

4 CAMBRIDGE GATE

Design and Access Statement

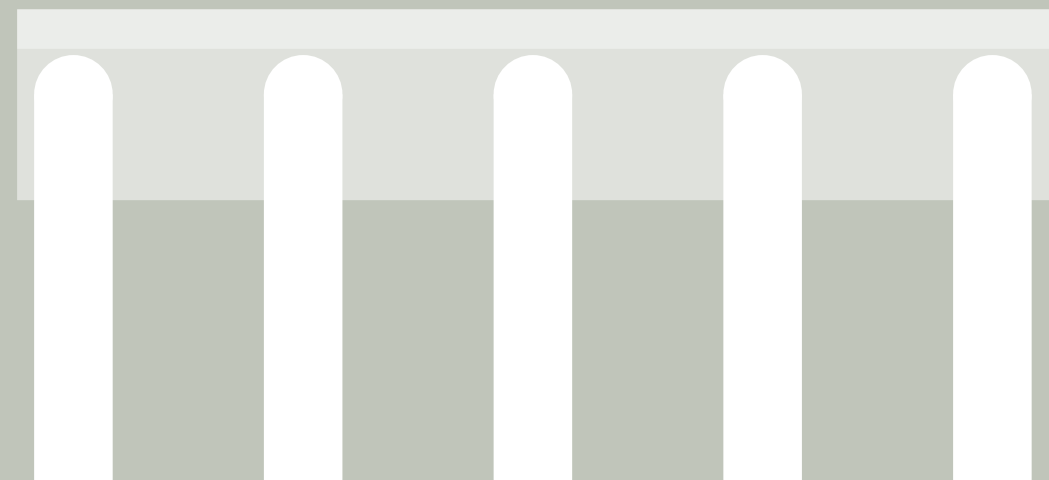
September 2022

Document No. 1089_RE-1001

CONTENTS

- 1.0 Introduction
- 2.0 Site and Context Appraisal
- 3.0 Design Principles and Evolution
- 4.0 The Scheme
- 5.0 Access

1.0 INTRODUCTION



1.0 INTRODUCTION

Executive Summary

This Design and Access Statement has been prepared by Downen Farmer Architects on behalf of the applicant to support a full planning application and listed building consent. The proposal is for the refurbishment and renovation of the existing grand large apartment, consisting of several floors with new courtyard facade upgrade. This new application looks to respond to the principles highlighted in the refused planning application reference no: 2020/4990/L submitted by the previous owner.

Content of Submission

This document presents the rationale behind the proposed development, showcasing the consideration given to the site's application history, heritage and built context.

This Design and Access Statement should be read in conjunction with the accompanying Planning Application Drawings and all other documentation submitted in support of this application.

Application Site

4 Cambridge Gate
Regents Park
London
NW1 4JX



Aerial view of 4 Cambridge Gate

2.0

SITE AND CONTEXT APPRAISAL



2.0 SITE AND CONTEXT APPRAISAL

Site Location



Location and Site Overview

- The site is located on Cambridge Gate, adjacent to Regents Park in Marylebone.
- The site has fantastic transport links and is only a 5 minute walk from Great Portland Street London Underground Station with a PTAL rating of 6a.
- The property sits within Regents Park Conservation Area and is Grade II listed (1244289).



