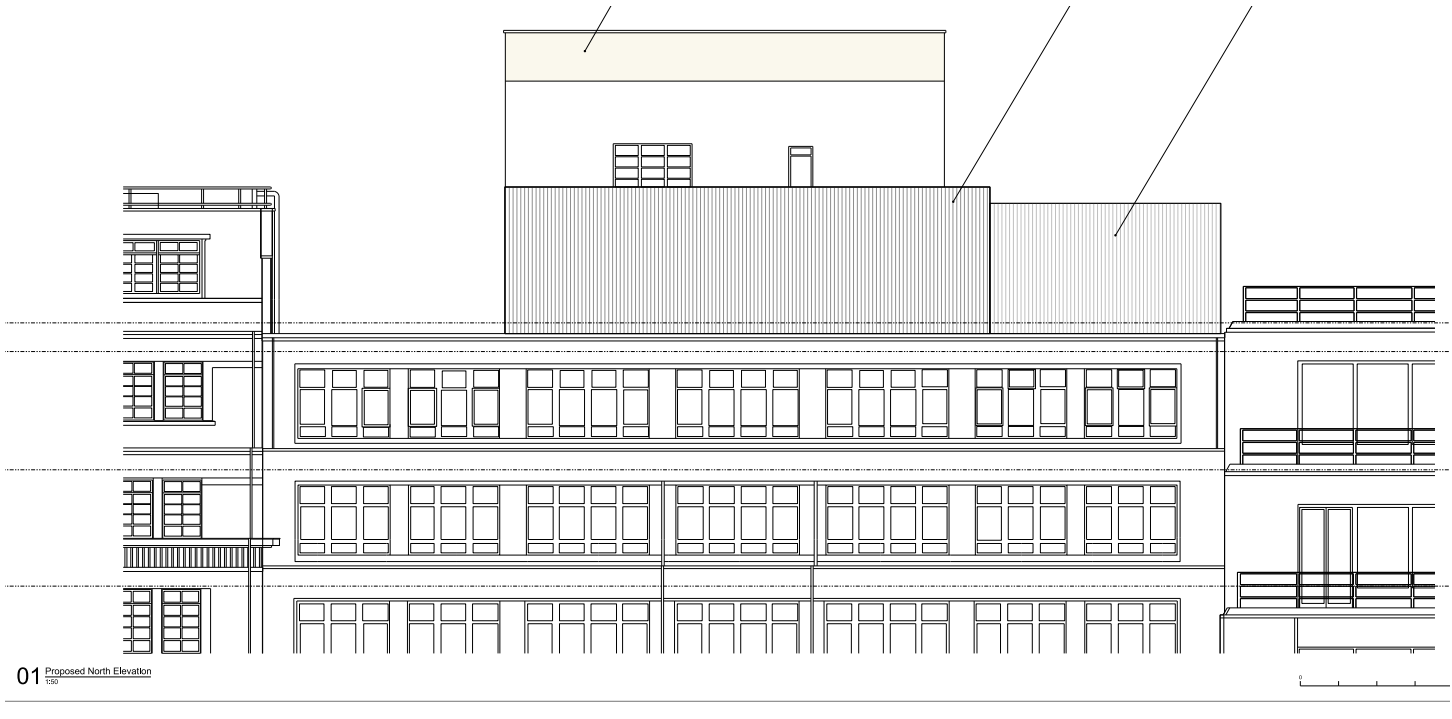


02.00 CONSENTED VS. PROPOSED DRAWINGS
02.07 (NORTH) EAGLE STREET ELEVATION

Existing

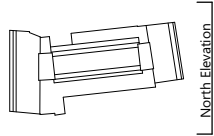


Planning Application 2020/1350/P



02.00 CONSENTED VS. PROPOSED DRAWINGS

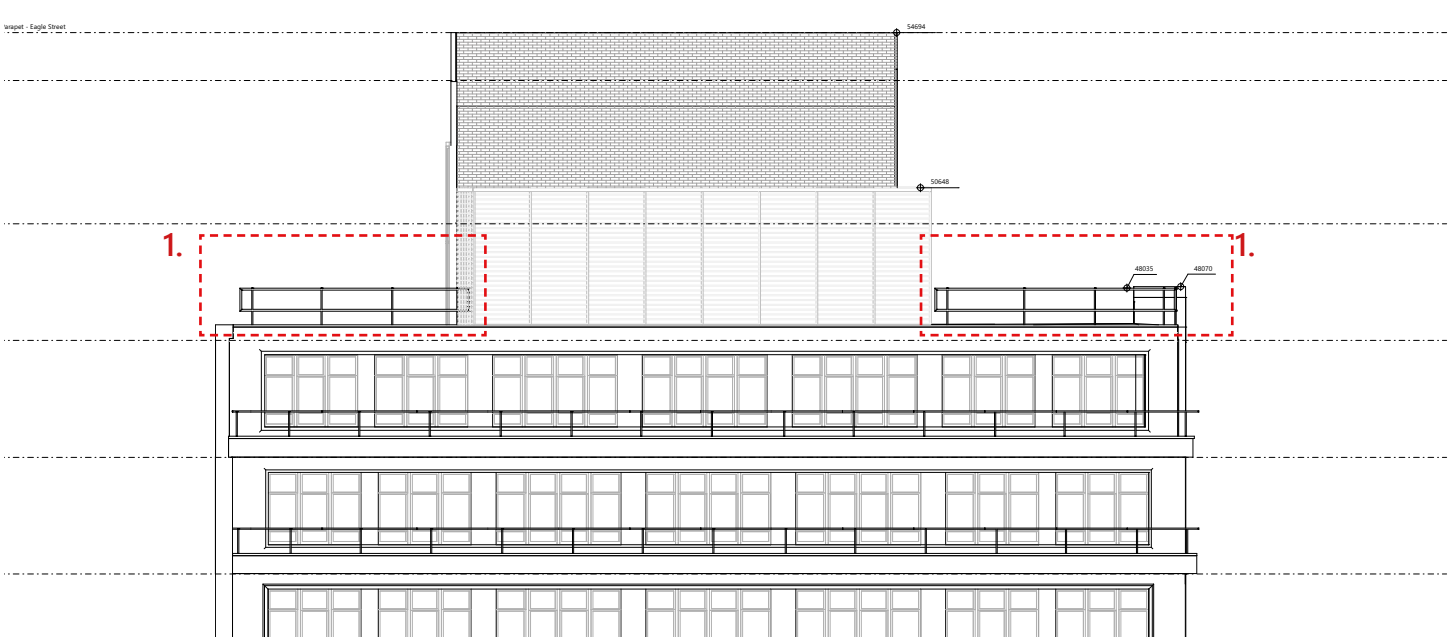
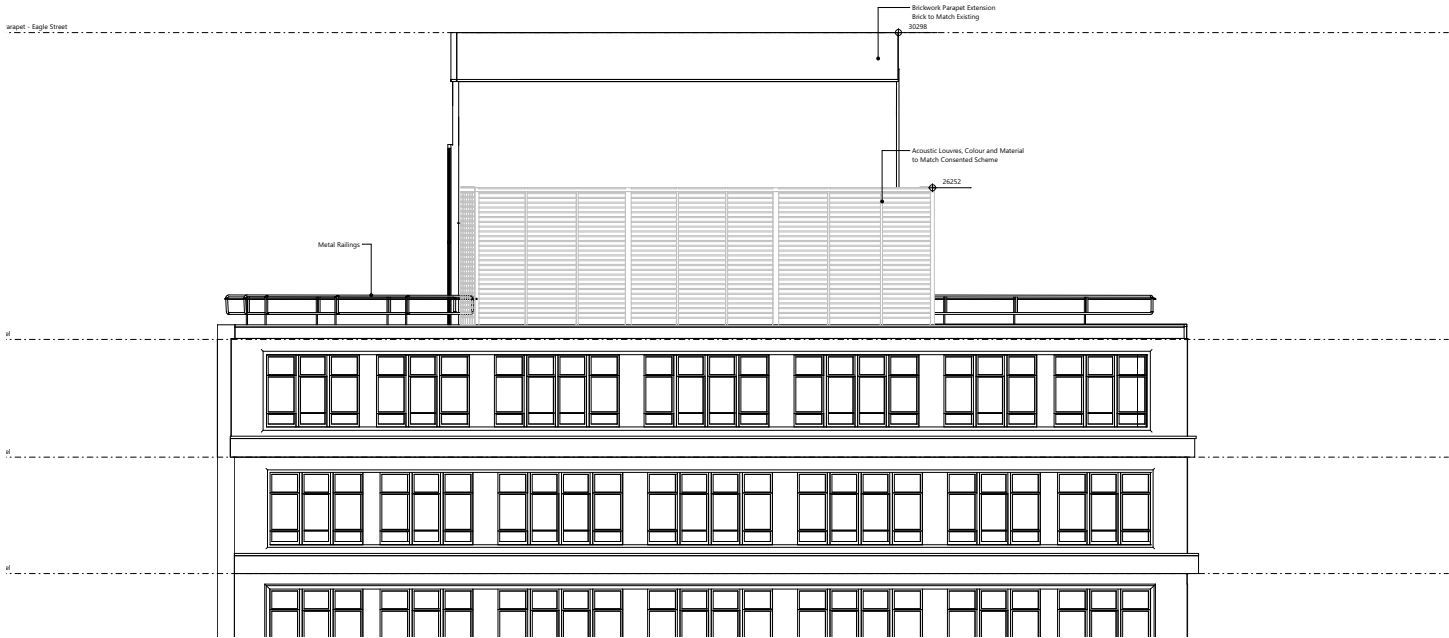
02.07 (NORTH) EAGLE STREET ELEVATION



Planning Application 2021/3561/P

Approved

Proposed



KEY



Proposed amendment area

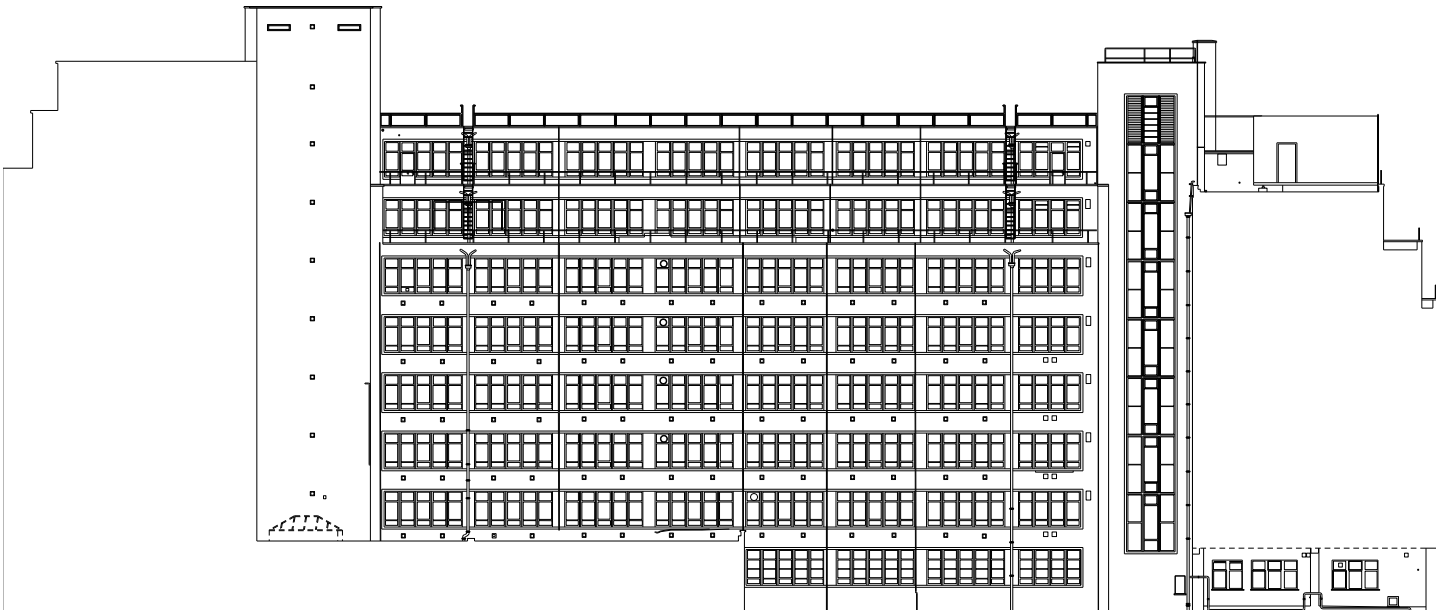
Amendments:

EAGLE STREET BLOCK

1. Replacement railing to match existing. In order to comply with Part L building regulations, all roofs will receive new coverings which will improve their thermal performance. The consequent increase in the roof build up means that the railings will no longer be Part K compliant as they will be less than 1.1m above external finish floor level. As the existing railings do not guarantee safe access to the roofs, the proposal is to replace these by new ones which will rise a least 1.1m above the external roof level.

