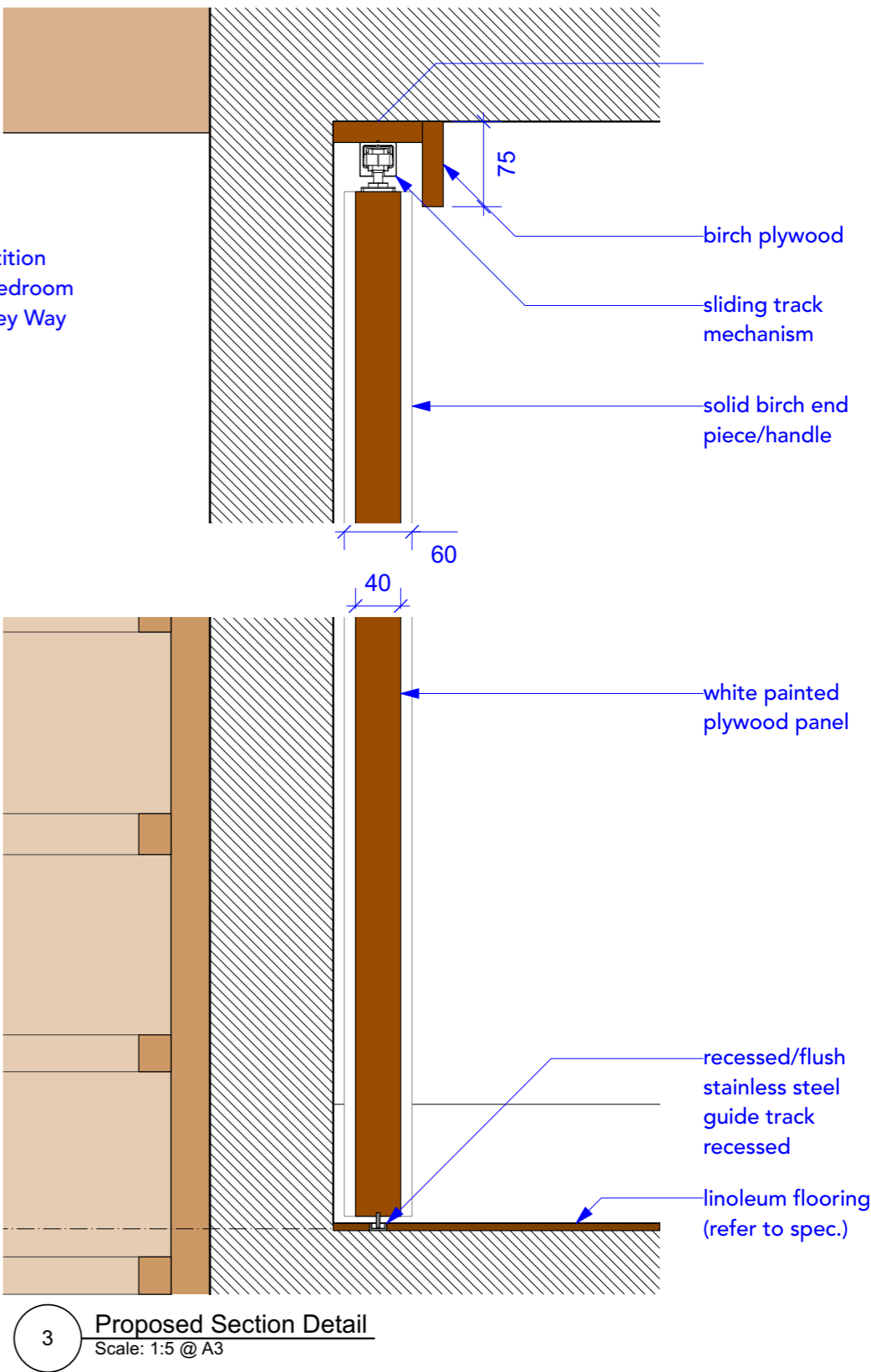