Aerial View of Cambridge Gate and Immediate Context

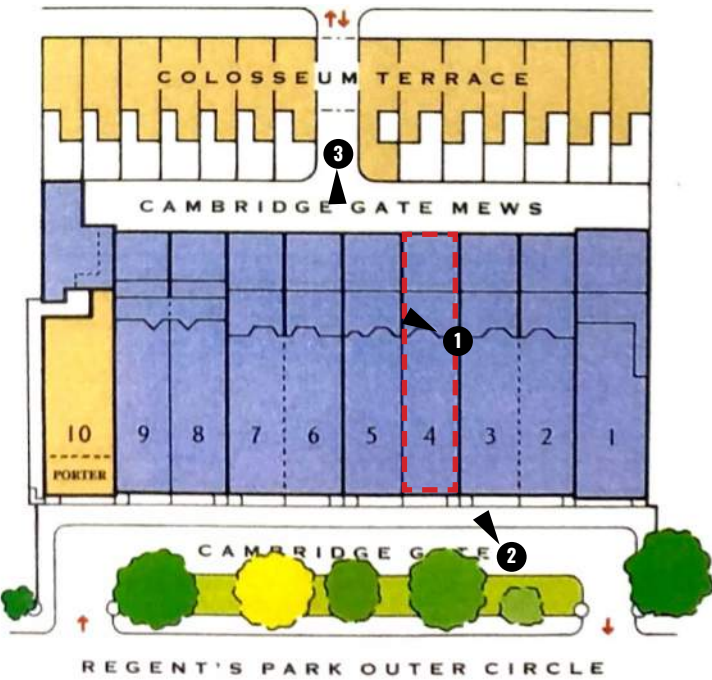


2.0 SITE AND CONTEXT APPRAISAL

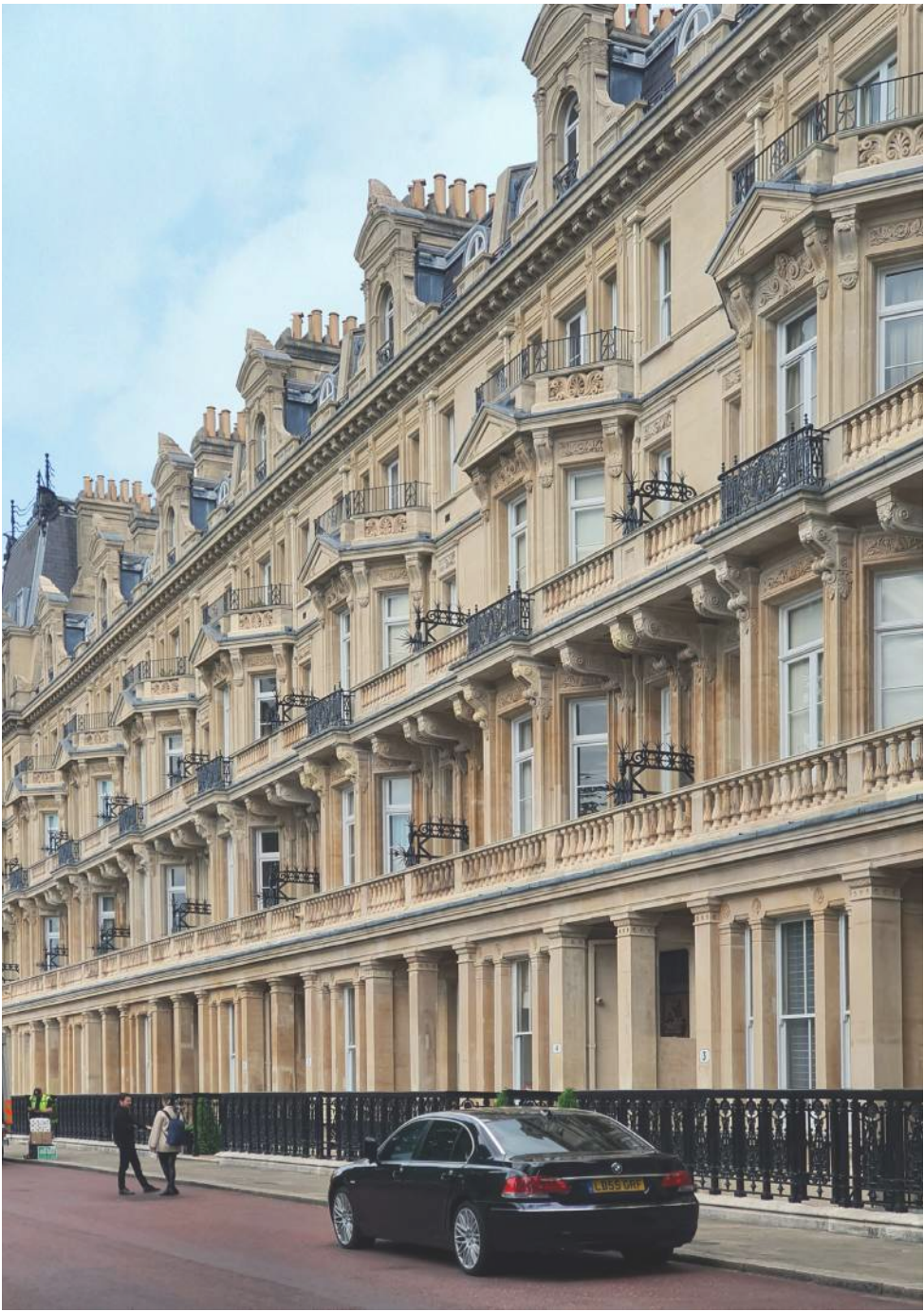
Site Photographs



1. Looking down from roof terrace to the lower ground courtyard space



Illustrated Site Plan (NTS)



2. Looking North-East along Cambridge Gate



3. Looking West from Albany Street on the approach to Cambridge Gate Mews

2.0 SITE AND CONTEXT APPRAISAL

Site Background & Description

Site Background

Cambridge Gate consists of a terrace originally comprising ten houses designed by T Archer and A Green, and built by Stanley G Bird in 1875-77 (Figure 5). The building is set behind an area of garden and former carriageway, which bounds the east side of Outer Circle. To the north of the building is Cambridge Terrace, a stuccoed terrace of Regency houses built in 1825 by John Nash (NHLE 1244296)(Figure 6). To the south of Cambridge Gate, of some architectural contrast, is the Grade I Listed Royal College Of Physicians, a 1960s modern building (NHLE 1246159) (Figure 7). The building’s principal façade overlooks Regents Park to the west. The rear of Cambridge Gate is complemented by a later addition mews which originally comprised a range of terraced coach houses and stables.

Historic Building Description

The principal aspects of Cambridge Gate are built from Bath Stone in an eclectic French Renaissance Revival style. The main symmetrical façade presents five storeys supplemented with attic and basement levels, with projecting end bays (Nos. 1 & 10) which are differentiated with entrance porticoes and high French Roofs.

No. 4 Cambridge Gate is an internal terrace which utilises the square-headed doorway, with enriched half glazed doors and fanlight, of the former individual house. The ground floor windows (over the basement stair well and windows) to the left which have the Regents Park aspect constitute the front of the residence.

No. 4 Cambridge Gate incorporates the ground floor and basement sections of the main terrace rear elevation. Inclusive to the apartments interior an area of open yard and the former coach house/mews structure to the east. A modern link structure links the two building ranges.

The internal elevations of the yard is predominantly composed of newly pointed London stock brick, the basement levels comprising a series of modern glazed doors and windows. The yard surface is generally paved. The ground floor level of the main house elevation is punctuated by a large canted bay window. Other than this the other structures comprise modern and mass-produced features. A uPVC conservatory bounds the yard to south with an area of terrace formed from timber decking and balustrading.



Photograph of the courtyard space looking from the mews to the main terrace



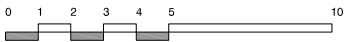
Photograph taken from lower ground floor space looking out to courtyard



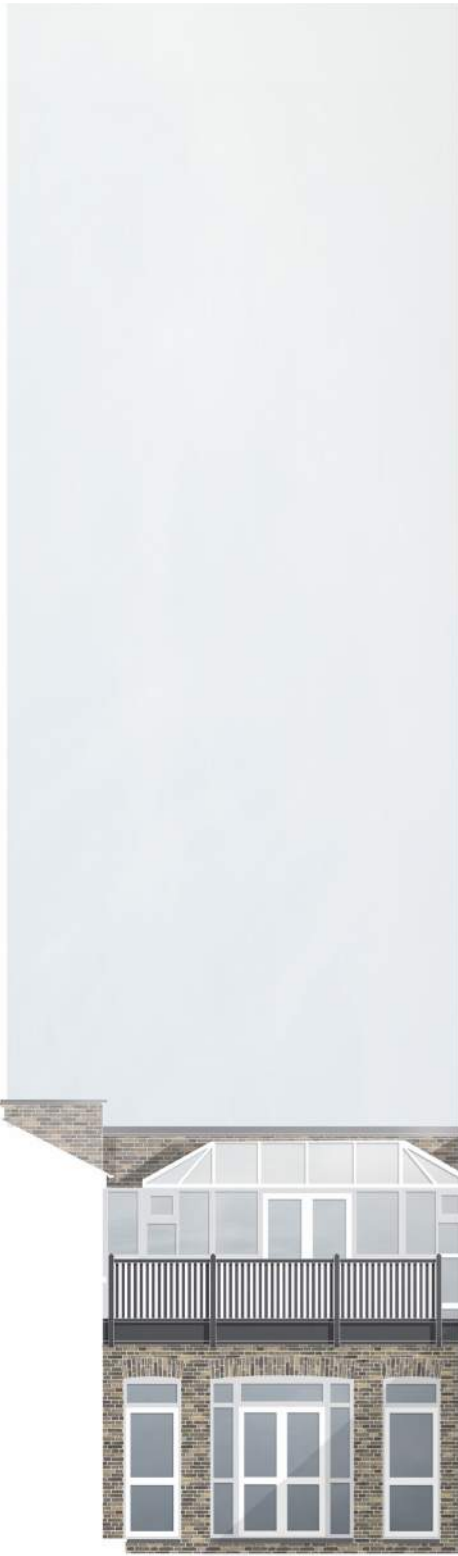
Photograph showing condition of existing courtyard

2.0 SITE AND CONTEXT APPRAISAL

Existing Courtyard Elevations



Existing West Courtyard Elevation



Existing North Courtyard Elevation



Existing East Courtyard Elevation



Existing South Courtyard Elevation

2.0 SITE AND CONTEXT APPRAISAL

Site Photographs

Internal Condition

Provided adjacent are a series of photos which illustrate the internal condition of the property as of July/ August 2022. Whilst some of the original fabric is retained in the principal dining, living and entrance spaces on the ground floor, a large proportion of the property has non-original finishes including numerous areas of new joinery throughout the lower ground floor.