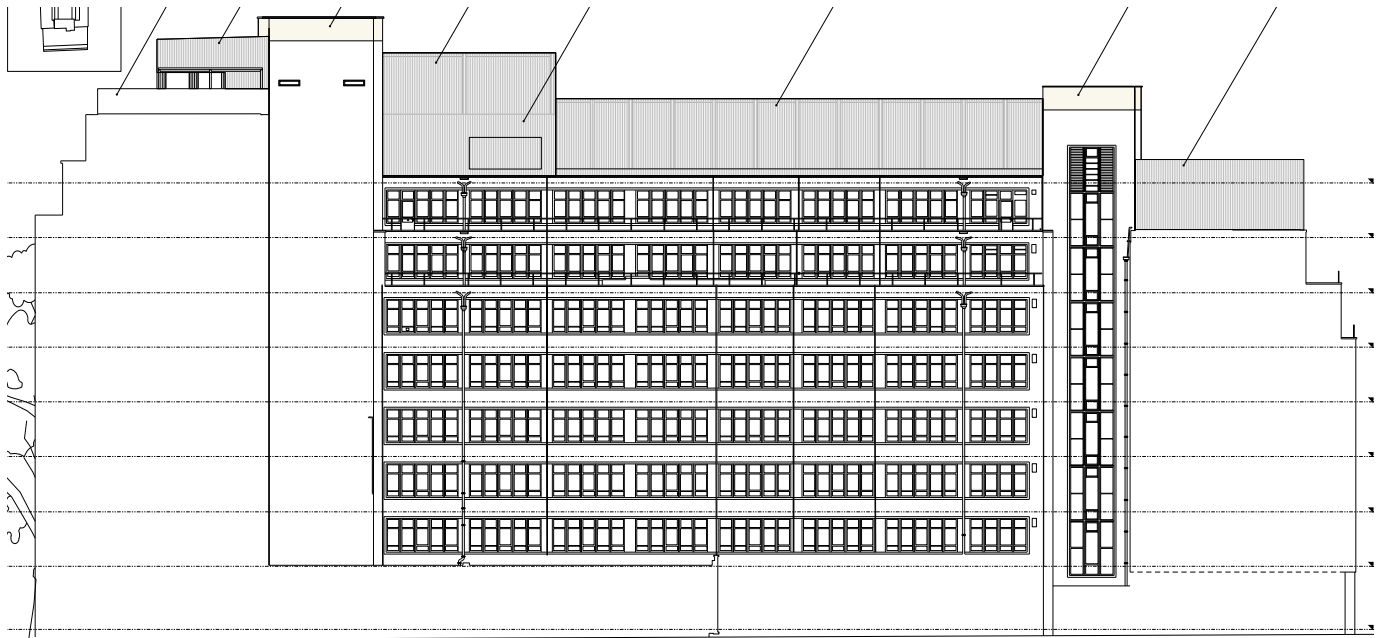
02.00 CONSENTED VS. PROPOSED DRAWINGS
02.08 EAST ELEVATION

Existing

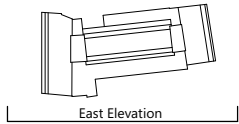


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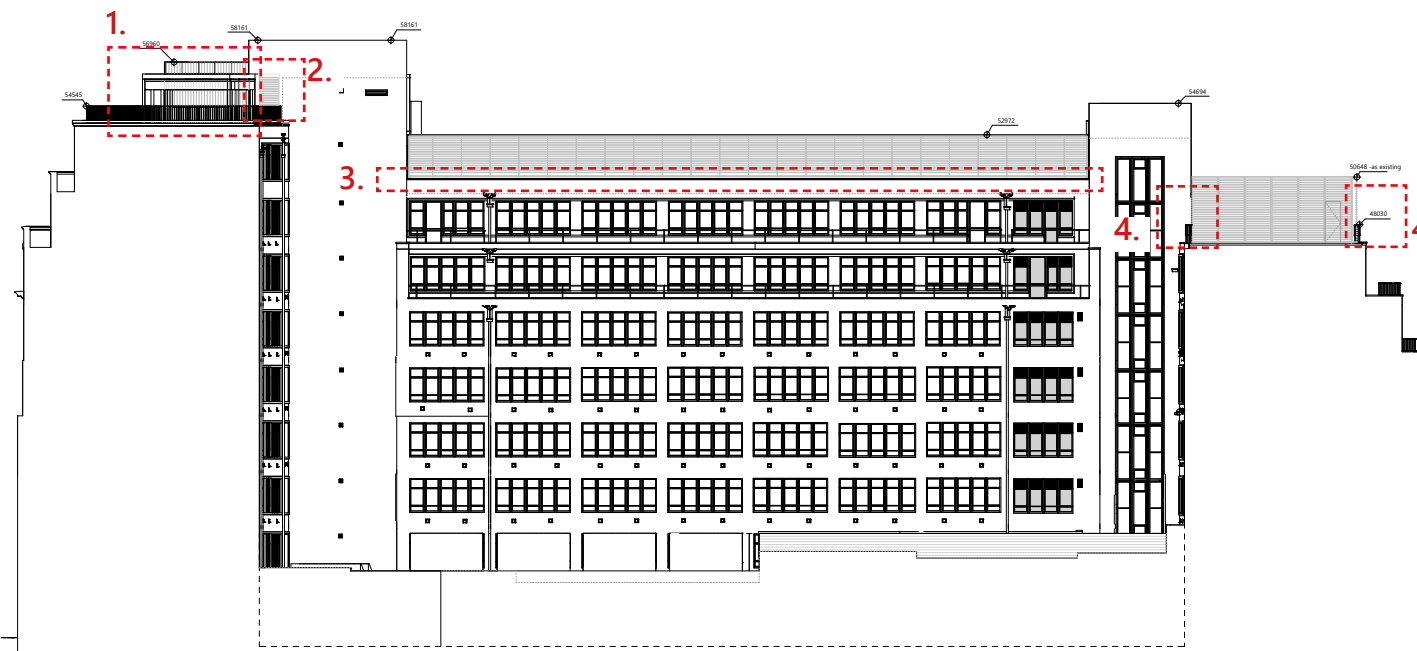
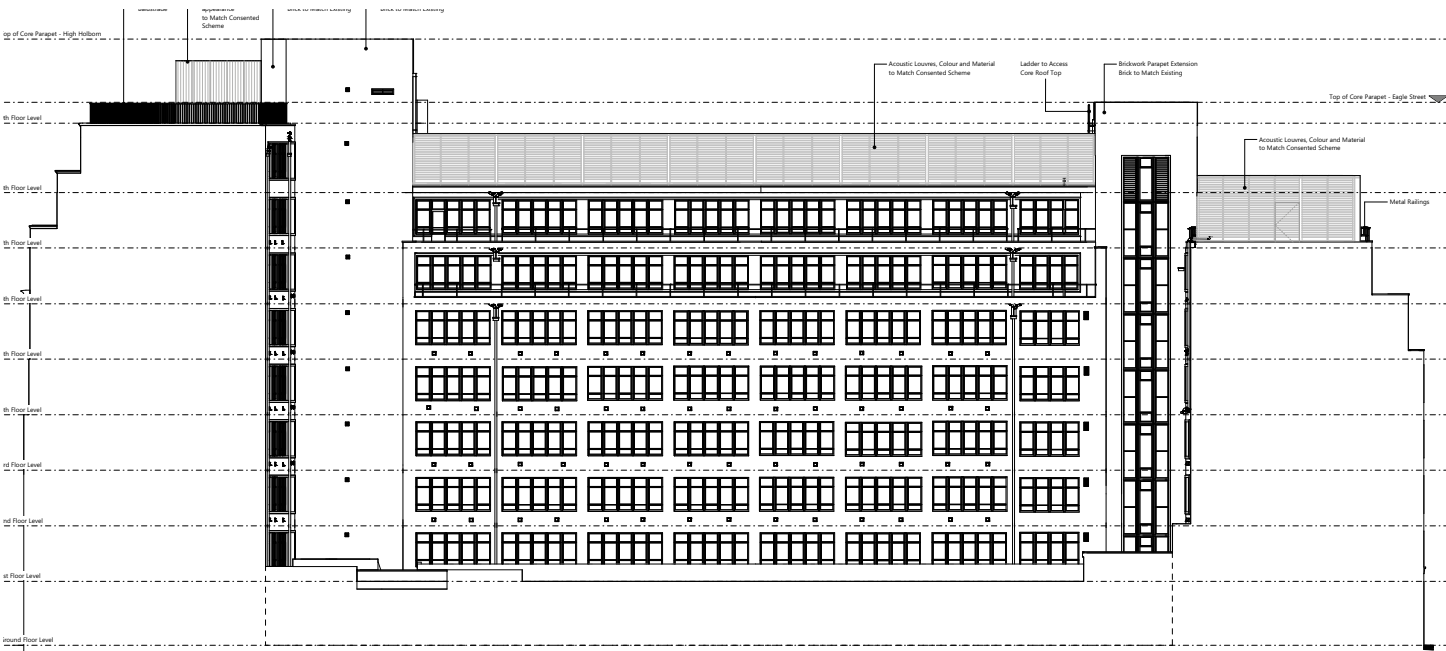
02.00 CONSENTED VS. PROPOSED DRAWINGS
02.08 EAST ELEVATION



Planning Application 2021/3561/P

Approved

Proposed



KEY
Proposed amendment area

Amendments:

EAGLE STREET BLOCK

1. Covered area to be extended through a lightweight pergola structure as previously consented (2020/1350/P). Pergola structure to have a PPC finish, colour to match the metal cladding of the roof extension.
2. Louvres required on the side walls of the new brick walls of the previously consented roof extension.

LINK BLOCK

3. Parapet of link block roof extended to accommodate overall roof build up (strengthening of existing slab and insulation for improved thermal performance). Brick to match existing.

EAGLE STREET BLOCK

4. Replacement railing to match existing. In order to comply with Part L building regulations, all roofs will receive new coverings which will improve their thermal performance. The consequent increase in the roof build up means that the railings will no longer be Part K compliant as they will be less than 1.1m above external finish floor level. As the existing railings do not guarantee safe access to the roofs, the proposal is to replace these by new ones which will rise a least 1.1m above the external roof level.

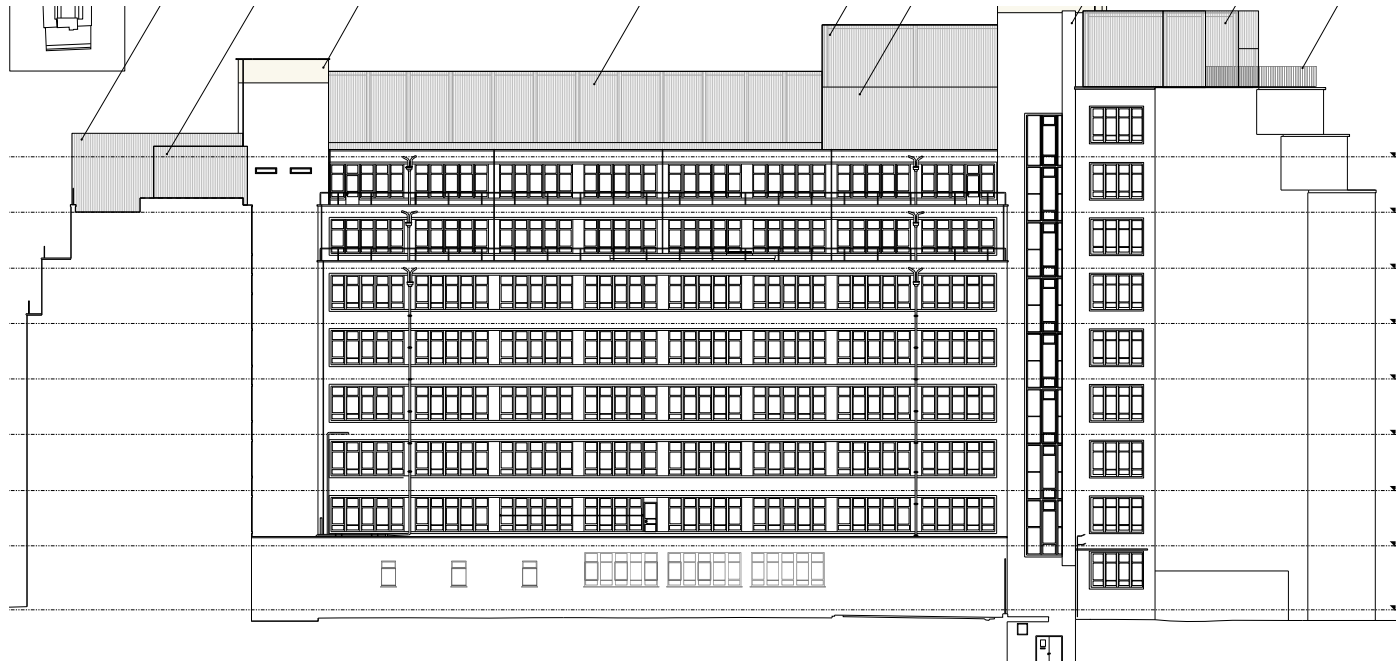
02.00 CONSENTED VS. PROPOSED DRAWINGS
02.09 WEST ELEVATION