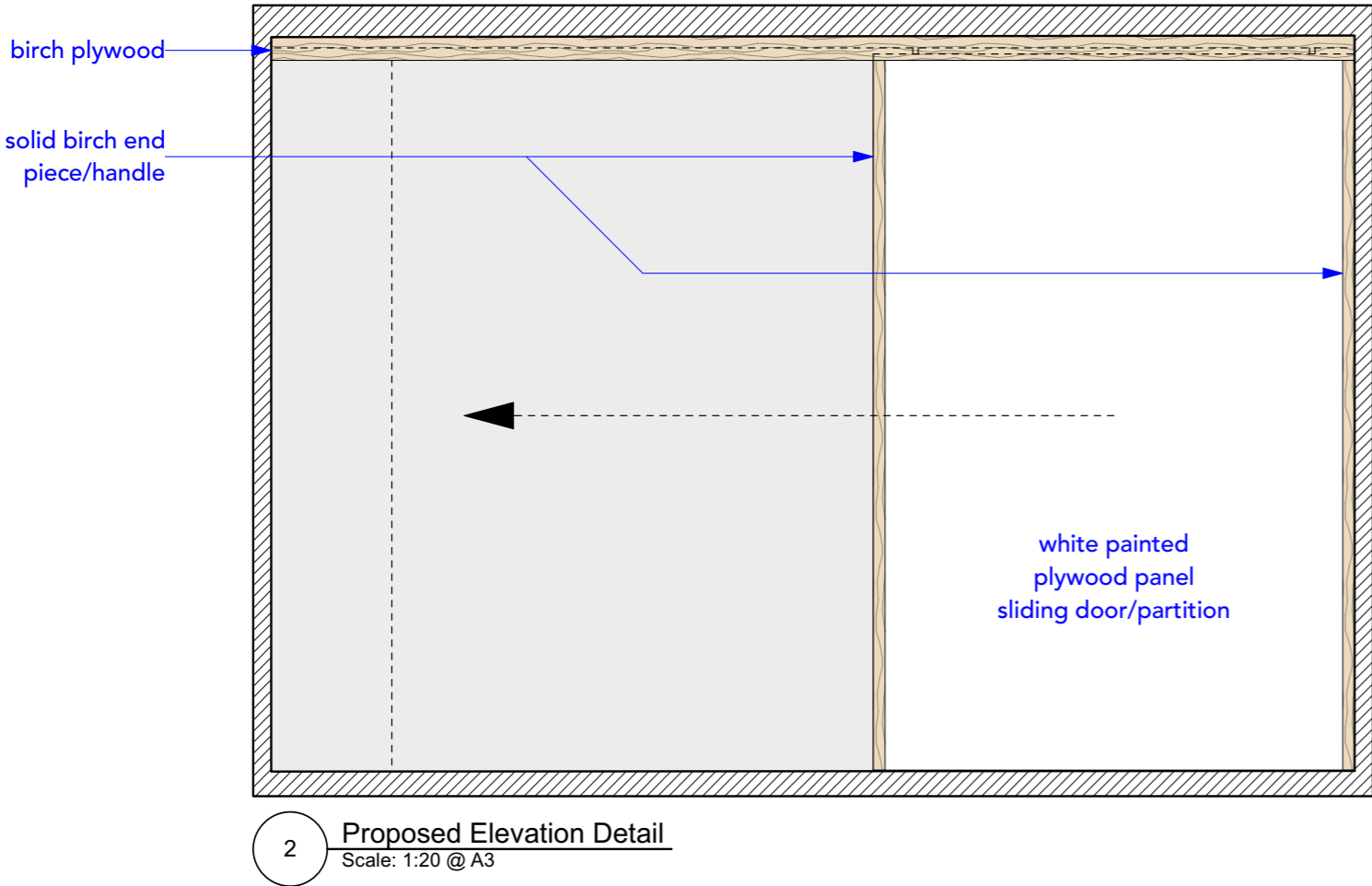