1. Mews house garage interior



2. Principal living room with stepping wall edge



3. Lower ground bedroom space with non-original finishes and joinery



4. Non-original gate to access lower ground floor, proposed for removal



5. Ground floor dining room space



6. Looking from the main house through the link piece to the mews, through the kitchen space



7. Lower ground dressing room/wardrobe space built off the stairway hall



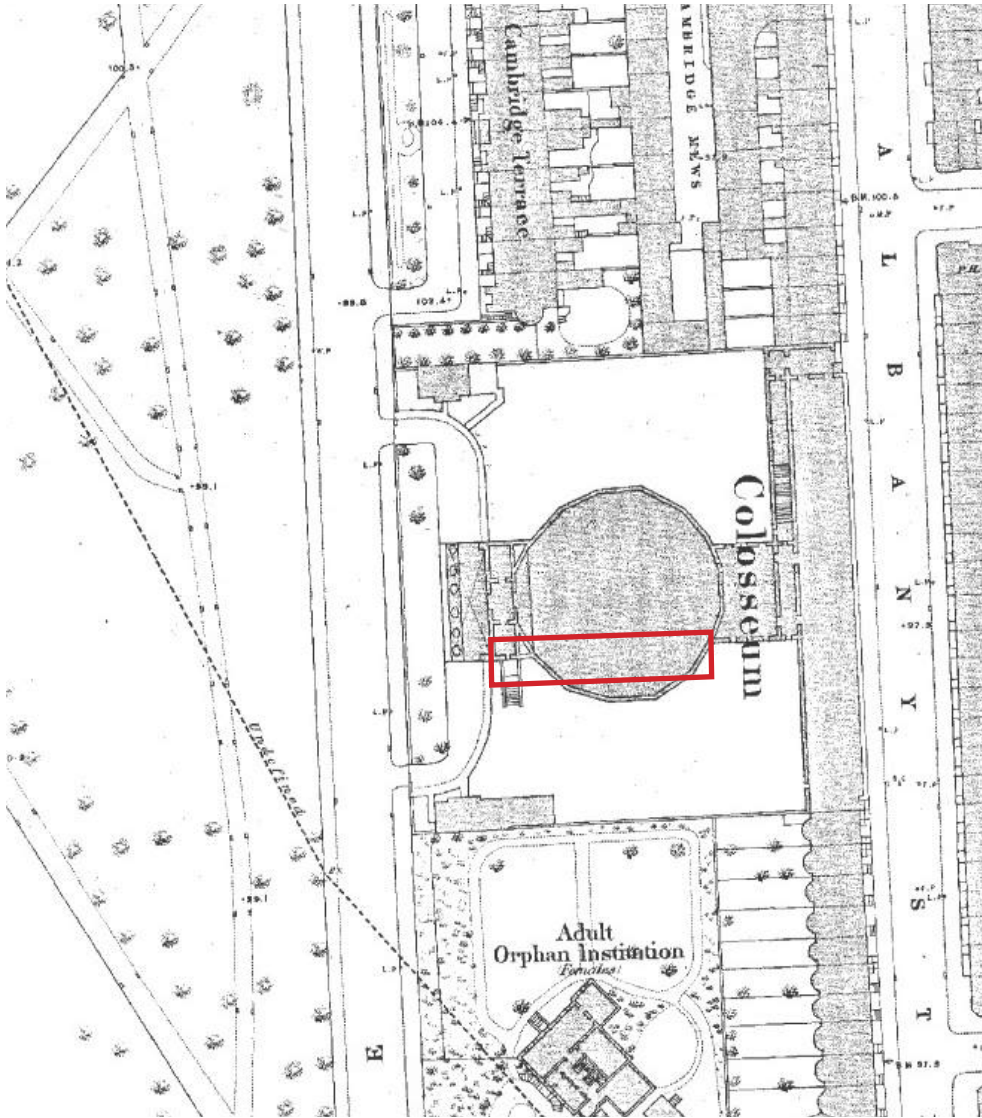
8. Lower ground interior view looking out to the courtyard from the link piece