Existing



Planning Application 2020/1350/P

Approved



02.00 CONSENTED VS. PROPOSED DRAWINGS

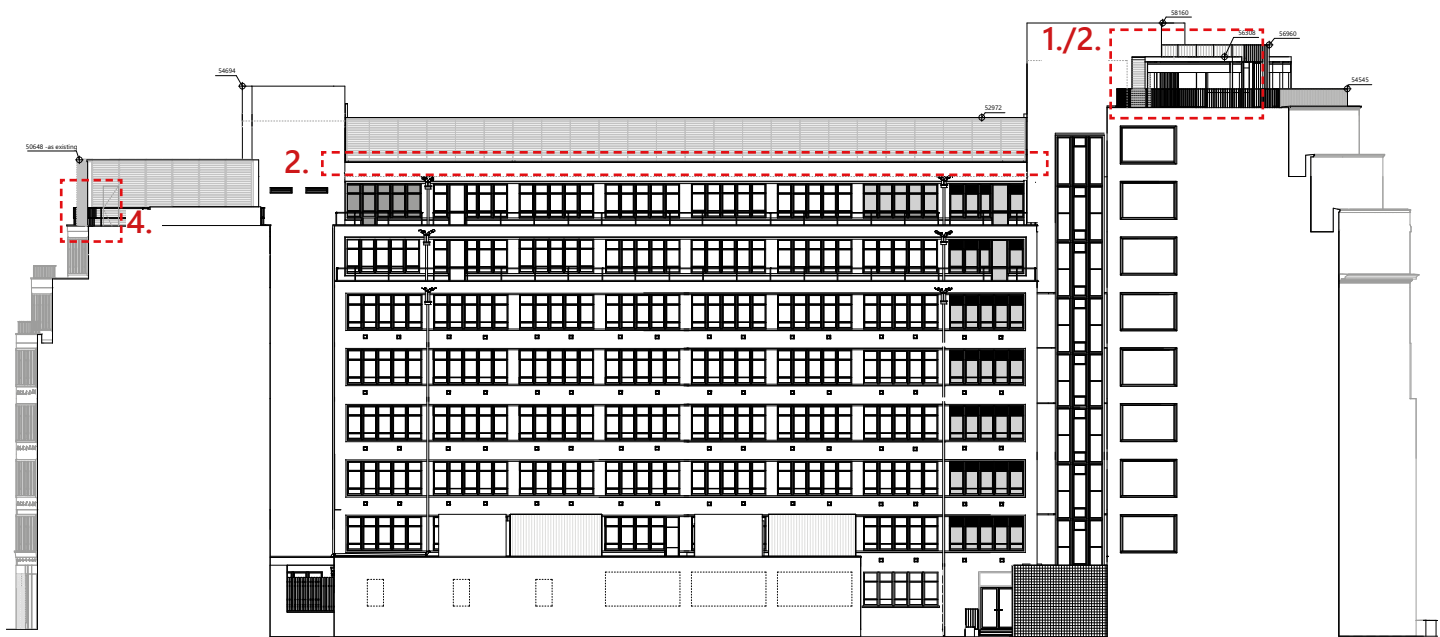
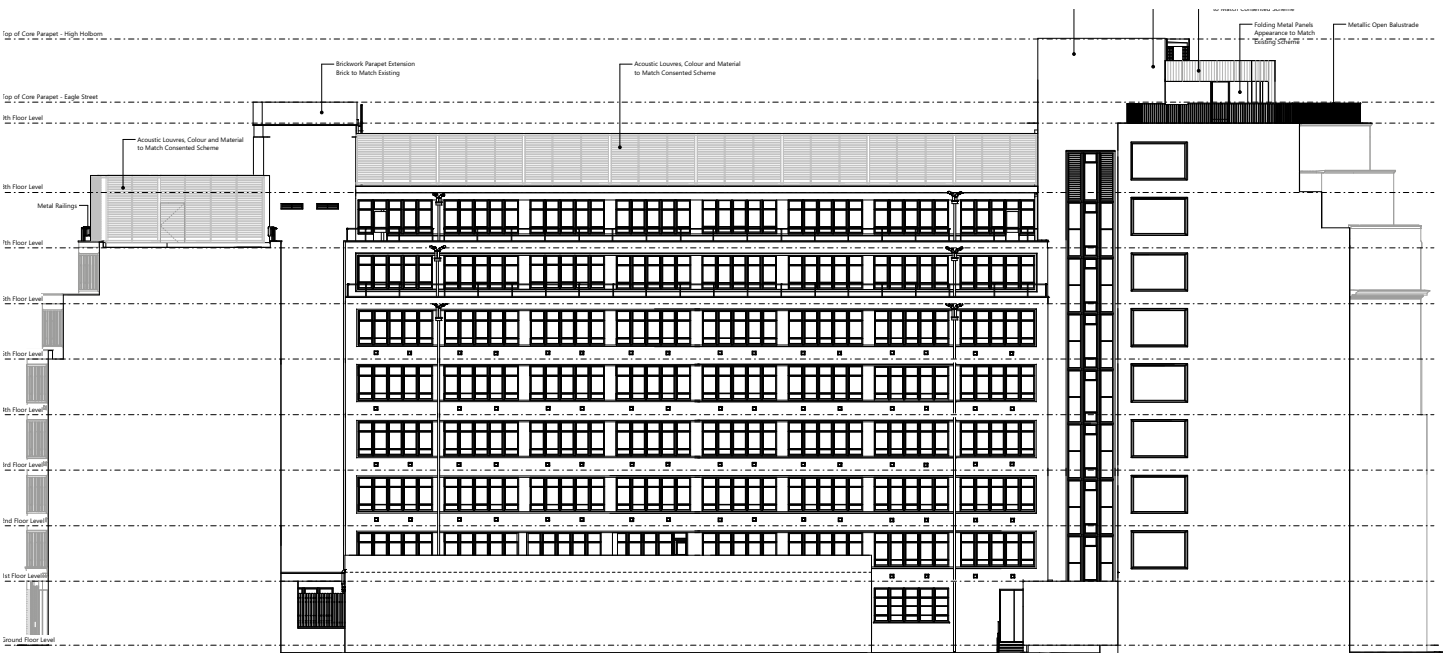
02.09 WEST ELEVATION



Planning Application 2021/3561/P

Approved

Proposed



KEY

 Proposed amendment area

Amendments:

HIGH HOLBORN BLOCK

1. Covered area to be extended through a lightweight pergola structure as previously consented (2020/1350/P). Pergola structure to have a PPC finish, colour to match the metal cladding of the roof extension.
2. Louvres required on the side walls of the new brick walls of the previously consented roof extension.

LINK BLOCK

3. Parapet of link block roof extended to accommodate overall roof build up (strengthening of existing slab and insulation for improved thermal performance). Brick to match existing.

EAGLE STREET BLOCK

4. Replacement railing to match existing. In order to comply with Part L building regulations, all roofs will receive new coverings which will improve their thermal performance. The consequent increase in the roof build up means that the railings will no longer be Part K compliant as they will be less than 1.1m above external finish floor level. As the existing railings do not guarantee safe access to the roofs, the proposal is to replace these by new ones which will rise a least 1.1m above the external roof level.

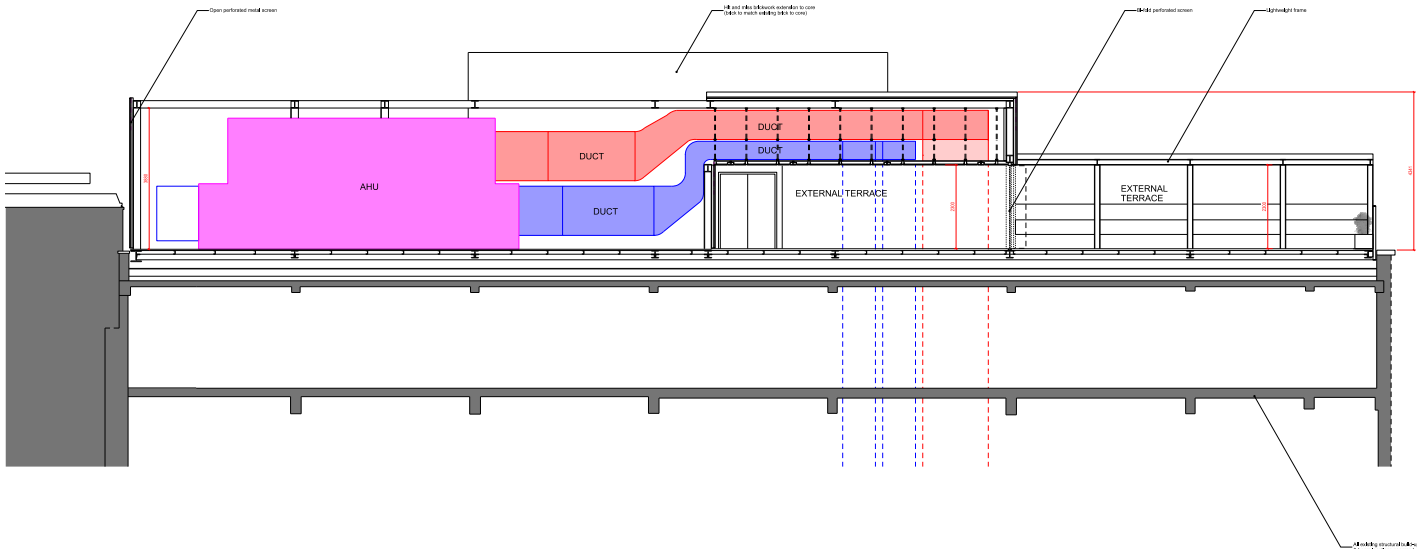
02.10 SECTION AA

Existing

Drawing not available

Planning Application 2020/1350/P

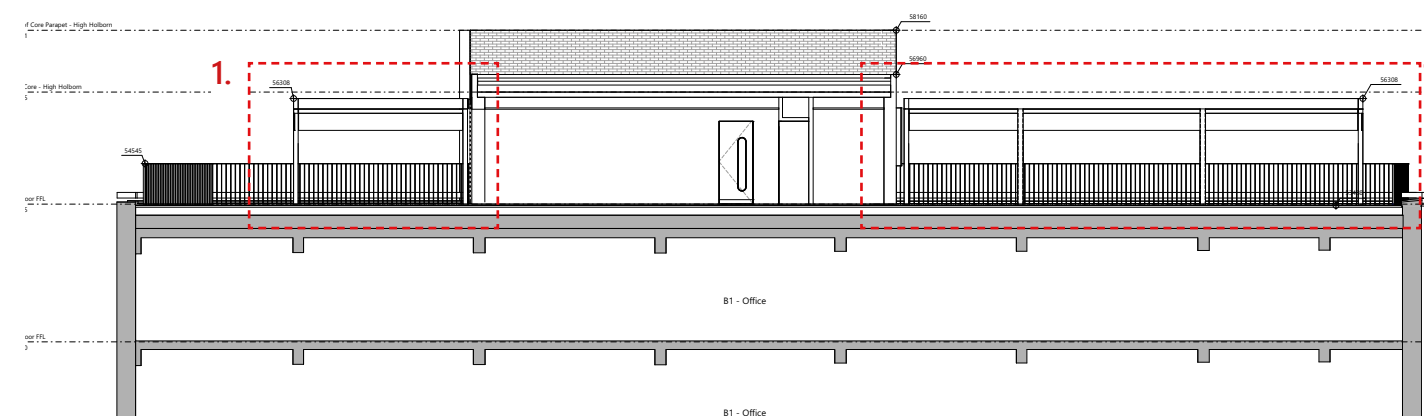
Approved



A technical drawing of a mechanical part, likely a shaft or a component of a machine. The drawing shows a cross-section of the part, with a section line labeled 'A' at both ends, indicating a section view. The part has a cylindrical body with a central hole, and a flange or mounting bracket on the right side. The drawing is a line drawing with no shading.

Approved

Architectural elevation drawing of the rear facade of a building. The drawing shows a two-story structure with a central entrance labeled "B1 - Office". Above the entrance is a large window with horizontal louvers. To the left of the entrance is a section labeled "Metallic Open Balustrade". To the right is a section labeled "Metal cladding appearance to match converted scheme". The roofline is marked with a dashed line and a label "Roof - High Holborn". The drawing includes various annotations and dimensions, such as "32764", "32579", and "3204".



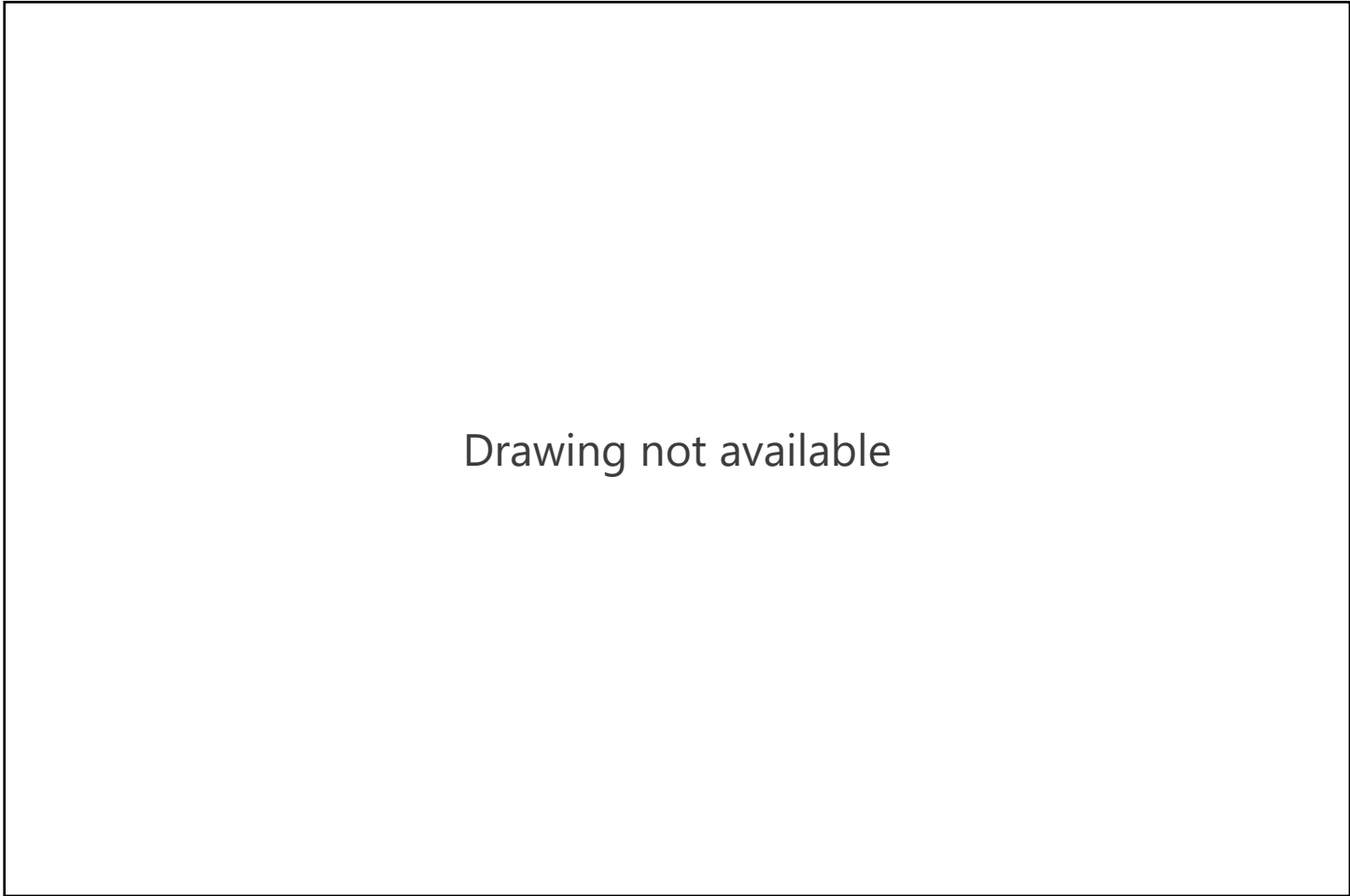
1. Covered area to be extended through a lightweight pergola structure as previously consented (2020/1350/P). Pergola materiality and colour to be as per originally consented scheme (2020/1350/P). Pergola includes integrated blinds for additional thermal and weather protection.