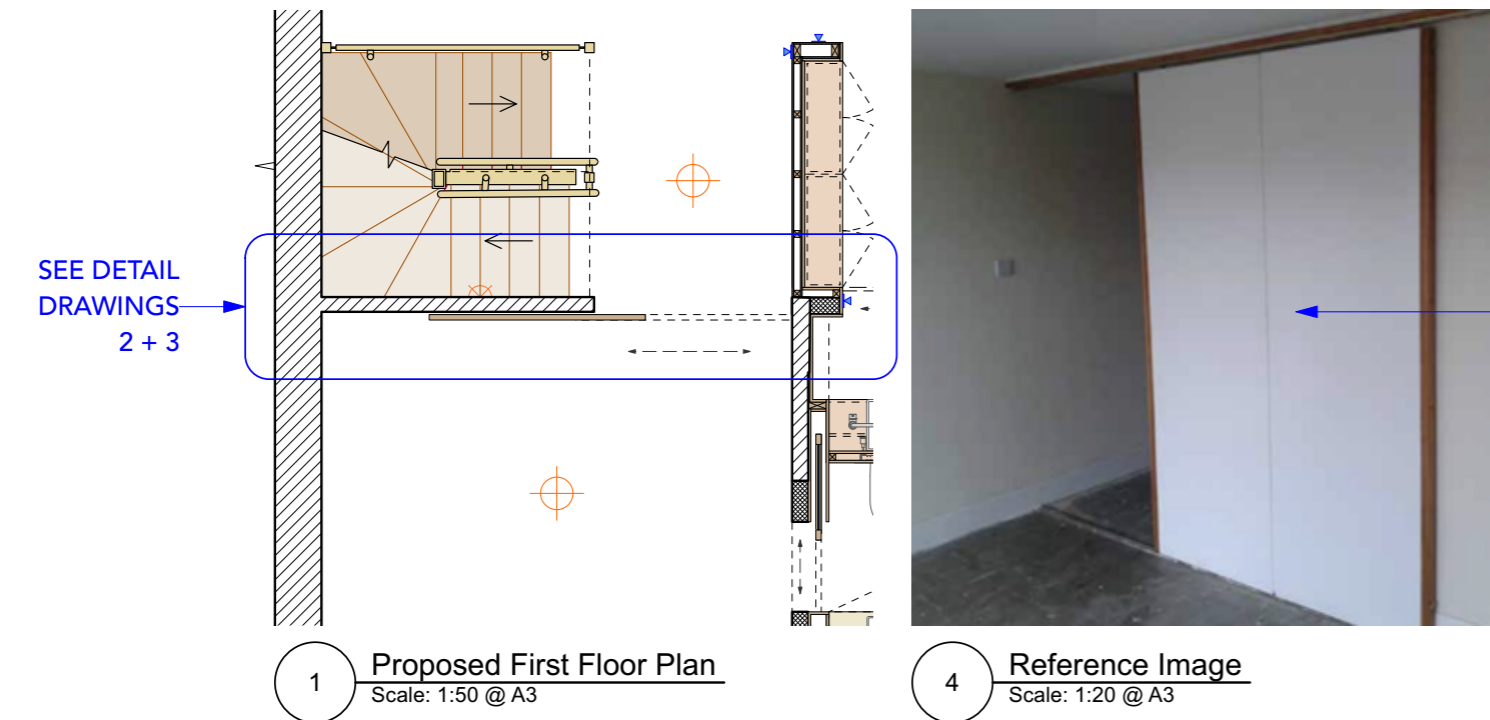
# 4.2 PROPOSED WORKS