9. Existing stair condition, proposed for refurbishment

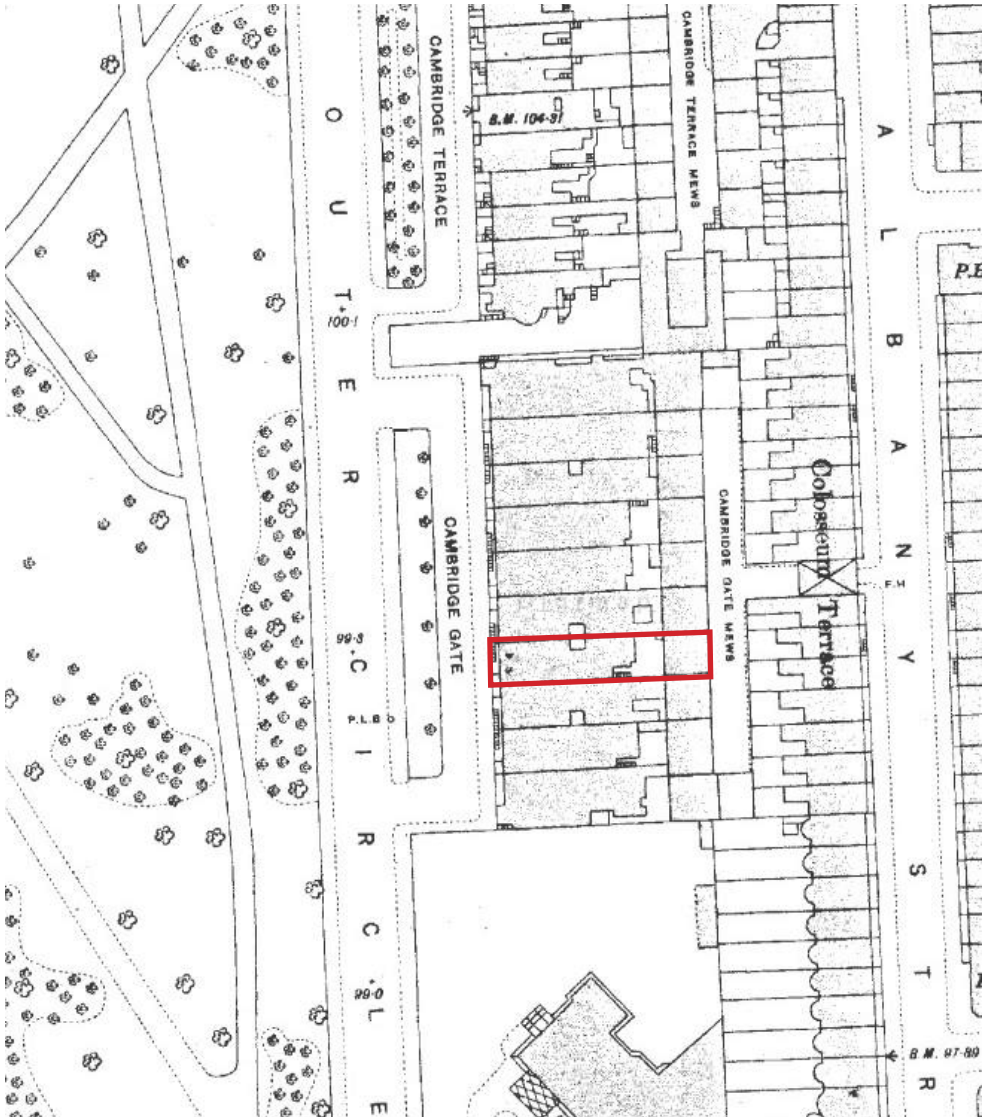
2.0 SITE AND CONTEXT APPRAISAL

Site History

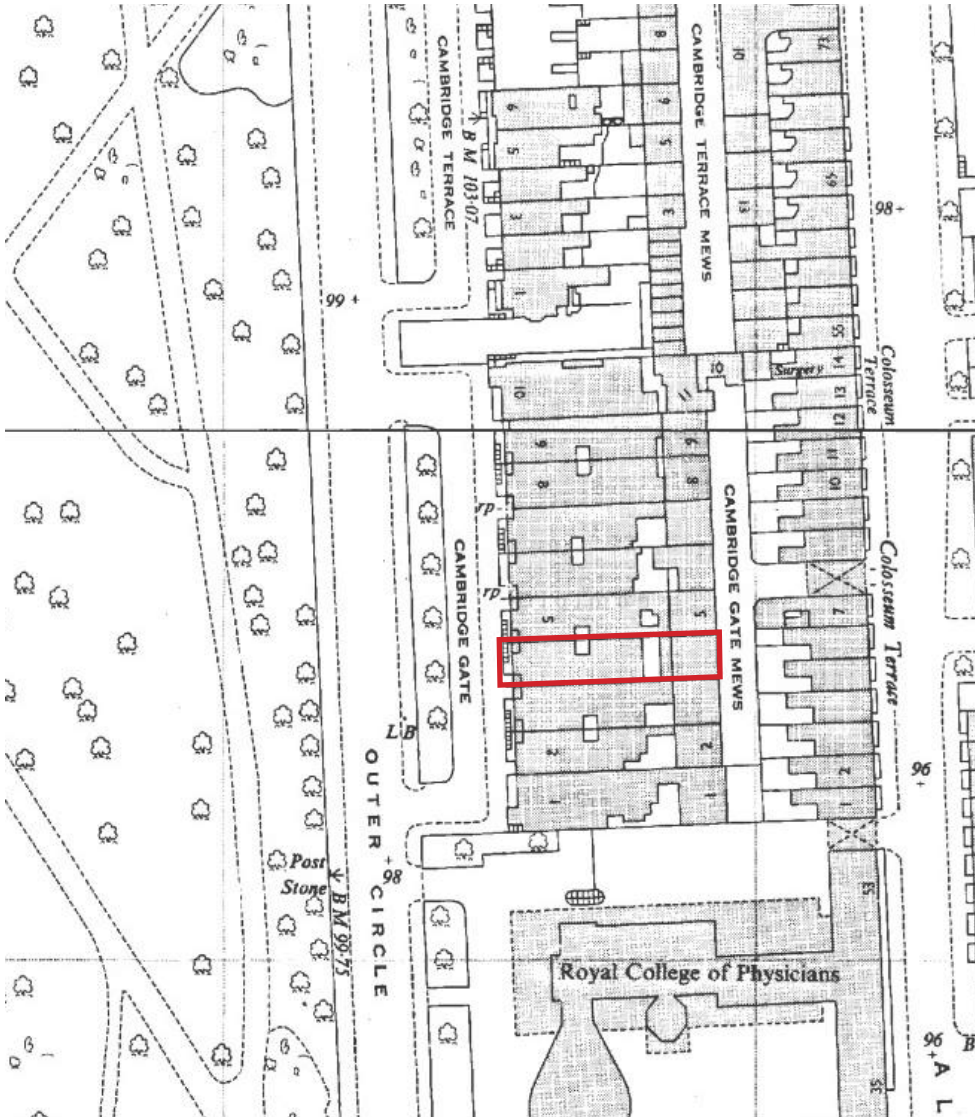


Cambridge Gate Historic Map 1870's

This terrace was built on the site of the Colosseum (1824-6, demolished 1875) by Decimus Burton.
(Survey of London: Vol XIX, Old St Pancras and Kentish Town (St Pancras II): London: -1938: 123).



Cambridge Gate Historic Map 1920's



Cambridge Gate Historic Map 1960's

2.0 SITE AND CONTEXT APPRAISAL

Green Belt

Designated Conservation Area

The site lies within Regents Park conservation area and is Grade II listed. The map adjacent illustrates how 4 Cambridge Gate forms an important historic street edge facing onto the Park.