31

02.00 CONSENTED VS. PROPOSED DRAWINGS

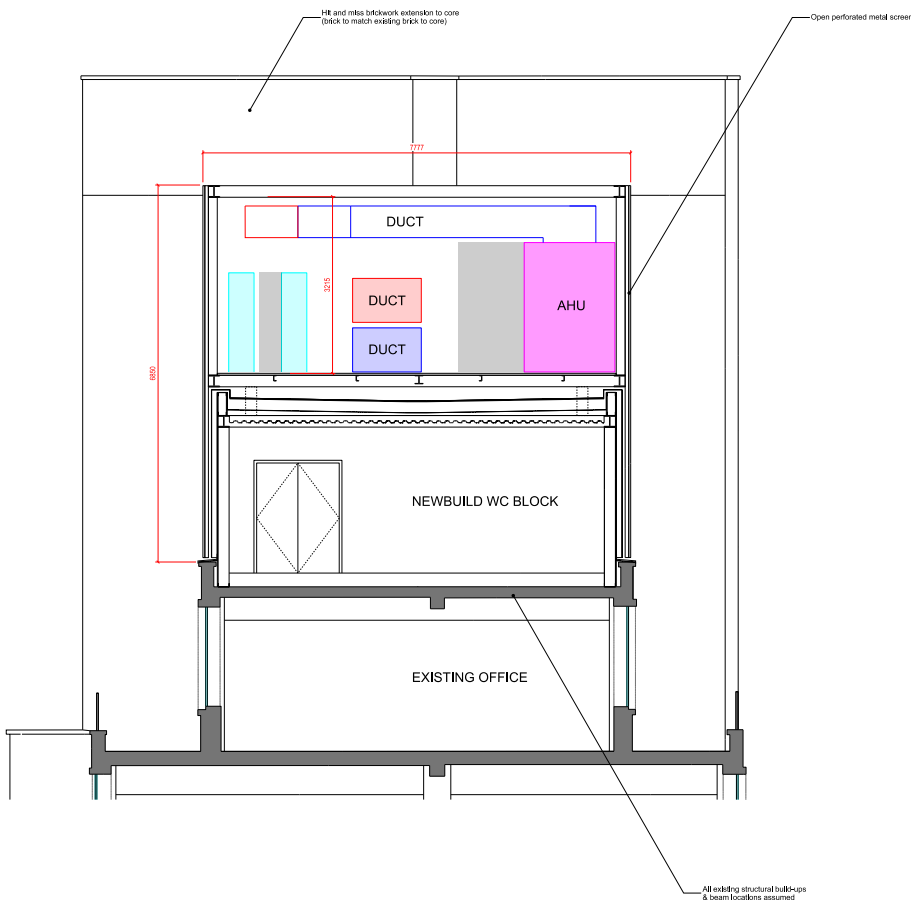
02.11 SECTION BB

Existing



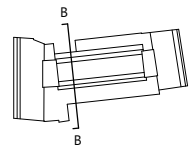
Planning Application 2020/1350/P

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02.00 CONSENTED VS. PROPOSED DRAWINGS

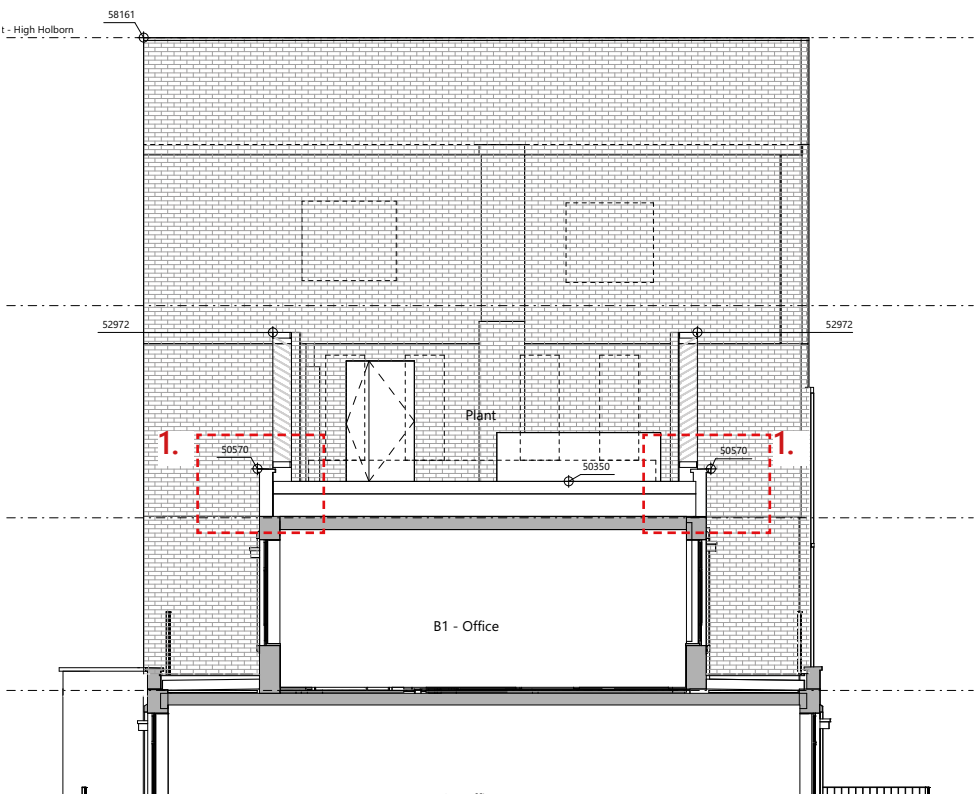
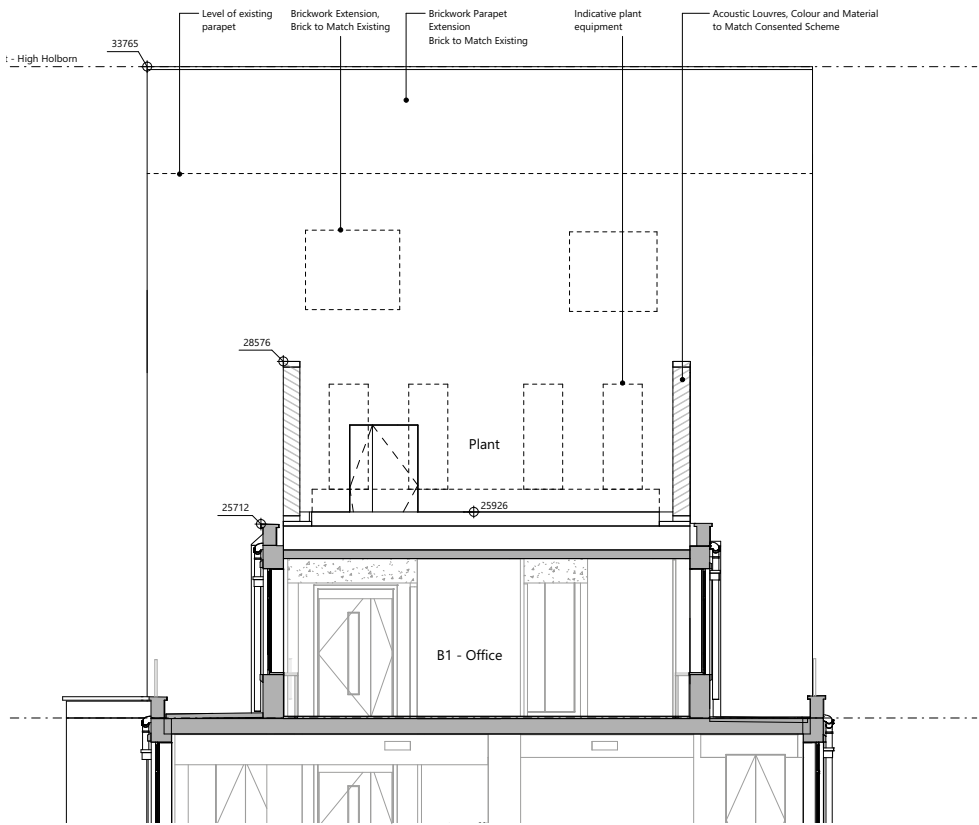
02.11 SECTION BB



Planning Application 2021/3561/P

Approved

Proposed



Amendments:

LINK BLOCK

1. Parapet of link block roof extended to accommodate overall roof build up (strengthening of existing slab and insulation for improved thermal performance). Brick to match existing.