## First Floor\_bathroom\_materials & specification cont.

	<p>type: under-mounted bath material: fibreglass/grp colour: white size: n/a brand: omni tub / solo</p>		<p>type: wall-mounted toilet material: ceramic colour: white size: n/a brand: duravit / me by stark</p>
	<p>type: bath controls material: stainless steel colour: brushed size: n/a brand: drench / mpro</p>		<p>type: wall-mounted flush-plate material: stainless steel colour: brushed size: n/a brand: crosswater / mpro</p>
	<p>type: bath filler + waste material: stainless steel colour: brushed size: n/a brand: drench / mpro</p>		<p>type: toilet cistern/frame material: concealed colour: brushed size: 820x150mm brand: geberit / duofix kappa</p>
	<p>type: ceiling spotlight material: metal / recessed colour: white size: 90mm dia. brand: mr resistor / rock n'roll / IP + fire rated</p>		

# 4.2 PROPOSED WORKS

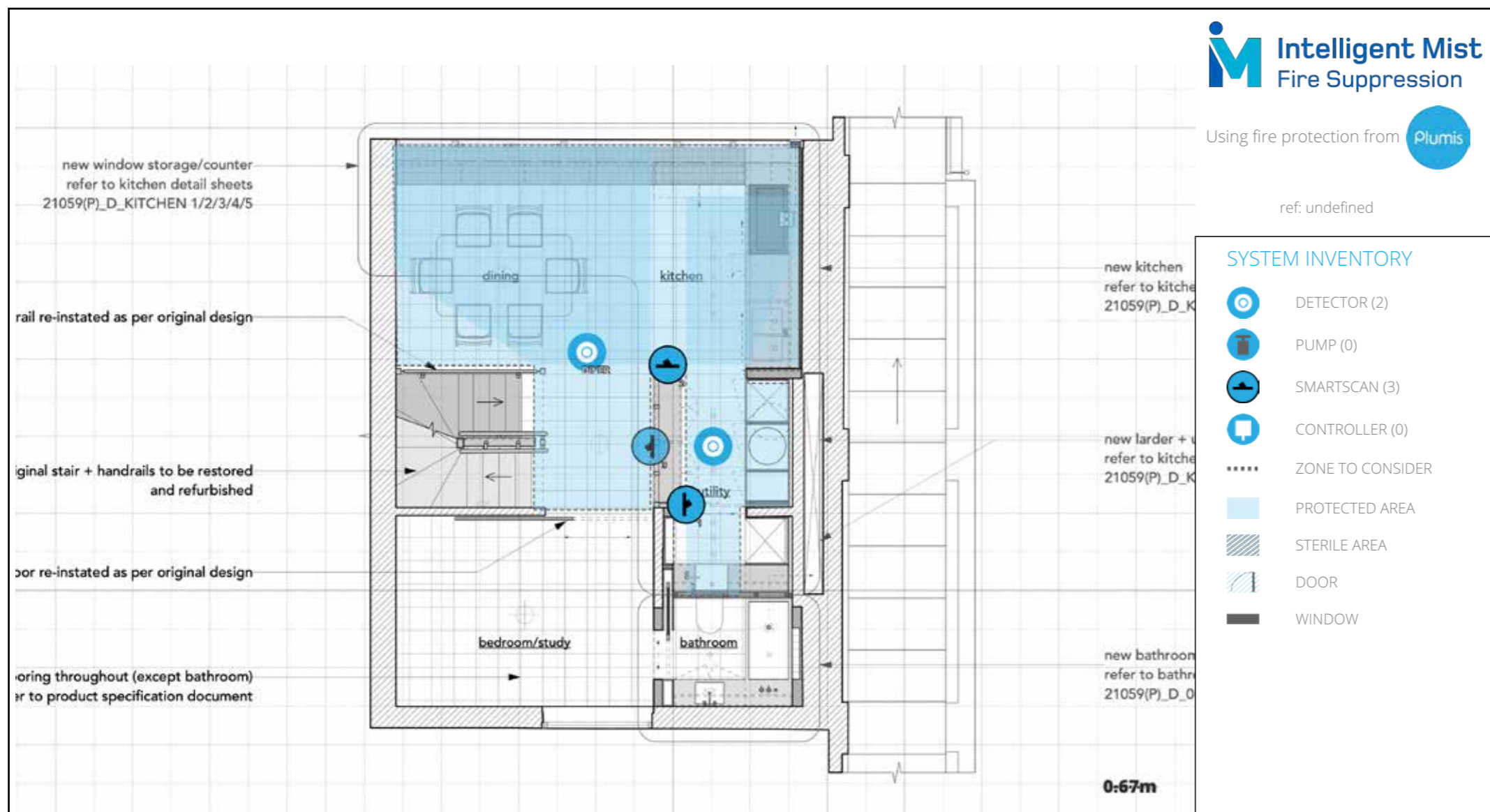
## Typical Sliding Door/Partition Detail



# First Floor\_Fire Safety & Suppresion\_Proposed mist system

By proposing to remove the non-original walls and fire doors in order to return the property to its original open plan form (including re-instating timber sliding door/room partitions), the appointed Approved Inspector has indicated the need to install a mist system to contain any potential fire to the kitchen/dining area in order to meet current Building Regulations. Building Regulations state that one cannot downgrade the level of fire protection from the existing level of protection, which is currently provided by the non-original wall + fire door between the kitchen and the stair/landing.

