

PLANNING STATEMENT

228 BELSIZE ROAD, LONDON NW6 4BT



Figure 1. Existing Photo of the Property

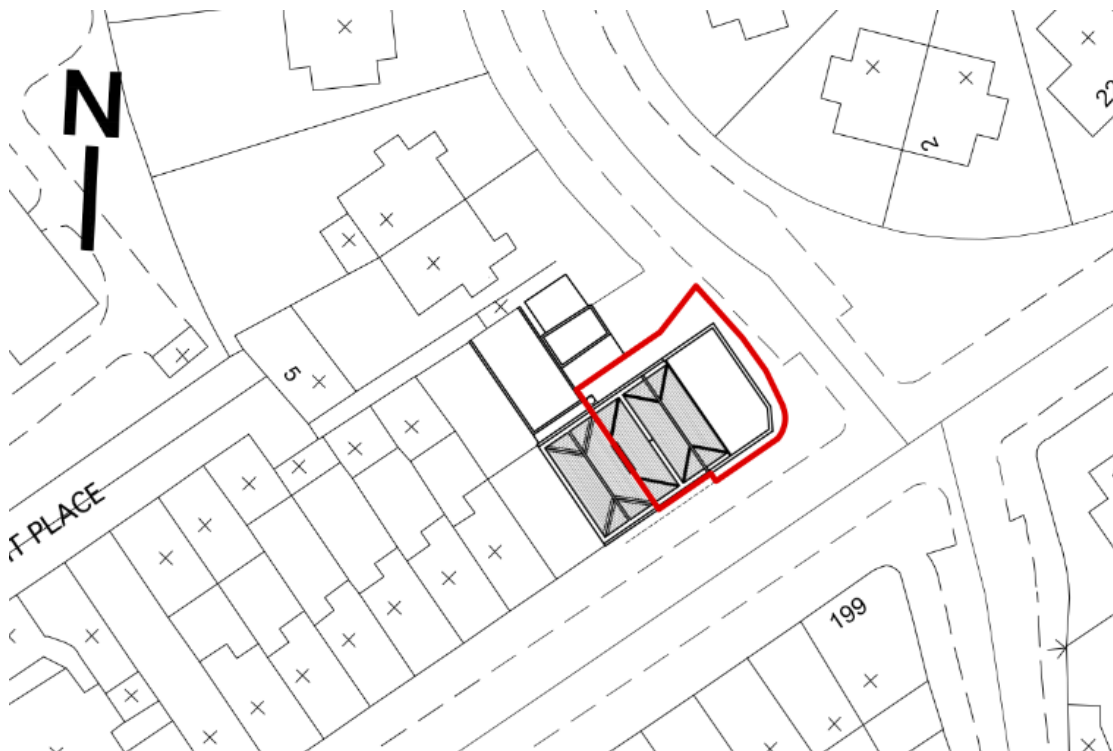


Figure 2. Location Plan of the Property¹

¹ Please note the above drawings are not in scale

This is an application for the Discharge of the second part of Condition 6 Planning Permission No. 2019/6334/P granted on the 9th of September 2017.

The approved application proposed the demolition of the existing single storey extension and the erection of a 3-storey plus basement building to provide enlargement of the existing commercial unit at ground and basement level and the provision of 2no. 1-bed and 2no. 2-bed units on the first and second floors to replace the existing 3no. studios and 1no. 1-bed units. It also provided alterations to the shopfront.

Condition 6 of the above application stated the following:

"Prior to construction the development hereby approved shall submit a sustainability statement demonstrating how sustainable design principles and climate change adaptation measures have been incorporated into the design and construction of the development to be approved by the Local Planning Authority. Prior to occupation, evidence demonstrating that the approved measures have been implemented shall be submitted to and approved in writing by the Local Planning Authority and shall be retained and maintained thereafter."

The first part of this condition has been discharged with application 2020/0045/P. This application is submitted seeking to discharge the second part of Condition 6, underlined in the above description.

The planning permission has not been fully implemented. The existing four studios have been retained, as the construction took place during the pandemic and there were restrictions in place in vacating occupied properties, and the flats have been in constant occupation since. Moreover the basement has not been implemented as it was uneconomical to do so. Therefore all measures apply to the new side extension with the 2No x 2bedroom flats only.

The evidence submitted for the discharge of the second part of condition 6 is as follows:

1. Photo of new cavity wall in progress (left) and photo of new cavity wall with the insulated plasterboard installed (right).



2. New flat roof.



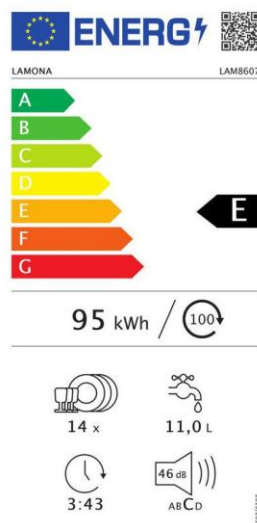
3. Appended pdf with specification of windows installed (in line with approved condition 2).
4. The flats were fitted with electric panel heating and electric water cylinders, as an even more sustainable solution.



5. Philips LED Dive SL261 Dimmable White Recessed Spotlights.



6. All appliances installed are Lamona with energy rating E (A++ with the old scale).



7. Wall mounted hooks for 6 cycles installed.



8. Appended pdf for Flat 3 and flat 6 water calculations (as approved also by condition 7).

9. 4No x 240L refuse and 4No x 240L recycling.



10. Hoarding during construction.