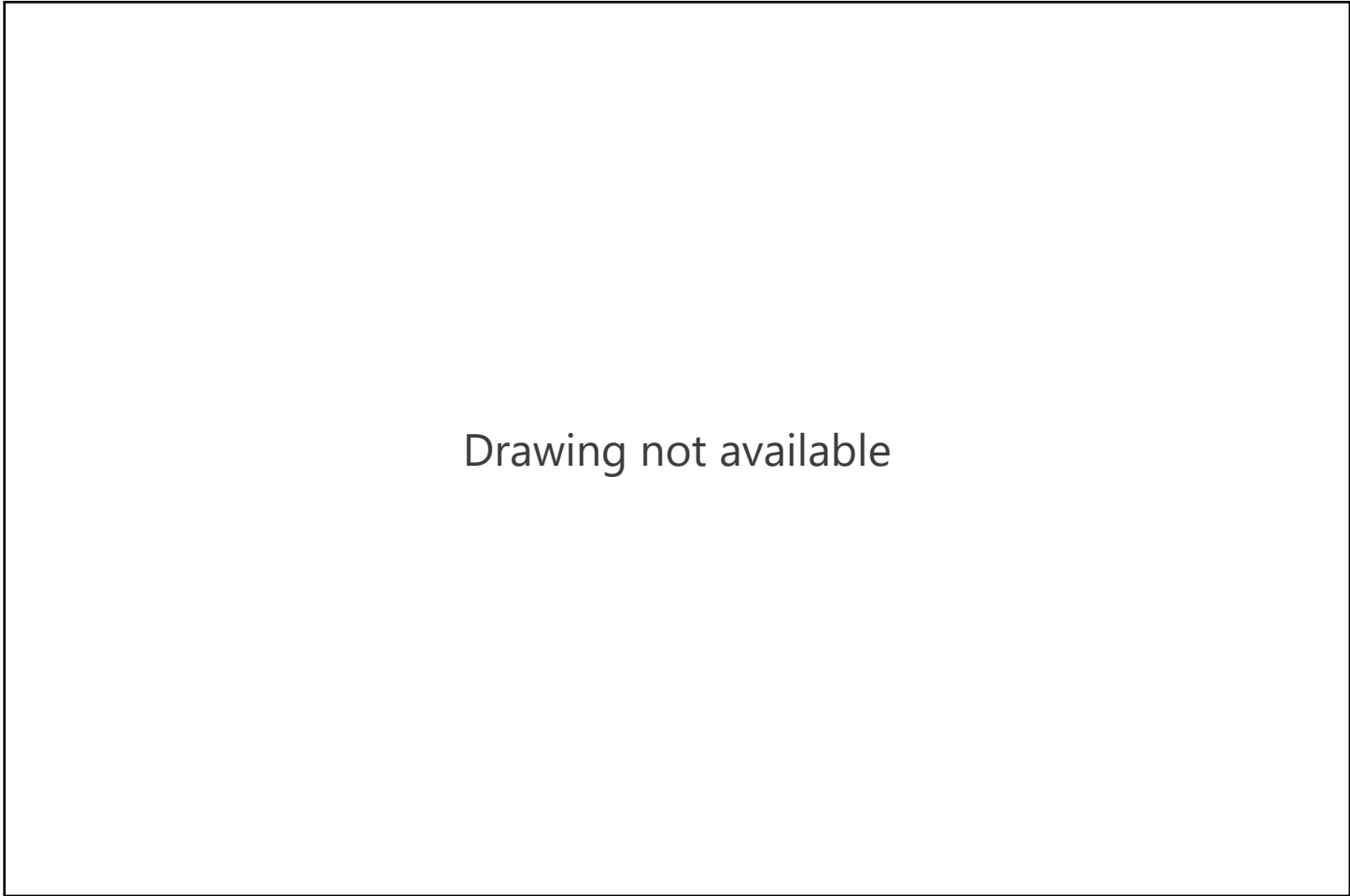
KEY



Proposed amendment area

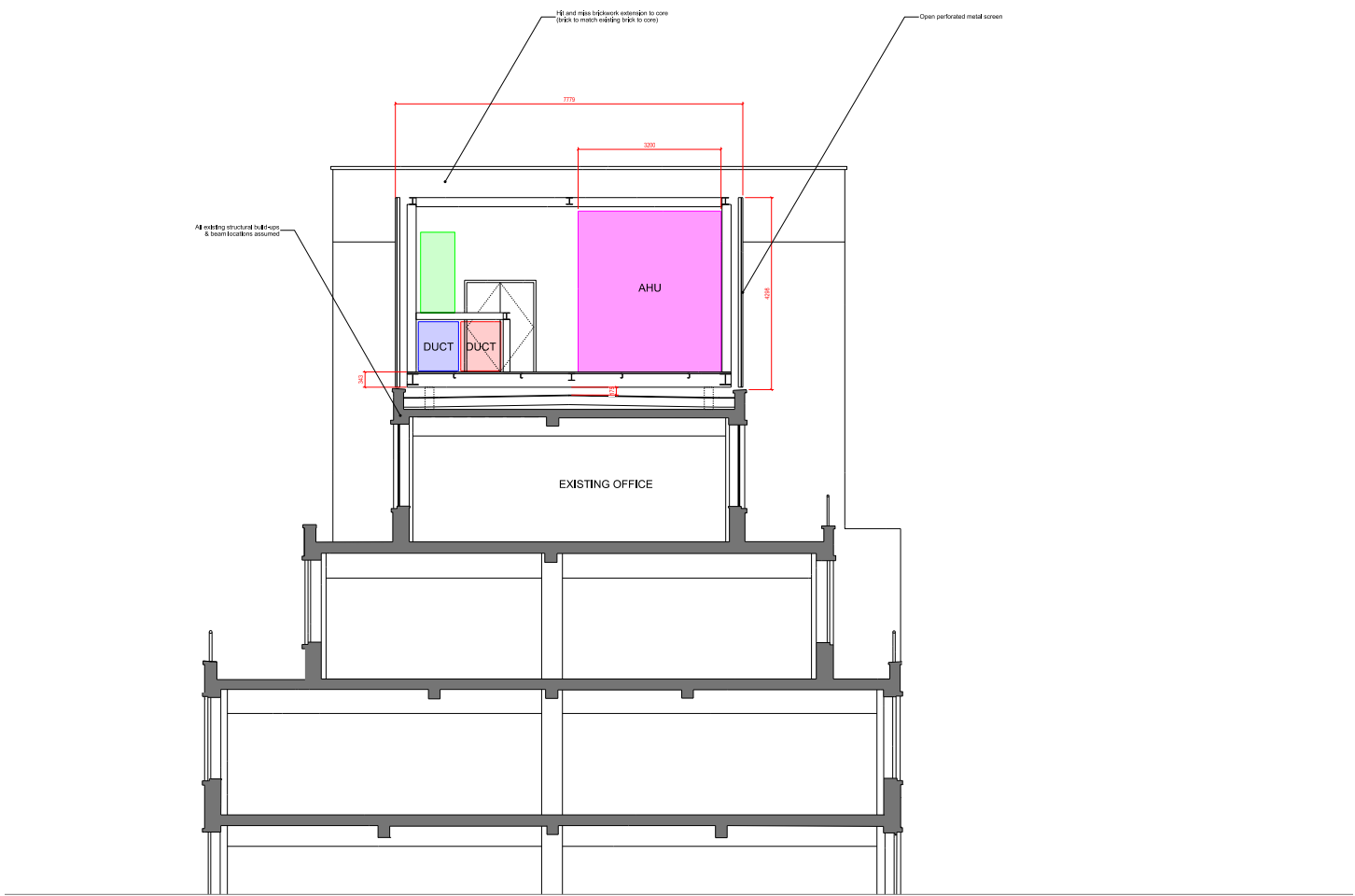
02.00 CONSENTED VS. PROPOSED DRAWINGS
02.12 SECTION CC

Existing

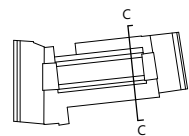


Planning Application 2020/1350/P

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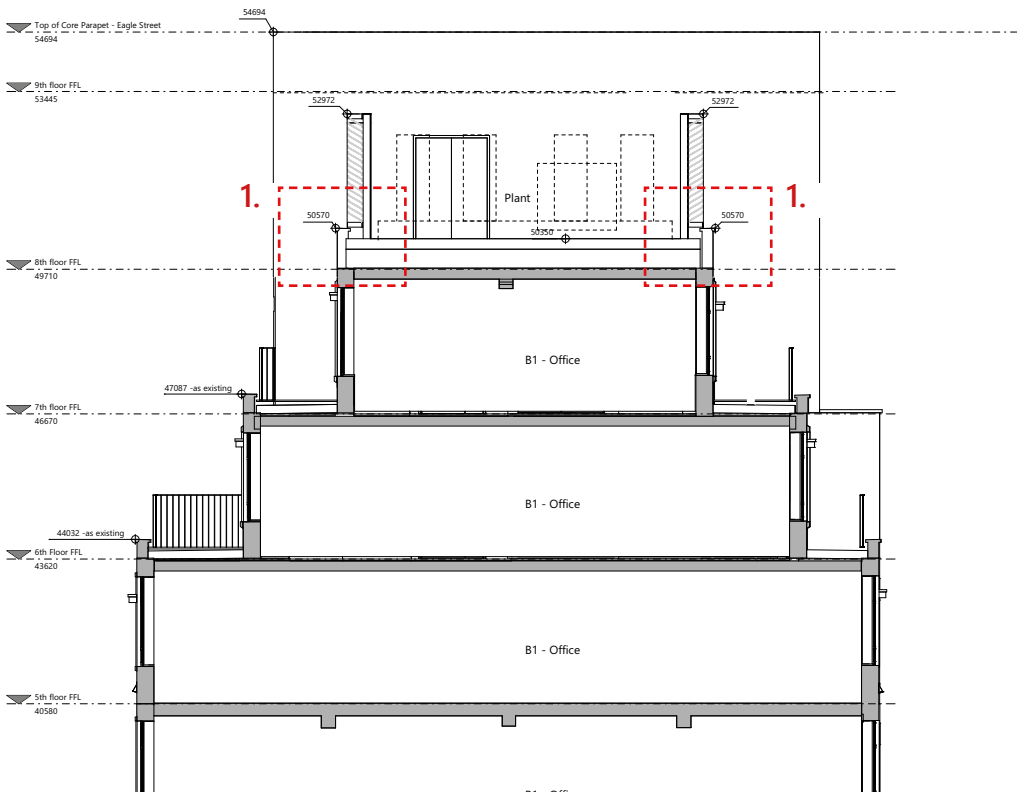
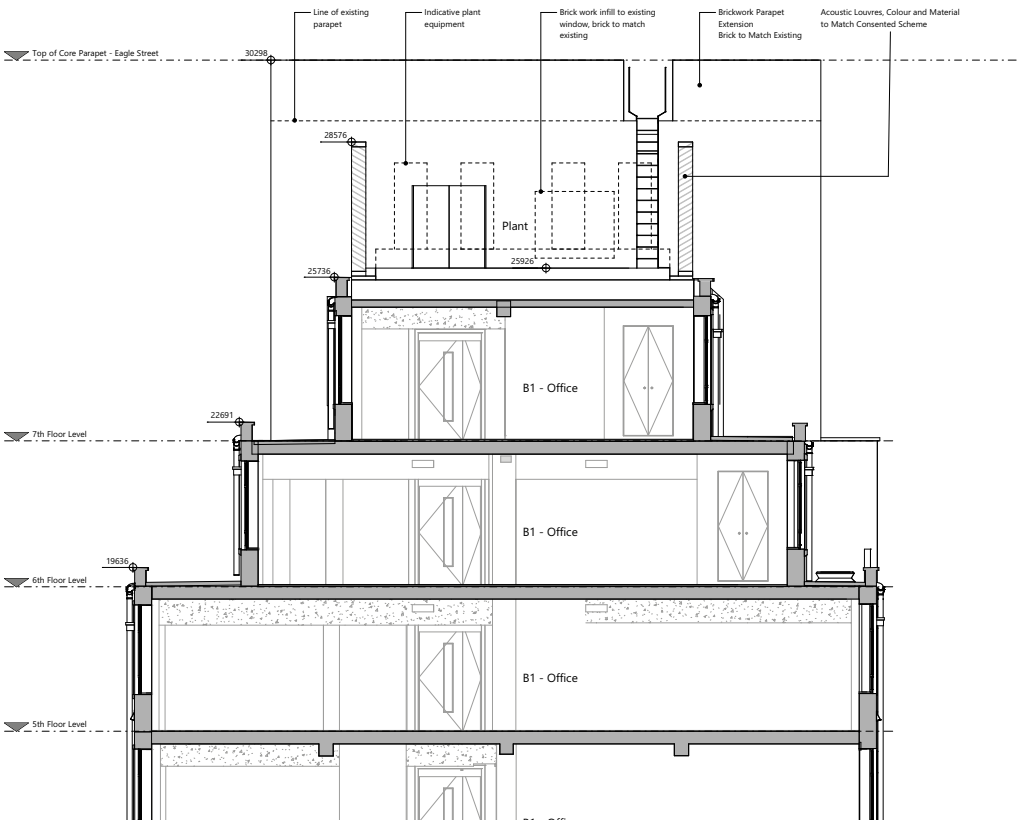
02.00 CONSENTED VS. PROPOSED DRAWINGS
02.12 SECTION CC



Planning Application 2021/3561/P

Approved

Proposed




Amendments:

LINK BLOCK

- 1. Parapet of link block roof extended to accommodate overall roof build up (strengthening of existing slab and insulation for improved thermal performance). Brick to match existing.