The proposed mist system has been specified by "Intelligent Mist" to cover only the kitchen and utility area, in order to protect the stair and First Floor landing. The fire mist system (pump + pipework + mist plates) is entirely contained within the new joinery; a small pump will be located underneath the kitchen sink, and the visible plates containing the room scanner + water nozzle are similar in size and form to a 13A double socket plate and come in a stainless steel or painted white finish (to suite positions on birch ply or white painted walls/joinery respectively)



## "Plumis Hydra Automist" Wall Plate in Stainless Steel



"Plumis Hydra  
Automist" Wall Plate  
in White Finish



"Plumis" Mist System  
Water Pump  
(connects to mains  
water supply)

Proposed fire suppression plan produced by "Intelligent Mist"

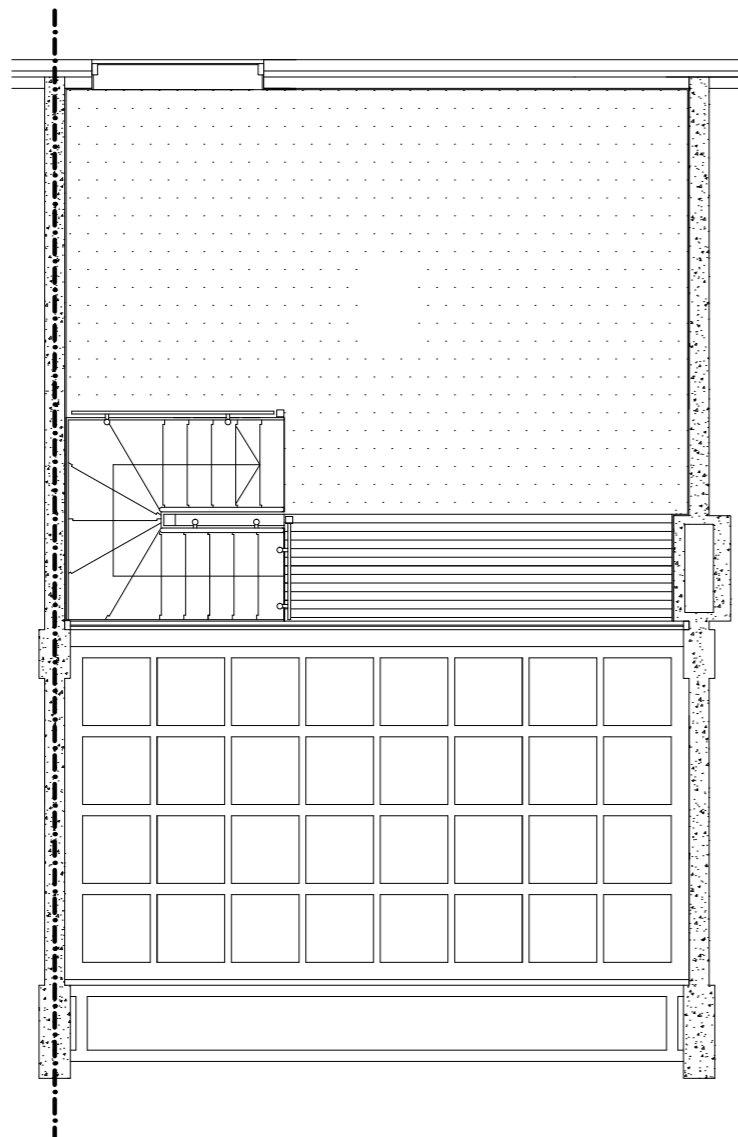
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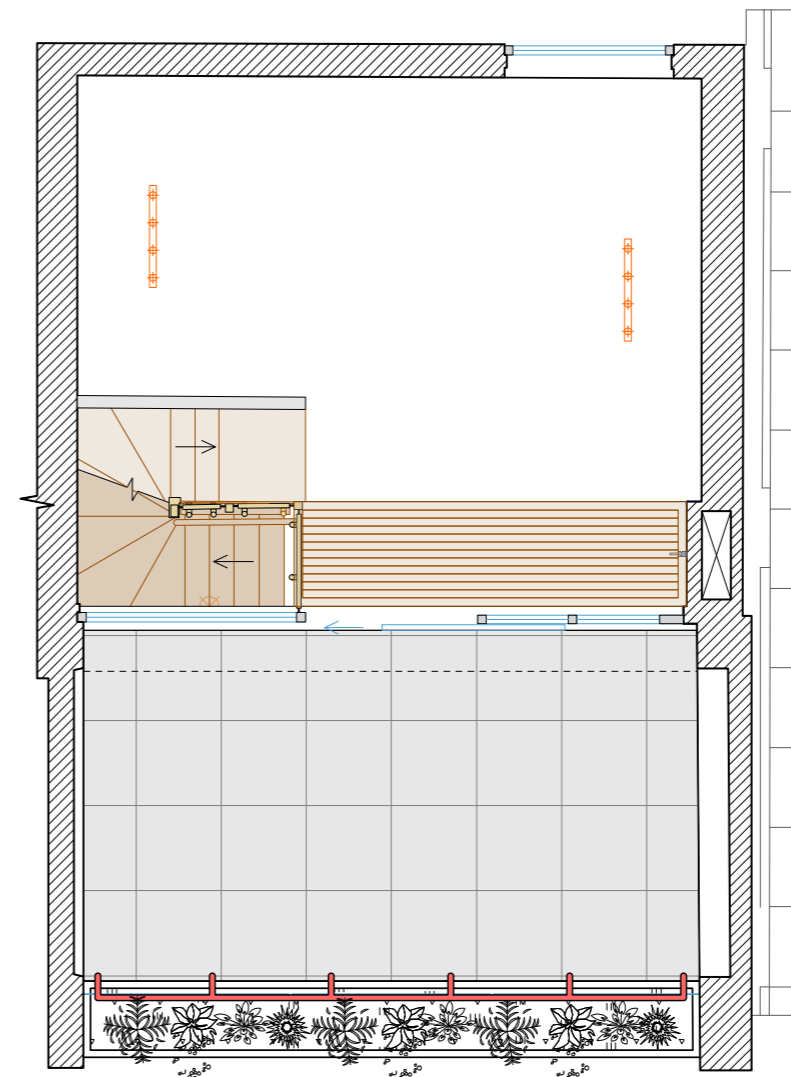
## 4.3 PROPOSED WORKS