- Site Boundary
- Grade II Listed Cambridge Gate
- Regents Park

LocalList

LocalList

Building or Group of Buildings

Natural Features or Landscape

Street Feature or other Structures

ListedBuilding

ListedBuilding

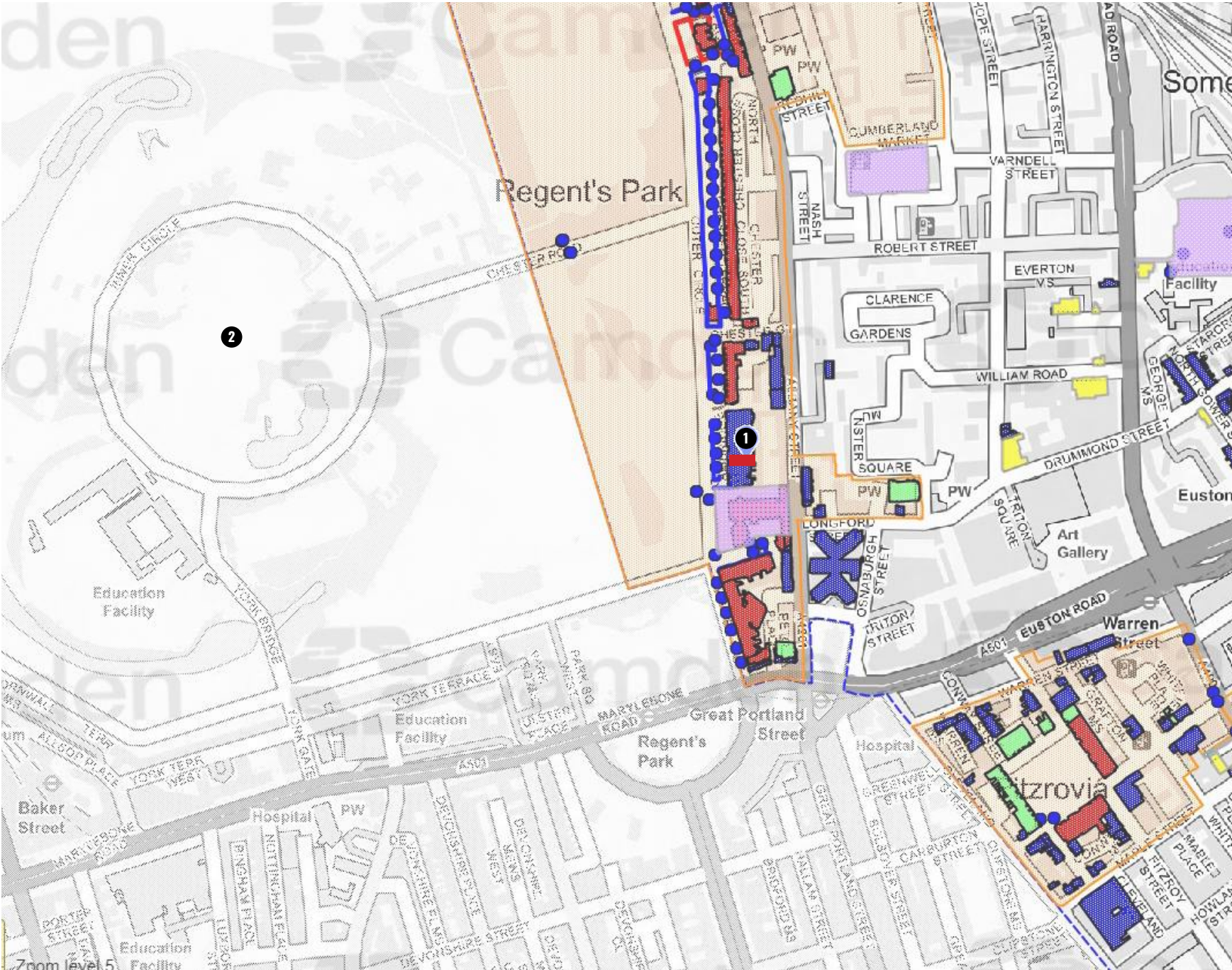
Grade I

Grade II

Grade II*

ConservationArea

ConservationArea



Camden Designations Map

2.0 PLANNING HISTORY

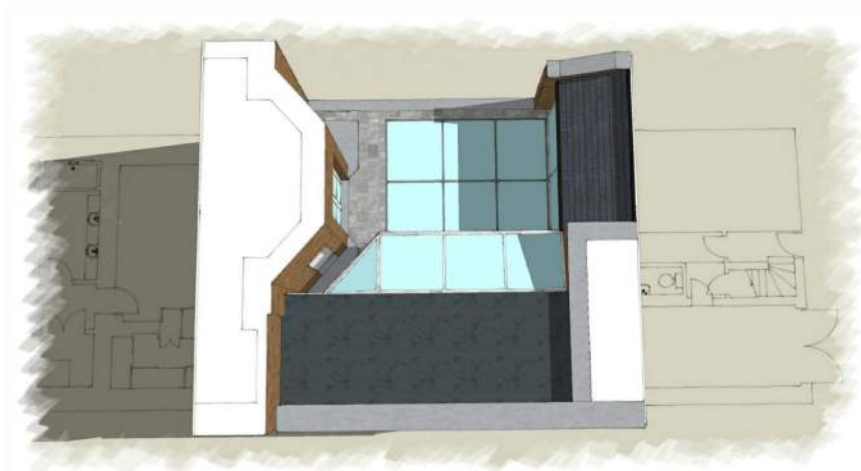
Refused Application

2020/4957/P (2021) - Refused

Application for the erection of single storey infill extension at lower ground floor to infill existing sunken courtyard and side extension at ground floor with associated terrace. Fenestration alterations within internal courtyard at ground floor. Internal alterations.

Extracts are included below from the Officer's Report to understand why the scheme was refused and how the new proposals and seek to remedy these issues:

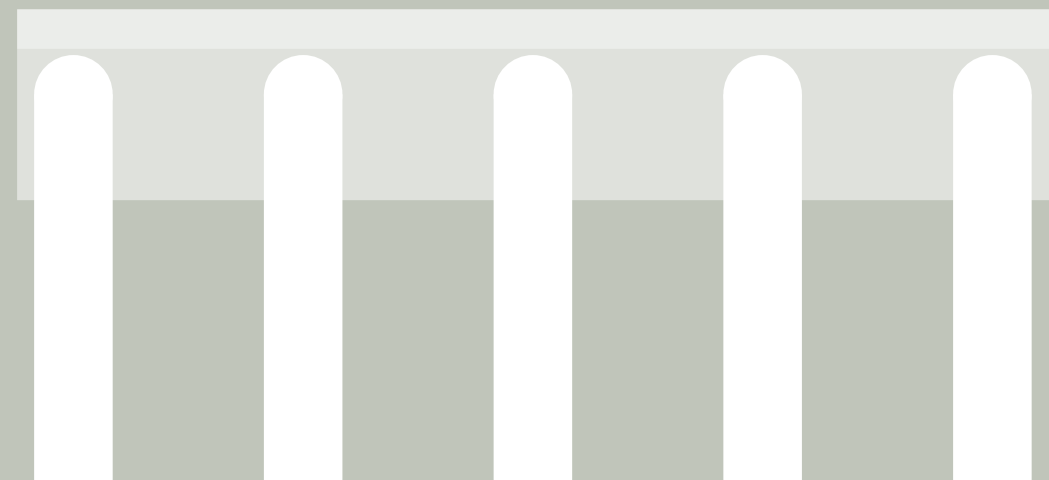
- It has a specially designed, tapered, light-weight, two-storey link structure connecting it to its associated mews house that fronts Cambridge Gate Mews. The tapered ends mean that the relationship between the house and its mews, and the non-originality of the link structure, can be clearly identified.
- **The raising of this terrace from lower ground to ground level is considered contrary to the historic plan form and use which causes harm to the listed building and terrace.** It also turns the existing yard into an enclosed basement room, which atypical and historically incorrect.
- It is **proposed to partially demolish the bay window** to insert set of timber patio doors and new window to allow access to new terrace. It is considered atypical to have garden access from the rear of a formal room such as this. Historically a house such as this would not have had a “back garden”
- It is observed that every house in the terrace appears to be furnished with a **similar link building**. All were clearly done simultaneously and are evidently **designed to allow the rear of the house and the rear of the mews house to be read, and their relationship to be understood**. The yard demonstrates the traditional arrangement of the house, separating it from the mews house behind.
- It would harm its relationship with the main house as this and the mews house are currently still read as two separate elements and **the proposal to extend the link merges these more substantially making it harder to read/understand the historic relationship**.
- It is considered by increasing its depth so it is closer to the bay window and squaring this extension off that the amount of usable amenity space is reduced from 28.7sqm to 19.3sqm (9.4sqm lost), the remaining space would result in less than 50% of the historic courtyard amenity space being retained which is contrary to CPG Home Improvements. **Further loss of this courtyard would cause harm to the character and appearance of the listed building as it would erode the relationship between the house, its yard and its mews.**
- It is not contended that the **rearmost elevation of the mews** is original, but it is traditionally built in load-bearing brickwork, with traditional timber sash windows. **Its replacement with a glass-clad open-plan space, looking out on a glass floor, would severely compromise the setting of the listed building, and of its neighbours.**
- The **extensions would not appear as subordinate additions to the host property.**
- This application represents **increased enclosure, an impact on the setting of the listed building and the loss of the ability to appreciate the exterior appearance of the historic building and a loss of the relationship between the main house, mews house and their central courtyard.**
- The development would fail to preserve or enhance the heritage asset and would cause harm to its special architectural and historic interest.