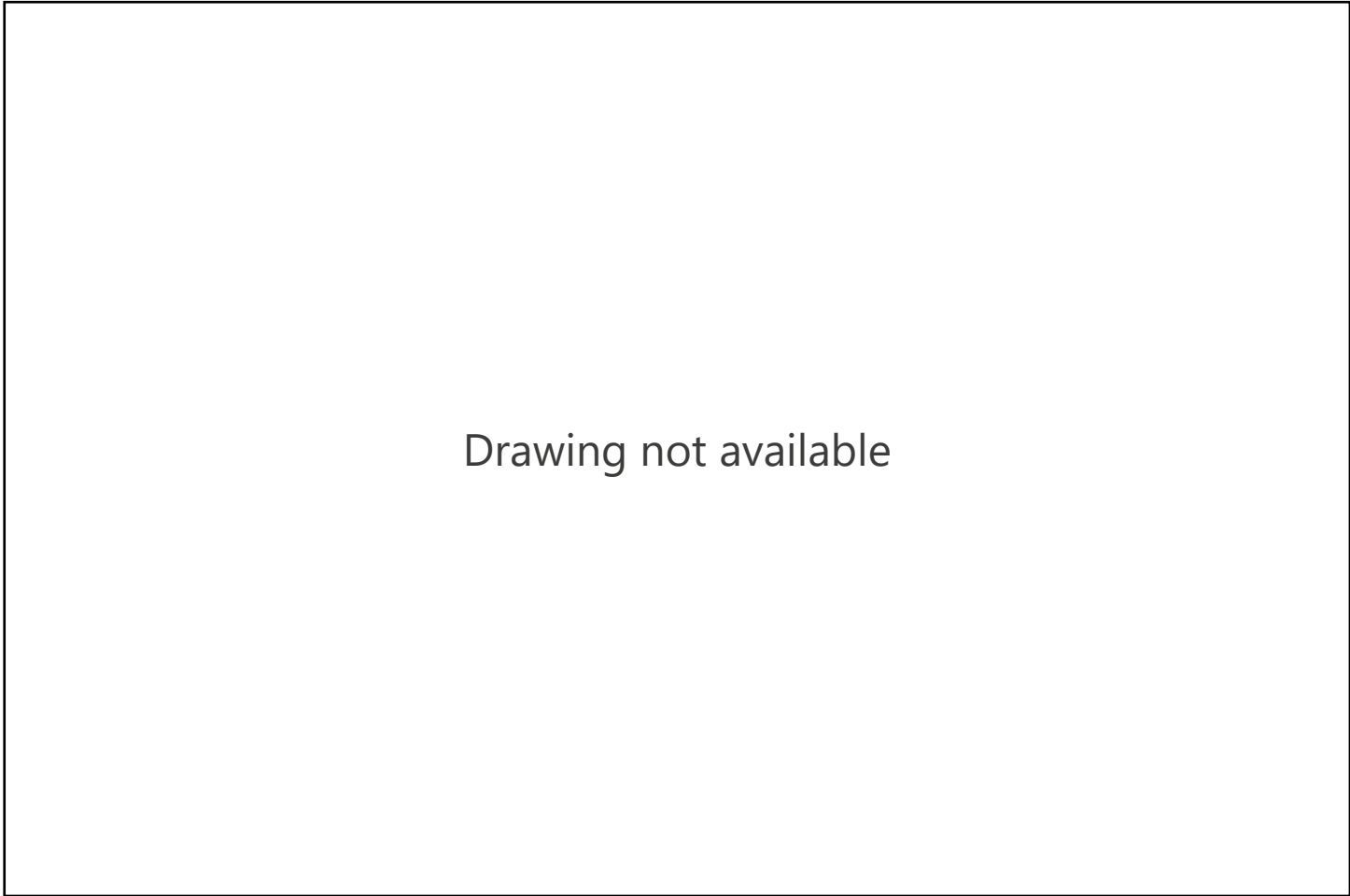
KEY

 Proposed amendment area

02.00 CONSENTED VS. PROPOSED DRAWINGS

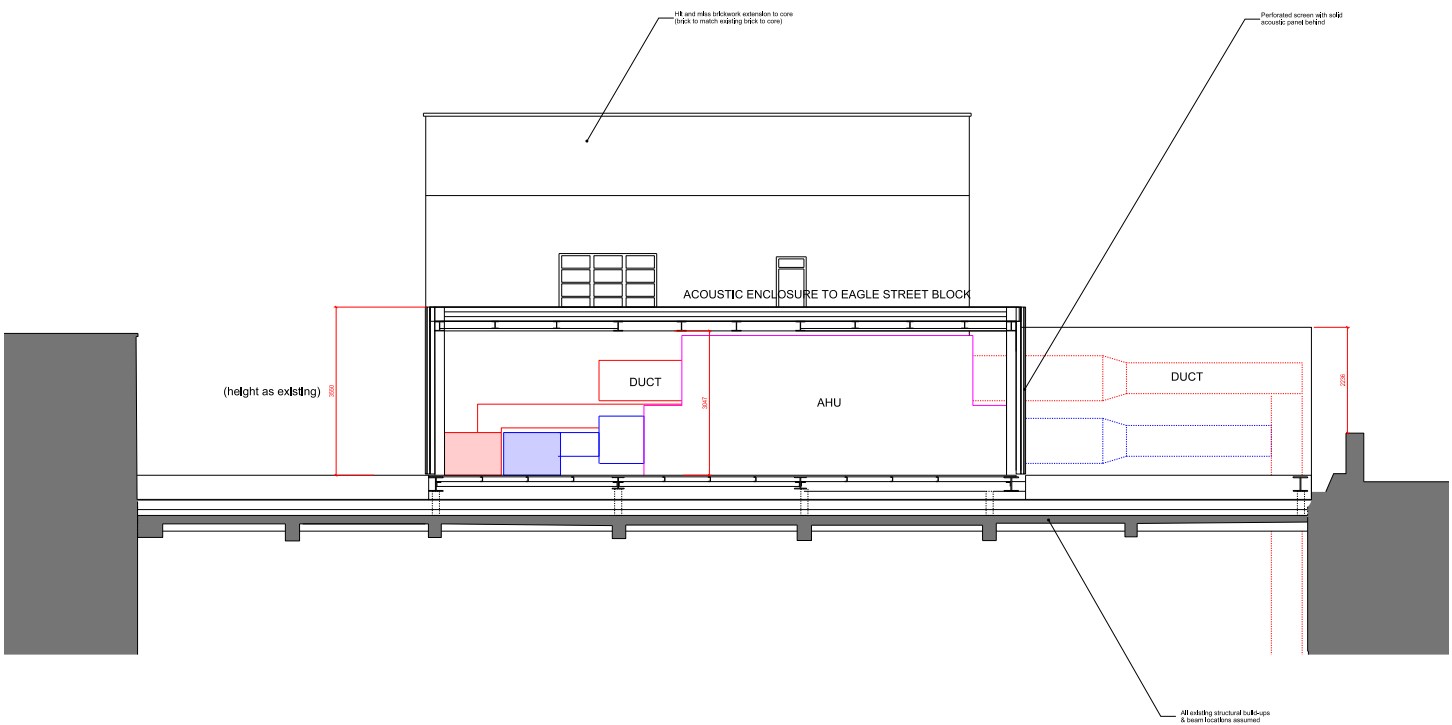
02.13 SECTION DD

Existing

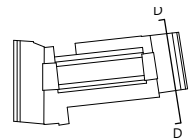


Planning Application 2020/1350/P

Approved



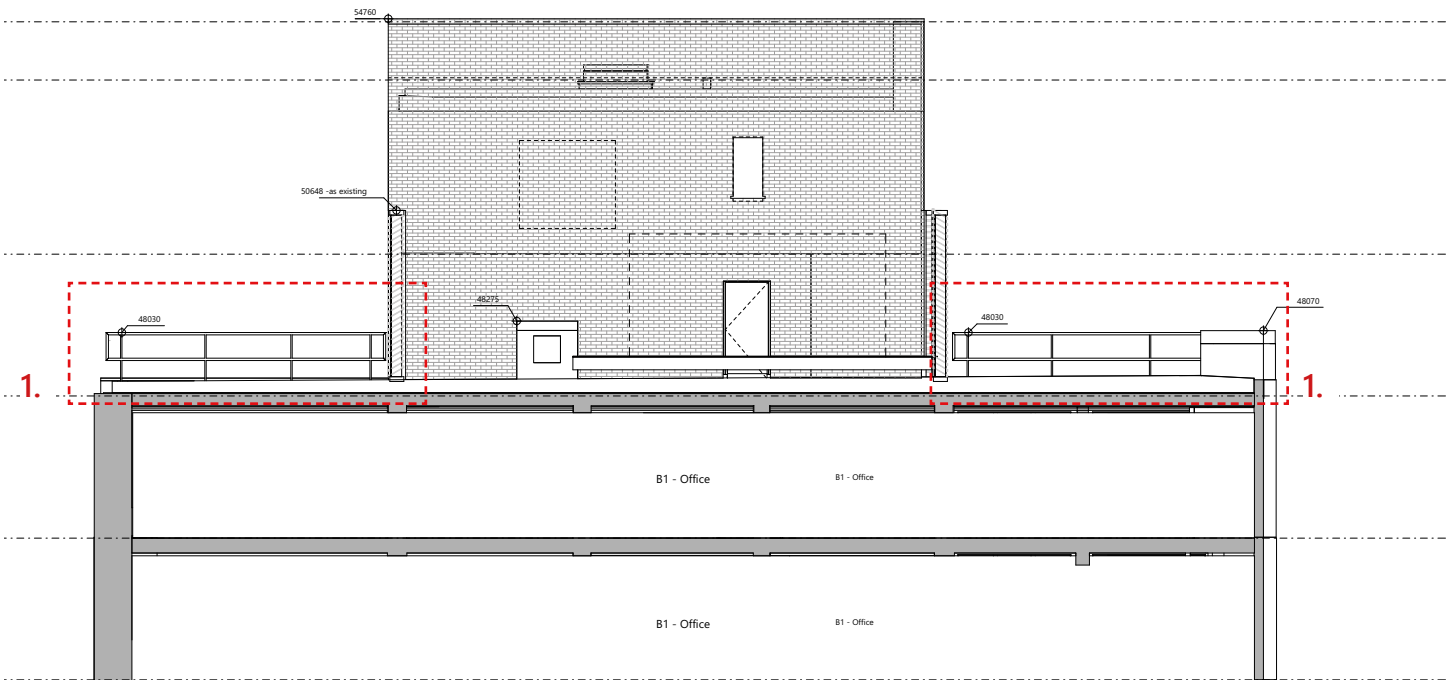
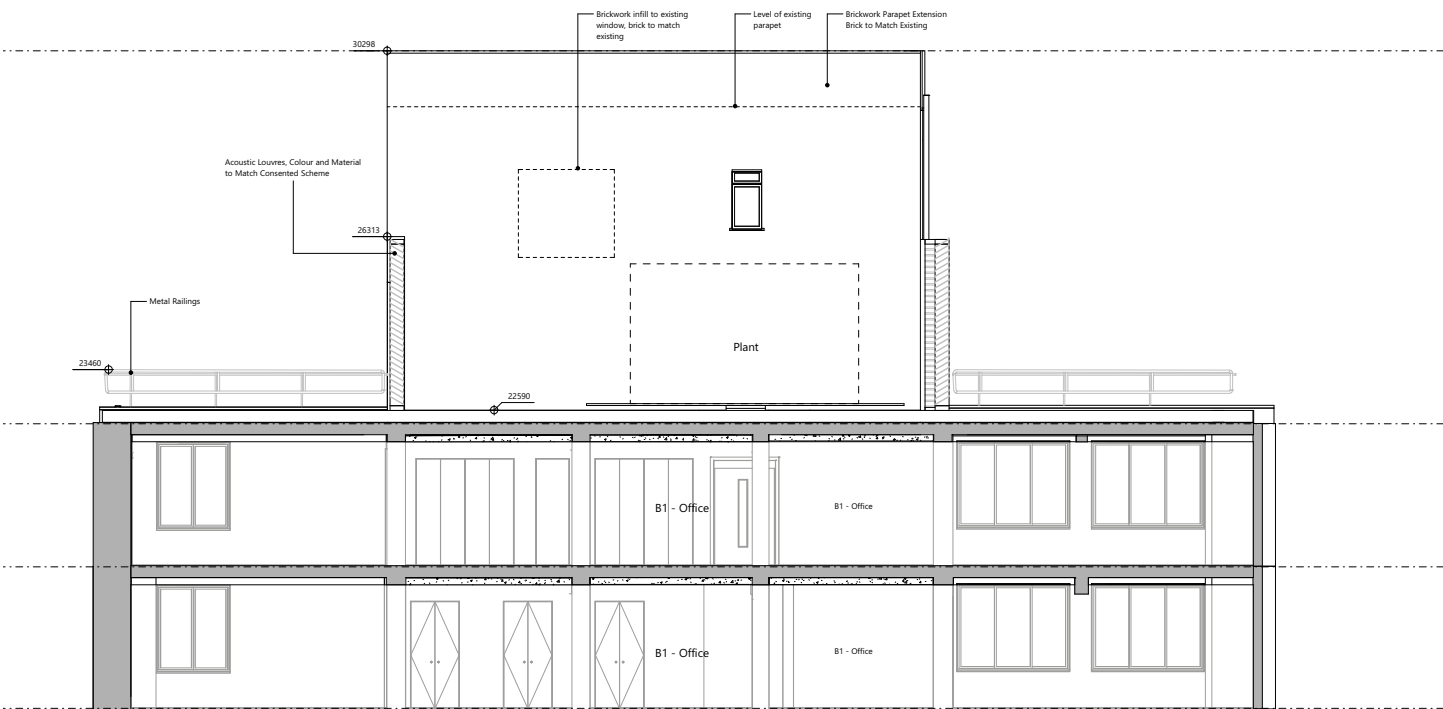
02.00 CONSENTED VS. PROPOSED DRAWINGS
02.13 SECTION DD



Planning Application 2021/3561/P

Approved

Proposed



KEY

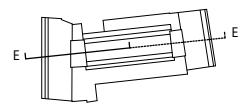
 Proposed amendment area

Amendments:

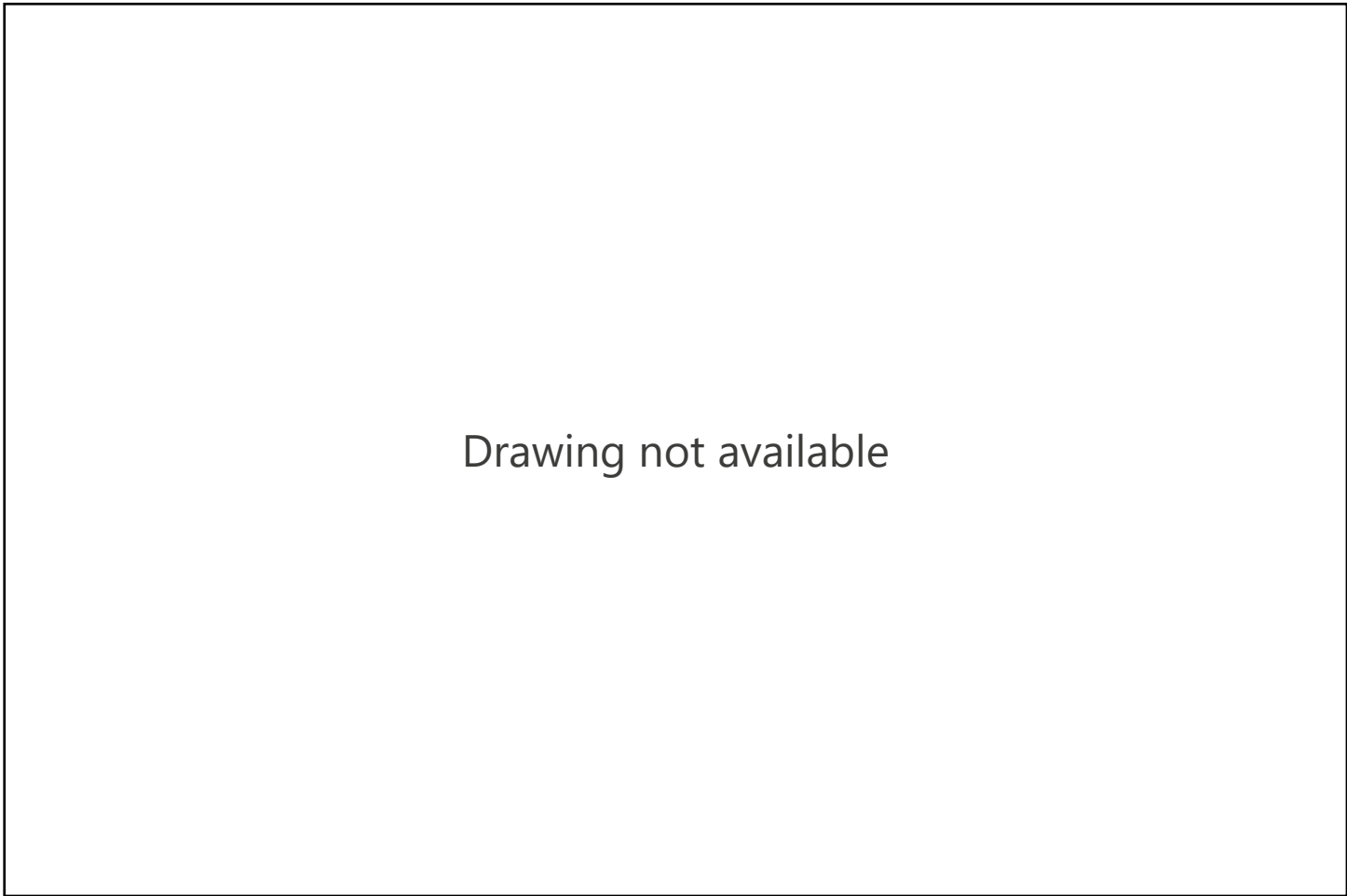
EAGLE STREET BLOCK

1. Replacement railing to match existing. In order to comply with Part L building regulations, all roofs will receive new coverings which will improve their thermal performance. The consequent increase in the roof build up means that the railings will no longer be Part K compliant as they will be less than 1.1m above external finish floor level. As the existing railings do not guarantee safe access to the roofs, the proposal is to replace these by new ones which will rise a least 1.1m above the external roof level.