### Second Floor\_design intent

Similar to the ground and first floors, the proposed intention is to remove all non-original partition walls, swing-doors and frames in order to return the second floor layout to Neave Brown's original open plan design. The partition adjoining the stair will be carefully removed to reveal the original concrete parapet wall. The original timber window plinth, currently covered over, will be revealed and restored to its previous condition. Internal decorations will be returned to their original palette of white uncovered walls, while the non-original timber flooring will be replaced with linoleum throughout. All windows will be stripped, repaired and re-decorated to match exterior finish, as per the original design. The existing stair, one of the only original features not to be demolished, will be stripped of the existing carpet and paint, and re-paired and re-finished in line with the original design. The external handrail will be re-painted in the recommended colour to match, and the planter will be recommissioned.



original Neave Brown plan



proposed plan

# 5.0 CONCLUSION

In its current state, the floor layouts throughout 21b Ainsworth Way bear little resemblance to Neave Brown's original design, while the existing finishes and fittings are neither original, nor in keeping with the original aesthetic. The much needed regeneration to this family home will be done in a manner that will be respectful to the original historic design and will aim to reinstate and celebrate the architectural features and materials that make this estate so important.

The proposed works will aim to enhance the characteristics of the building while also enhancing and updating the interiors to meet modern day standards.

There are no new external structures or alterations proposed (aside from repairing and re-staining all windows to match the original specification). All internal alterations will be of a domestic scale with the intention of reinstating features and layouts that were previously removed and altered. The use of a sympathetic material palette will reinstate the character of the building and the proposed additions will be firmly in the spirit of what Neave Brown and Camden Council intended.

All parts of 21b Ainsworth Way are private residence. The access to the site will be unaffected in the proposals made here. The highway is unaffected.



21b AINSWORTH WAY  
DESIGN & ACCESS STATEMENT  
REVA (SEP 2022)  
JUNE 2022

21b AINSWORTH WAY

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