2020/4957/P - Refused

3.0

DESIGN PRINCIPLES & EVOLUTION



3.0 DESIGN PRINCIPLES AND EVOLUTION

Consented Site Plan Constraints and Opportunities

The adjacent plan is based on the existing site plan. The design team have explored the opportunity to improve the relationship between the main terrace, the rear mews and courtyard aspect.

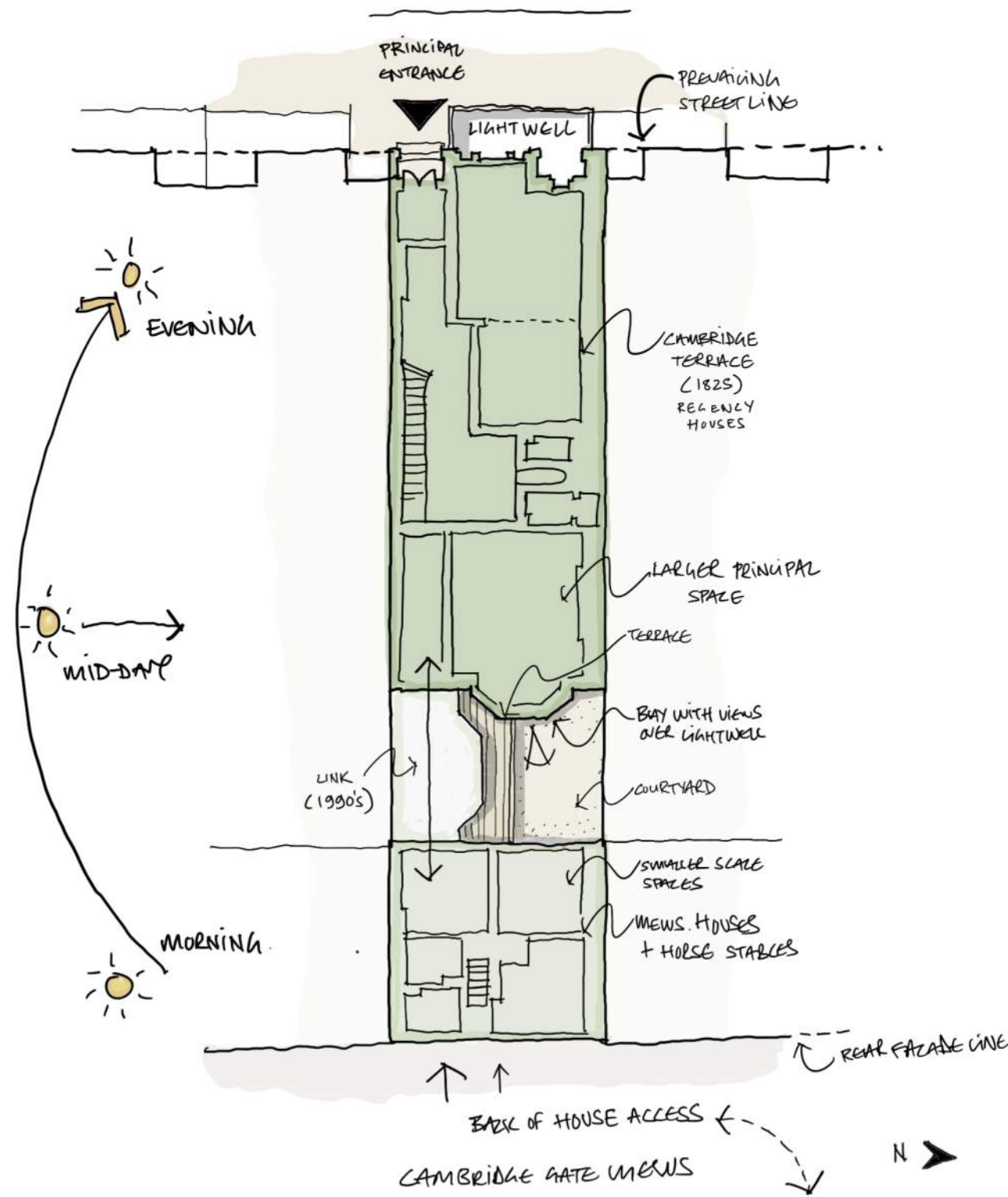
The guiding principles behind this appraisal were to explore potential improvements to the existing scheme which would further improve the clarity of both the internal and external proposals architectural language, and elevate the spatial qualities of the proposed family oriented living spaces.

Site Constraints

- **Light-well** - enhancing the quality of this space as positive amenity space and offering a good outlook from adjacent rooms
- **Heritage** - Grade II listed nature
- **Architectural languages** - Resolving the ad-hoc development and refurbishment of the site to communicate a clear, legible narrative that enhances the heritage asset.

Design Opportunities

- **Juxtapose** - opportunity to allow the relationship between the main house and the mews house to read as two separate elements
- **Sympathetic Massing** - work within the existing building footprint to deliver a sensitive refurbishment
- **Connection to Landscaping** - opportunity to create meaningful connection between key living spaces and the courtyard