02.00 CONSENTED VS. PROPOSED DRAWINGS
02.14 SECTION EE1

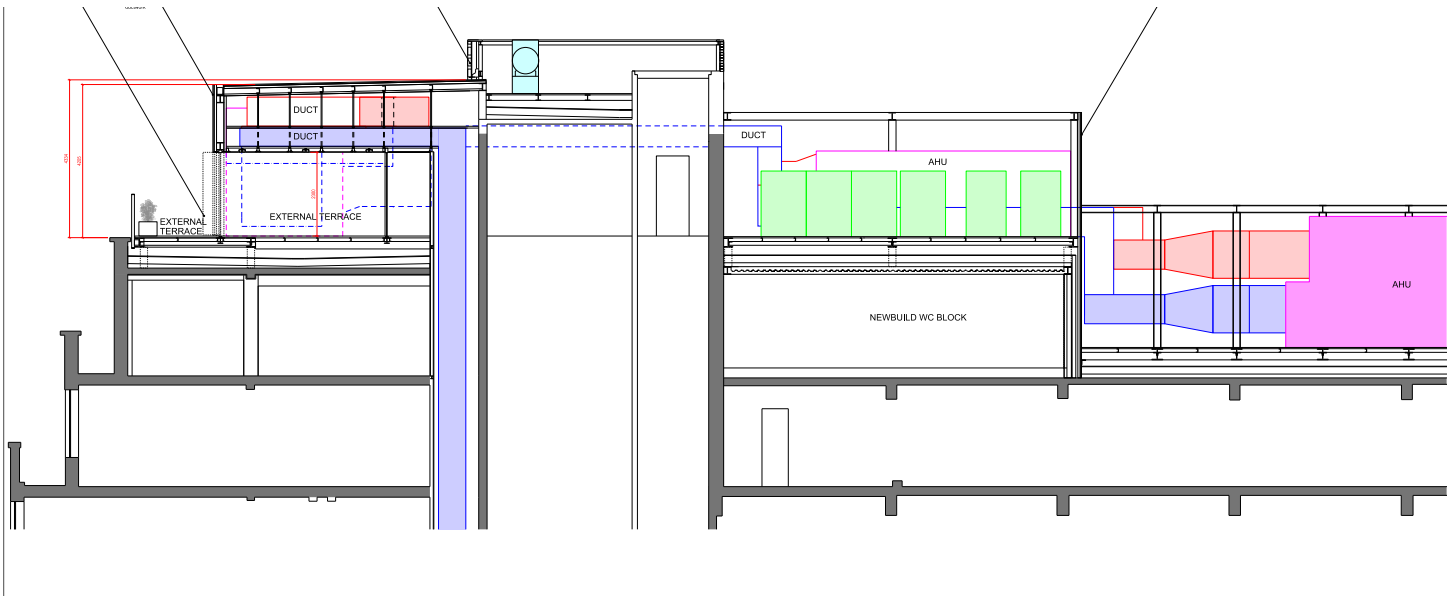


Existing



Planning Application 2020/1350/P

Approved



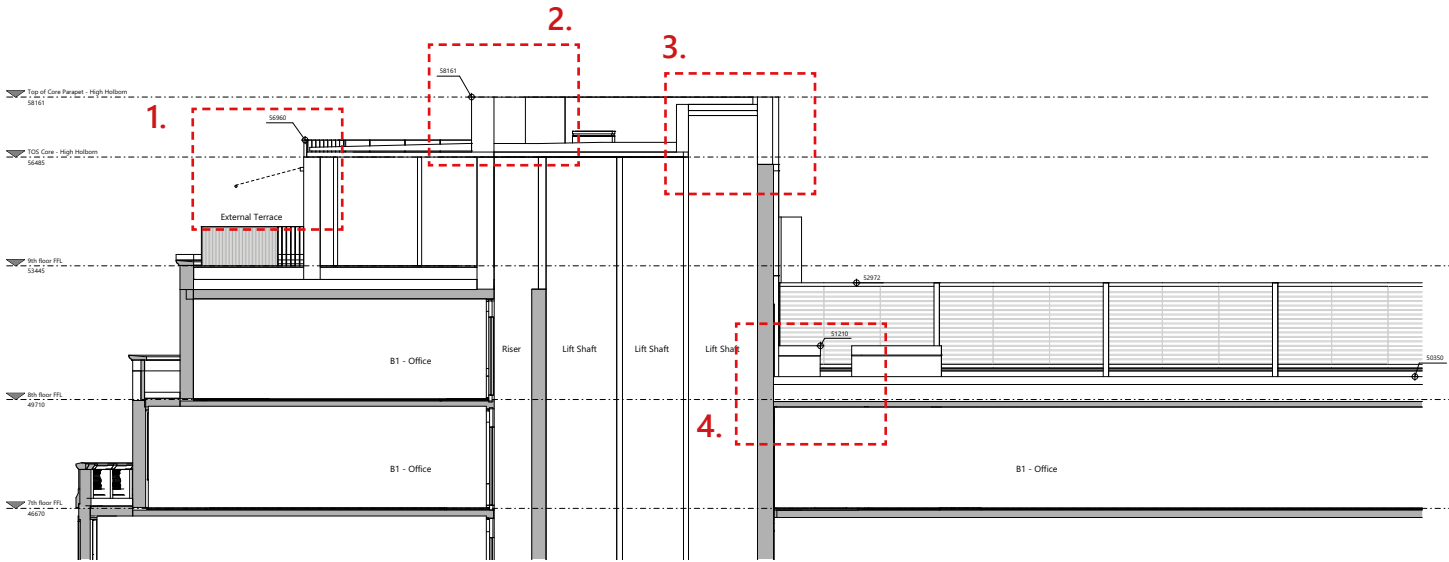
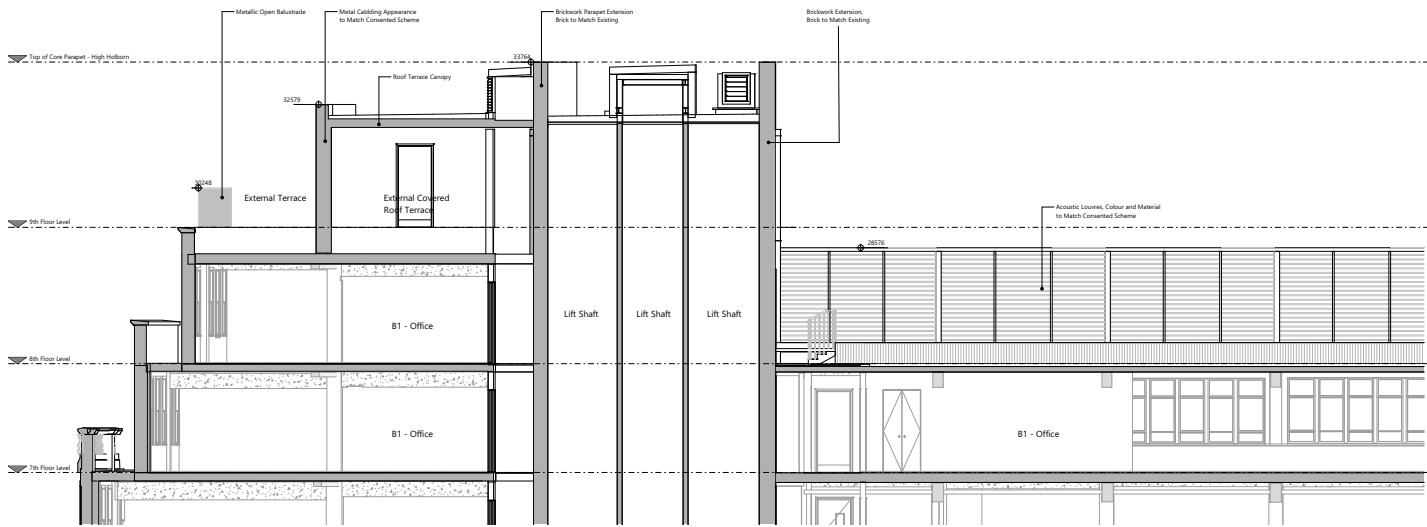
02.00 CONSENTED VS. PROPOSED DRAWINGS

02.14 SECTION EE1

Planning Application 2021/3561/P

Approved

Proposed



Amendments:


HIGH HOLBORN BLOCK

- 1. Retractable awnings proposed to the whole extent of the covered terrace, including pergolas.
- 2. Riser up stand reduced and louvres at high level omitted.
- 3. Lift overrun location amended.

LINK BLOCK

- 4. Stairs from High Holborn core into the Link Block plant area omitted. Level change to happen on the inside.

