



## Design and Access Statement

**Conversion of 4 single glazed window on first floor into double glazed at the front of the property.**

attn: Planning Department

RE: 5 Parsifal Rd, London NW6 1UG, UK

01 Introduction

02 Context

03 Opportunities

04 Design, Layout and Amenity

05 History

## 01 Introduction

The proposal is for the conversion of 4 single glazed windows into double glazed at the first floor front elevation at 5 Parsifal Road, London, NW6 1UG. The surrounding area is predominantly covered by larger terraced and detached housing on the same street.

This Planning statement is to be read in conjunction with the following documents:

- Full set of drawings
- Location Map

The following policies and legislation have been considered:

- National Planning Policy Framework 2019
- Local SPD Plan

## 02 Context



**Fig 1. Camden borough area in London**

The site is located on Parsifal Road, within the West End Green and Parsifal Road conservation area within the Borough of Camden. The property is characterised as larger terraced housing with large double fronted red bricks.

Local amenity within the area include West Hampstead Station 0.6 miles south of the property which connects the area to central London through the Overground, and National rail. The A1 Road is located just North of the property and connects the area to all parts of London and the North of London with connection through to the A406 Ring Road which spans to West and North East London. Hampstead Heath Park is located 0.8 miles north of the property which contains larger green space amenity for both local residents and tourists.

### 03 Opportunities

The proposal does not present any challenges in respect of daylight and sunlight. However, these need to be considered in the context of the site and the surrounding properties around.

These policies require the development to protect the amenity of the surrounding existing and future residents and building occupants, as well as protect the amenity of the surrounding public realm. This would also create a positive amenity space and will improve both the appearance of the site and improve valuable habitable space.



**Fig 2. Aerial view of property**





**Fig 3. View of property from front**



**Fig 4. View of property from rear**

## 04 Design, Layout and Amenity

The proposal has considered it's effects on architectural assets of the property and it's surroundings significance. This is crucial as the property is in a conservation area.

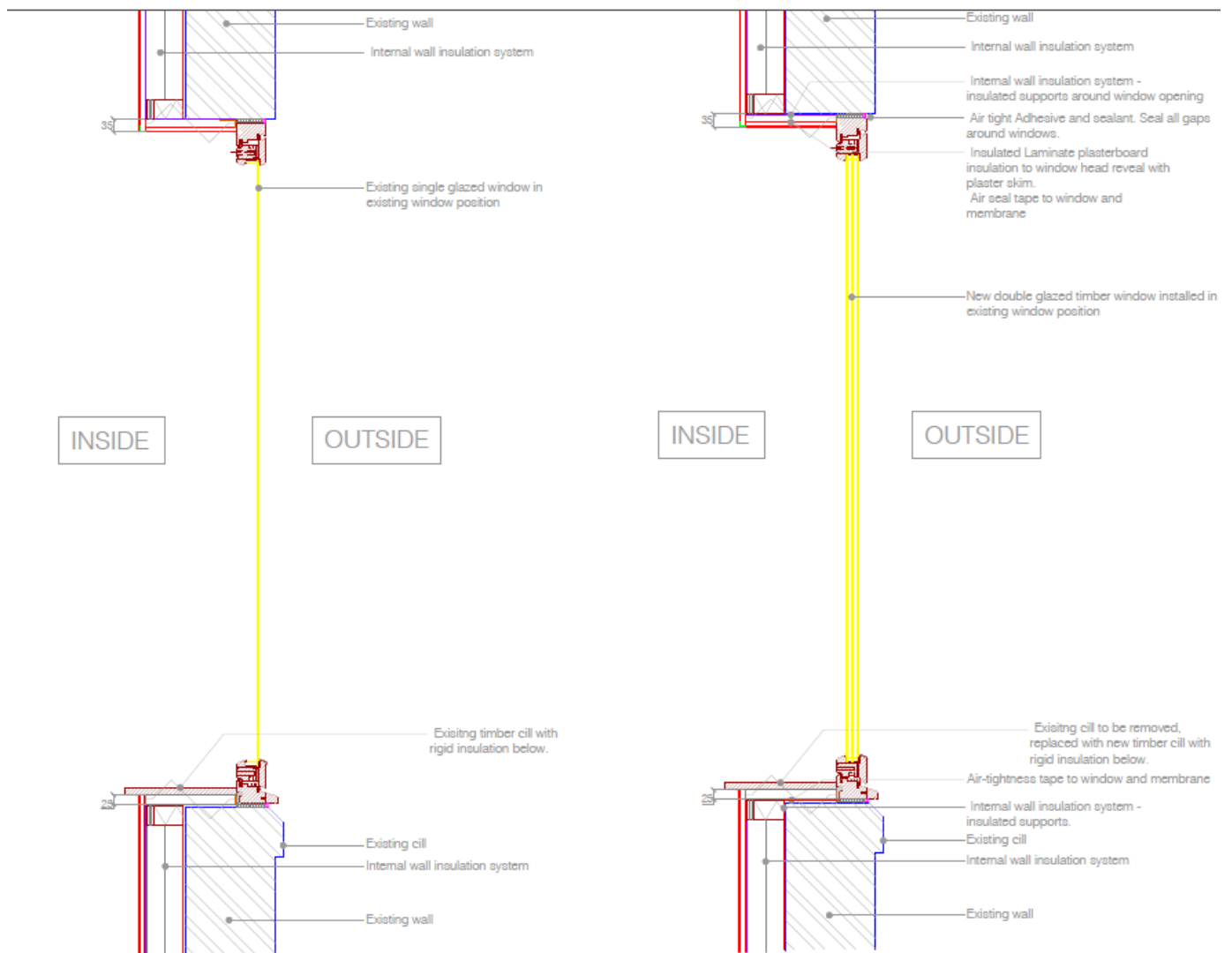
The design proposal is a like for like conversion of the single glazed window into a double glazed window. This will help mainly in reducing heat loss within the interior of the house as well as reduce electricity bills.



**Fig 5 . Existing Front Elevation**



**Fig 6 . Proposed Front Elevation**



**Fig 7. Window section detail**

## 05 History

### 5 Parsifal Road London NW6 1UG (2015/2160/T)

**No Objection to Works to Tree(s) in CA** (May 22 2015) - Notification of Intended Works to Tree(s) in a Conservation Area

REAR GARDEN: Group of sycamores - Cut back branches overhanging into no 3 Parsifal Road to boundary line

### 5 Parsifal Road London NW6 1UG (2019/3877/T)

**No Objection to Works to Tree(s) in CA** (Aug 28 2019) - Notification of Intended Works to Tree(s) in a Conservation Area

REAR GARDEN: 1 x Ash (T1) - Reduce crown by up to 4m on all aspects and remove all ivy stubs to leave a clean trunk 1 x Sycamore (T2) - Remove large dying stem and reduce the 3 remaining stems by 3m on all aspects. Remove rubbing branches. 1 x Poplar (T3) - Reduce height by 50% (approx. 8m).

### Garden Studio 5 Parsifal Road London NW6 1UG (2020/2827/P)

**Granted** (Jul 1 2020) - Certificate of Lawfulness (Existing)

Use of the building to the rear garden as a self-contained residential unit (Use Class C3).

### Garden Studio 5 Parsifal Road London NW6 1UG (2020/4162/P)

**Granted** (Apr 30 2021) - Householder Application

Replacement of roof, external cladding, windows and erection of external storage space, to dwellinghouse.