Sketch Analysis Drawing

3.0 DESIGN PRINCIPLES AND EVOLUTION

Design Strategy

Third Floor

- Restored and refurbished staircase with refurbished bedroom space

Second Floor

- Restored and refurbished staircase

First Floor

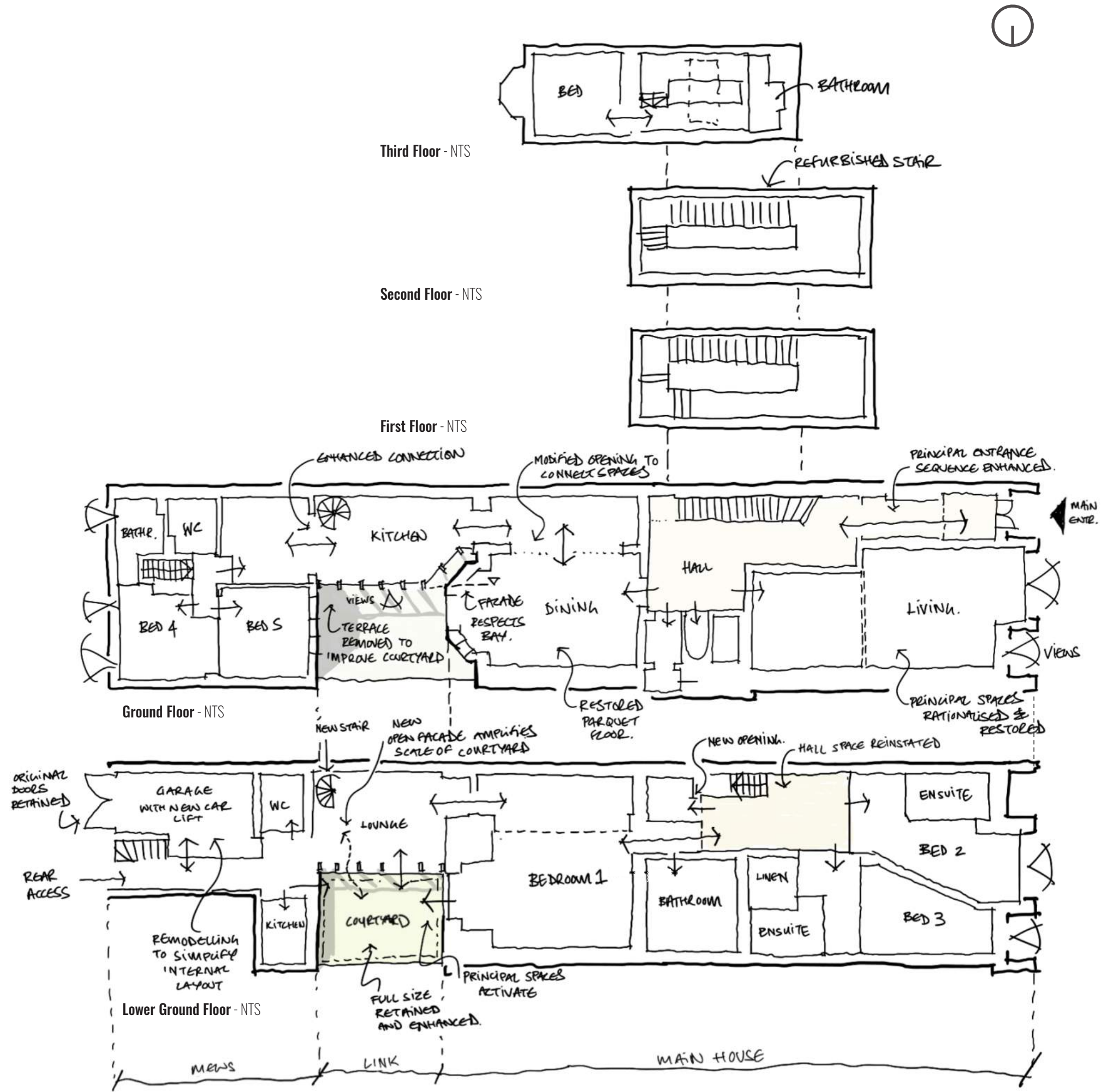
- Restored and refurbished staircase

Ground Floor

- Improved connection between the main house and the mews. Expression of the connecting element is recessed thus enhancing the definition between old and new both internally and externally.
- 'Lightweight' glazed link connects original historic main house to the later mews addition with an identical footprint to original link structure, ensuring the proposal feels subservient to the main house.
- Historic arrangement and proportion of spaces respected.

Lower Ground Floor

- Extent of existing courtyard retained and enhanced through permeable link building facade.
- Openings within the new facade along the north elevation increases connectivity from living spaces into garden.
- Full hall space at the base of the principal stairs reinstated through removal of later joinery.
- Car lift to mews garage.
- New lightweight courtyard facade to link piece.
- Reconfigure front bedroom to make the spaces suitable for a family home with two children's bedrooms near the principal bedroom.



3.0 DESIGN PRINCIPLES AND EVOLUTION

Conservation Principles

Existing Facade Language

The primary strategy for the refurbishment of the property is preserving the buildings character by reducing the loss of existing fabric and ensuring additions are appropriate. Considerate alterations are proposed to restore the character of the historic fabric.

The aim is to restore the building, making it appropriate for use as a family dwelling and long-term occupation, whilst maintaining a balance between the need to repair economically and the desire to conserve the most significant existing fabric.

The accompanying ‘Heritage Statement’ provides an appraisal of the existing building / fabric value and including recommendations for development opportunities and strategies for proposed alterations.

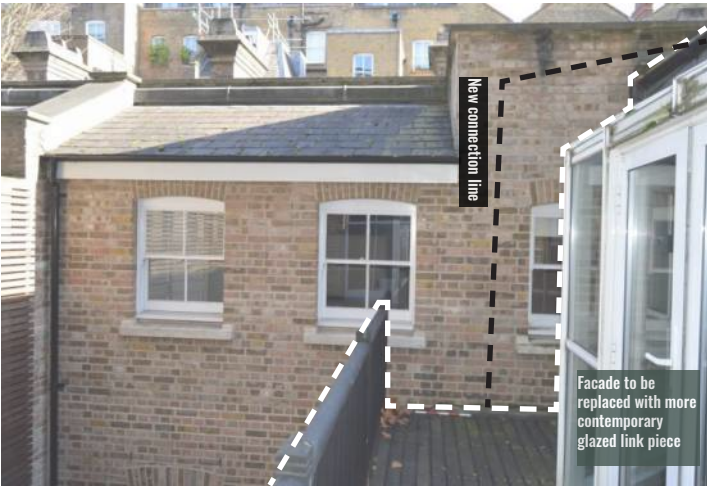
The accompanying structural ‘letter of comfort’ provides an initial assessment of the proposed works.

Sensitive Courtyard Approach

The feedback provided on previous planning applications has indicated no issues with respect to the principles of refurbishing this property in a considerate manner. The design and detailing of the new extension however must be of high quality in order to enhance the setting of the listed building.

The design team have been conscious of ensuring the new proposals will not have an adverse impact on the character of the existing building in accordance with National Planning Policy & Guidance and Camden’s Local Plan (2017) Policies A1 - Managing the impact of development, D1 - Design and D2 – Heritage.

The proposal is to replace the later low quality metal frame window and doors in the mews and main house courtyard façades with more sympathetic style fenestration to enhance the original historic character of this space.



Existing East Courtyard Facade (Mews) - Upper



Existing West Courtyard Facade (Terrace) - Upper



Existing East Courtyard Facade (Mews) - Lower



Existing West Courtyard Facade (Terrace) - Lower

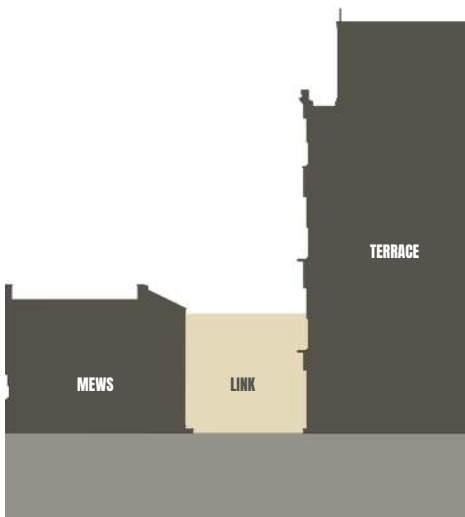
3.0 DESIGN PRINCIPLES AND EVOLUTION

New Courtyard Facade

Link Piece Conceptual Approach

The Officer’s report for the refused application noted that in the historic design ‘all [link pieces were] clearly done simultaneously and are evidently designed to allow the rear of the house and the rear of the mews house to be read, and their relationship to be understood. The yard demonstrates the traditional arrangement of the house, separating it from the mews house behind.’ This commentary has informed the conceptual approach to develop a revised proposal to enhance the historic courtyard.