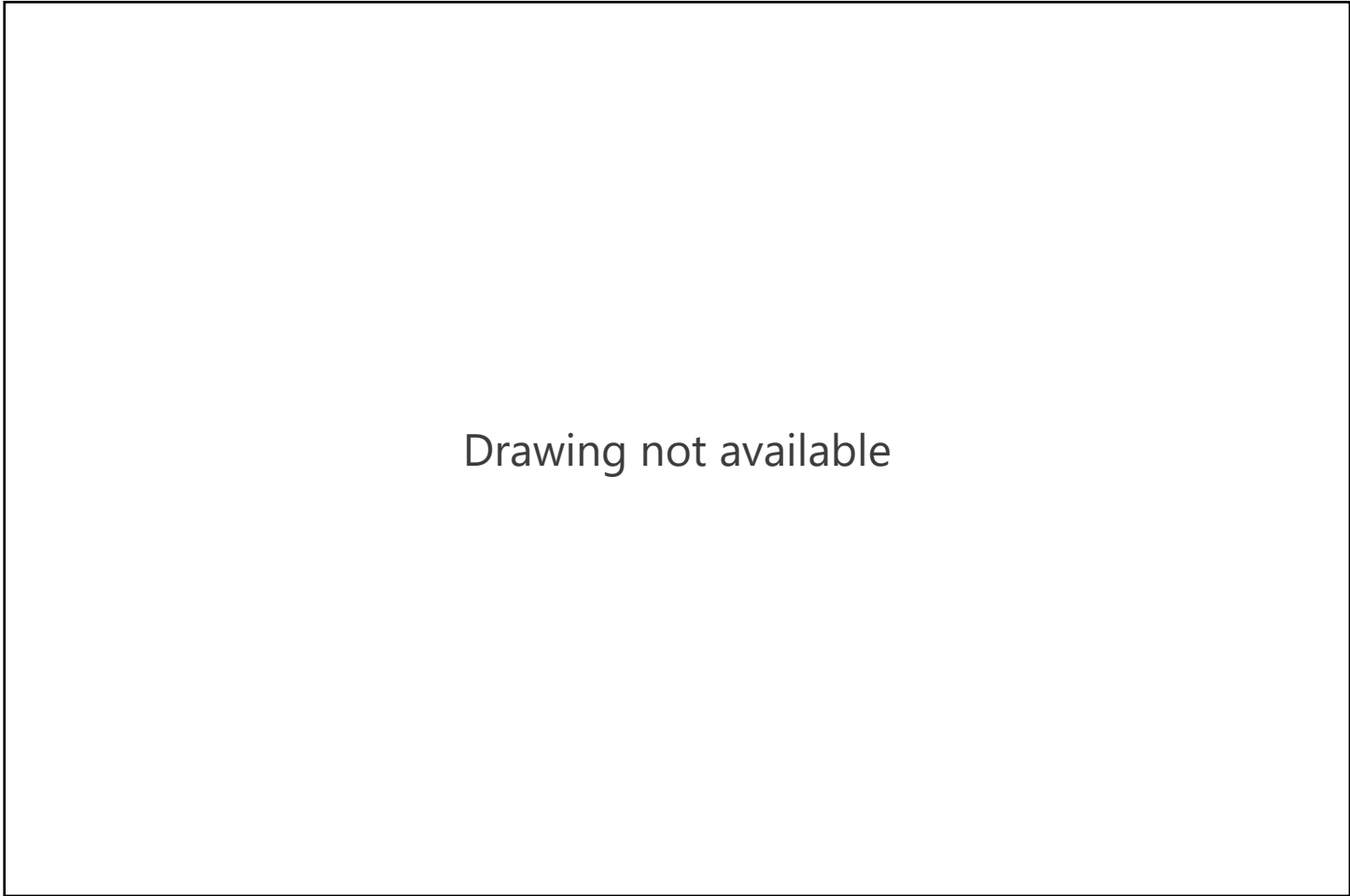
KEY

 Proposed amendment area

02.00 CONSENTED VS. PROPOSED DRAWINGS

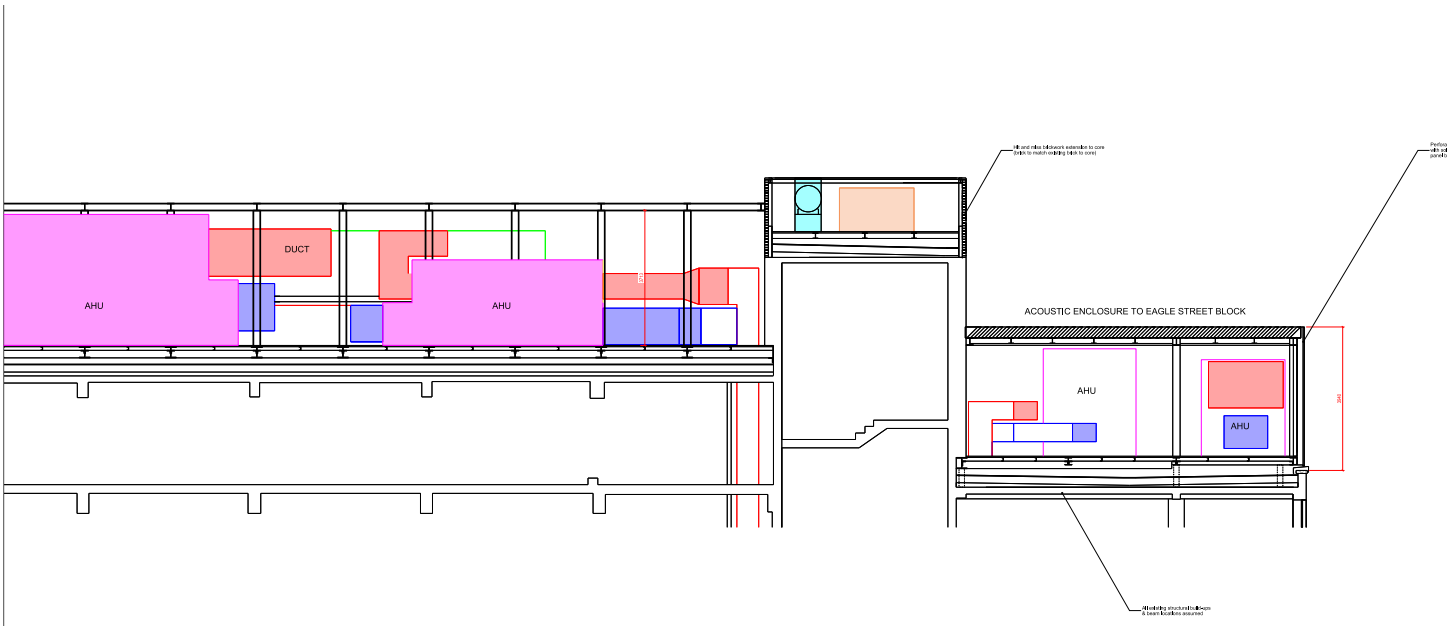
02.15 SECTION EE2

Existing

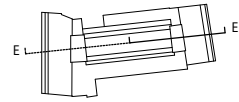


Planning Application 2020/1350/P

Approved



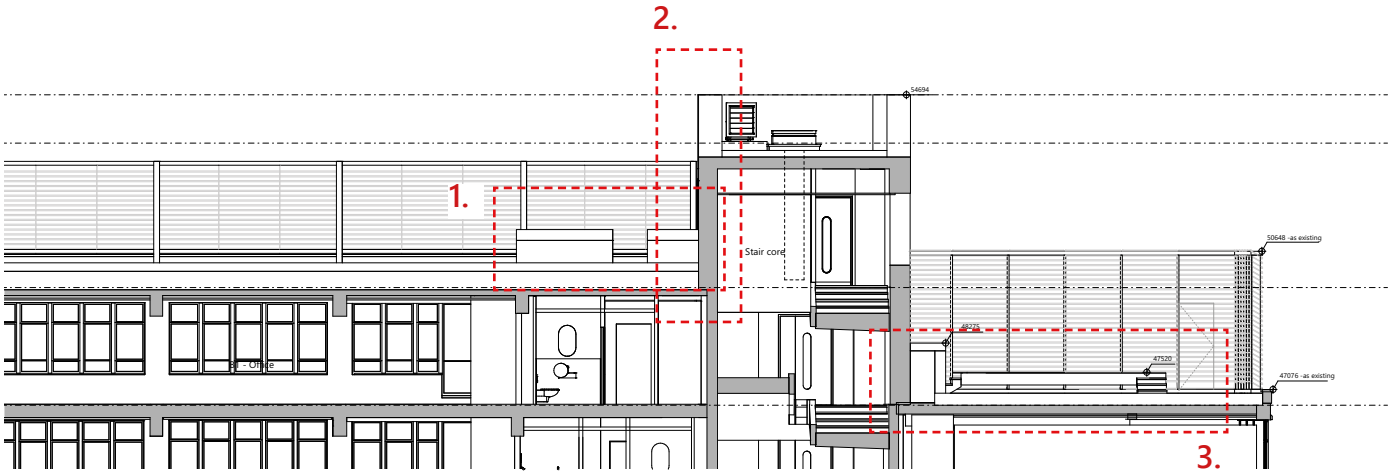
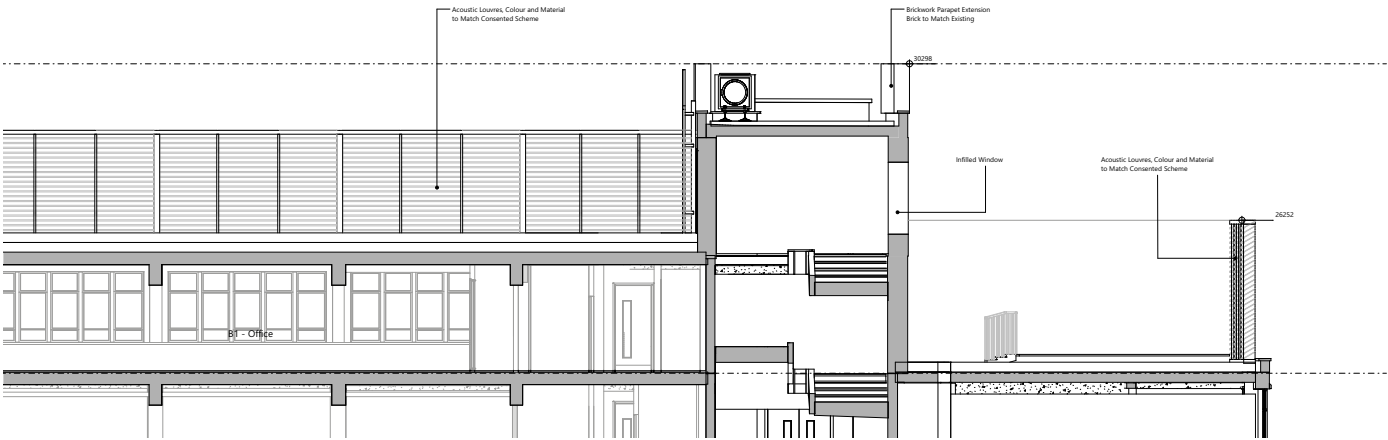
02.00 CONSENTED VS. PROPOSED DRAWINGS
02.15 SECTION EE2



Planning Application 2021/3561/P

Approved

Proposed



KEY

 Proposed amendment area

Amendments:

- LINK BLOCK
- 1. Riser up stands configuration amended.
 - 2. CAT ladder omitted. Internal access to core roof through roof hatch on stair enclosure
- EAGLE STREET BLOCK
- 3. Riser up stand height clarified. Plant deck configuration and height amended.

03

**PROPOSED AMENDMENTS
3D VIEWS**

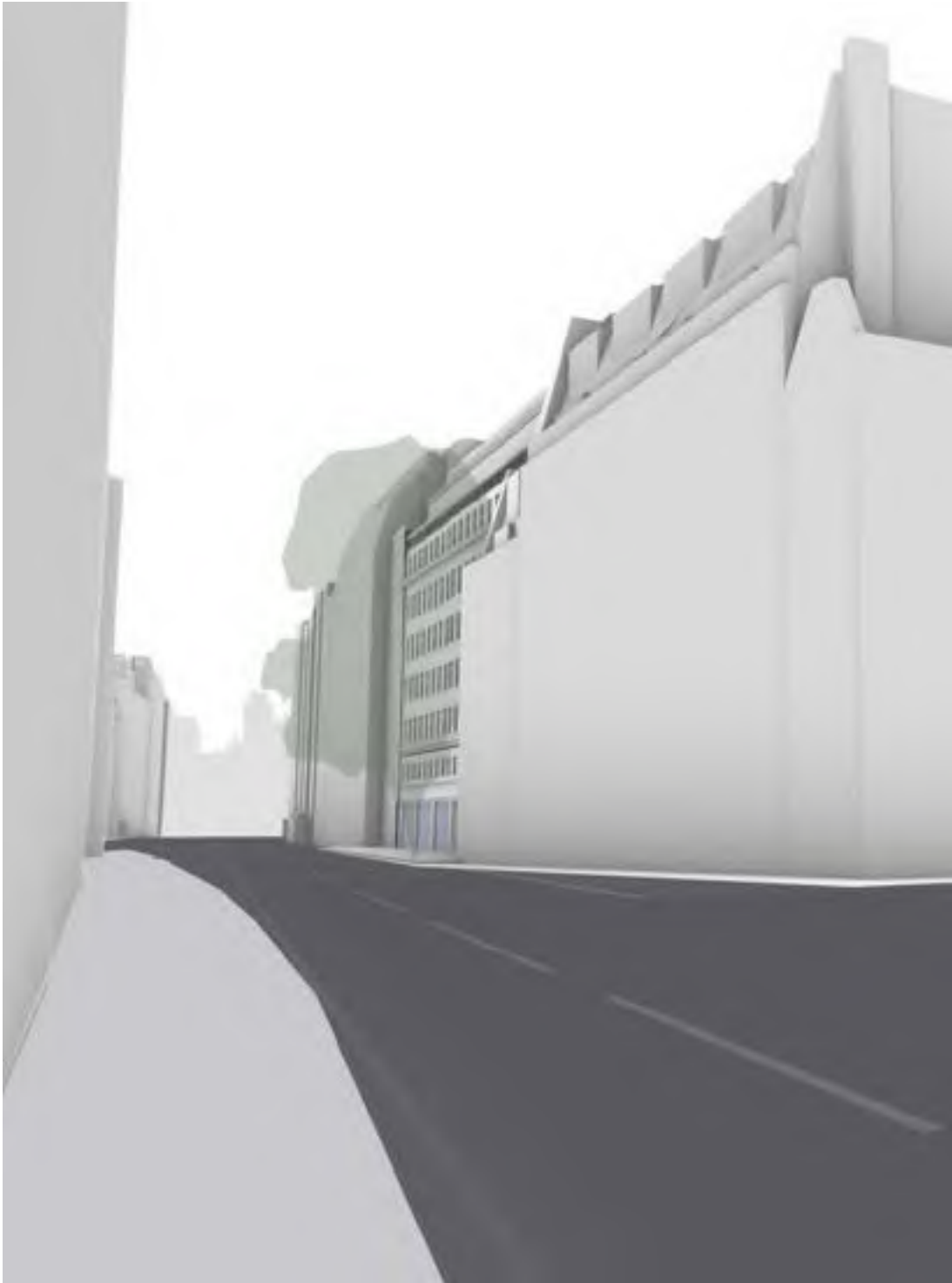
APPLICATION A

2021/3561/P

03.00 ROOF PLANTS & EXTENSIONS - PROPOSED AMENDMENTS

03.02 HIGH HOLBORN EAST VIEW

Existing



Caption text 12pt

Planning Application 2020/1350/P



Approved

03.00 ROOF PLANTS & EXTENSIONS - PROPOSED AMENDMENTS

03.02 HIGH HOLBORN EAST VIEW

Planning Application 2021/3561/P

Approved



Proposed



03.00 ROOF PLANTS & EXTENSIONS - PROPOSED AMENDMENTS

03.03 HIGH HOLBORN WEST VIEW

Existing



Caption text 12pt

Planning Application 2020/1350/P

Approved

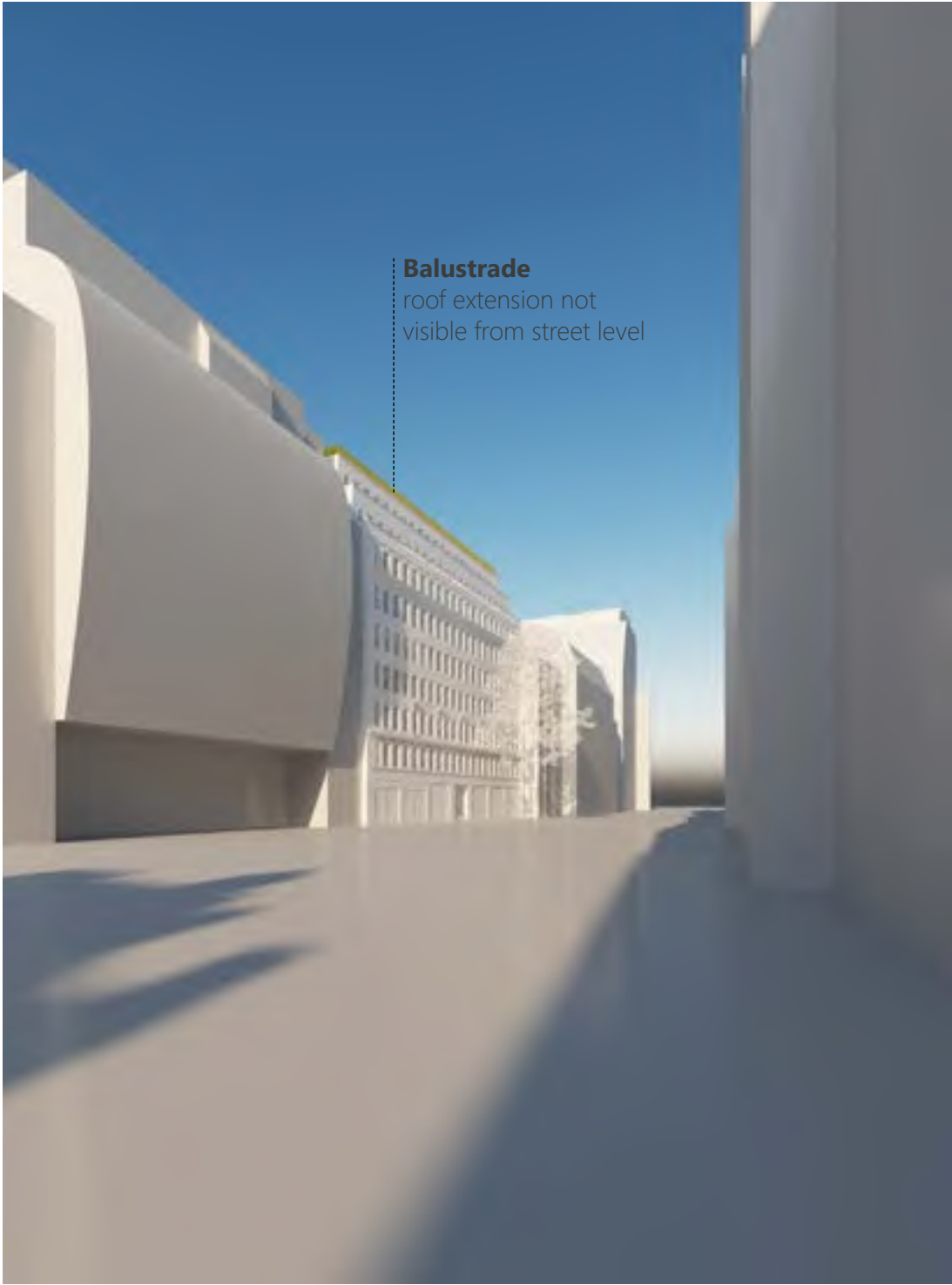


03.00 ROOF PLANTS & EXTENSIONS - PROPOSED AMENDMENTS

03.03 HIGH HOLBORN WEST VIEW

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astudio

4th Floor, 30 Millbank
London SW1P 4QP
www.astudio.co.uk
T: +44 (0) 20 7401 4100

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