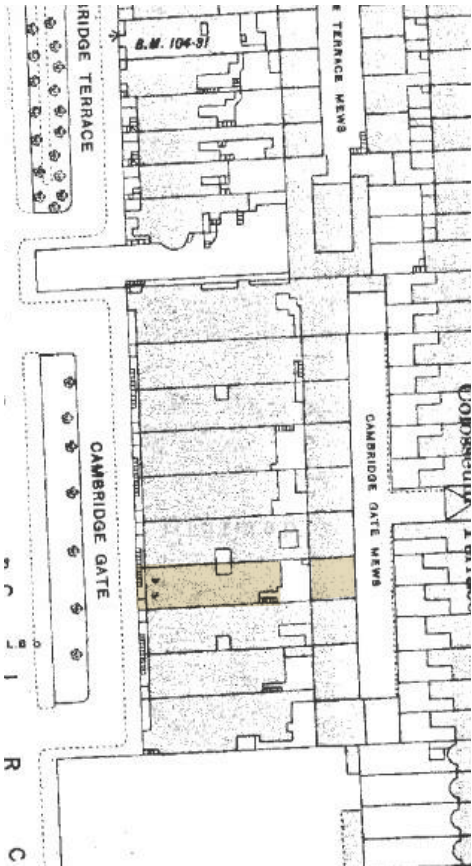
It is important that the link piece is contemporary in its expression to allow it be read as separate to the main house and mews, and serve to enhance this relationship through a subservient, lightweight aesthetic.



Section Concept

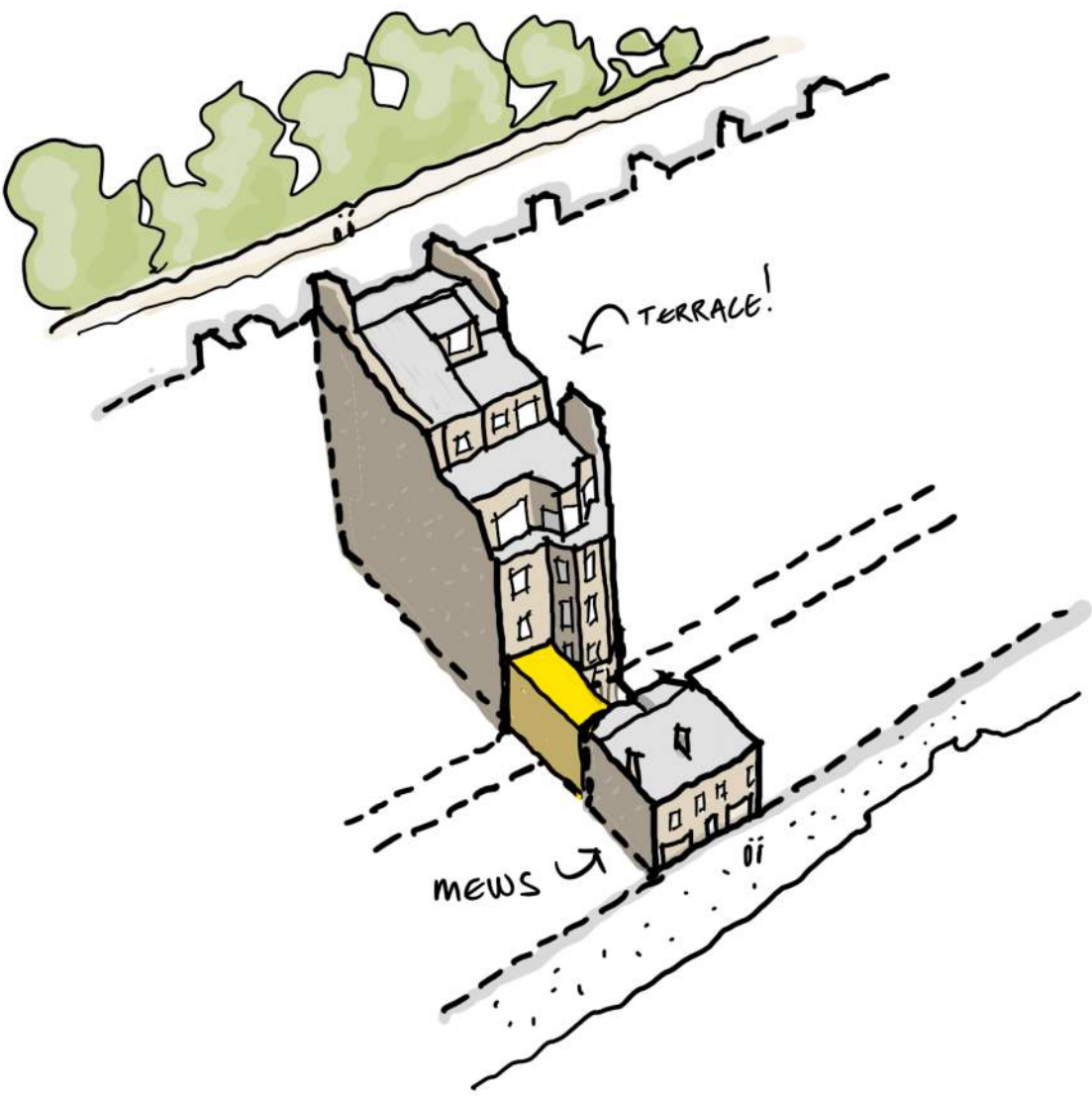


Plan Concept



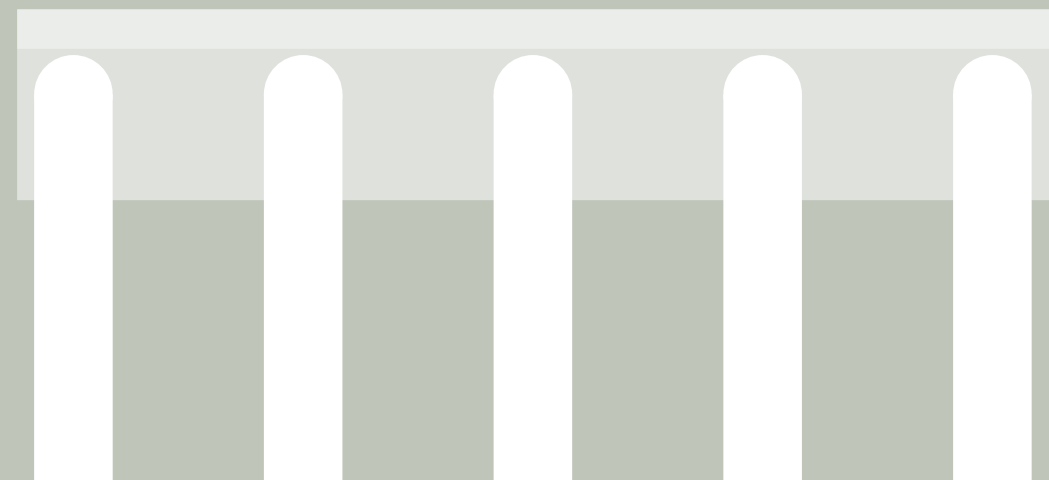
Cambridge Gate Historic Map 1920's

Showing the main house and mews as separate elements



Conceptual sketch illustrating how the main house and mews are connected with a contemporary element

4.0 THE SCHEME



4.0 THE SCHEME

Proposal Overview

Interior Design Approach

A raised ground and ground floor duplex apartment situated within a handsome French second empire style terrace, built c.1875 creates the perfect frame for a timeless and contemporary family home. The interior rational takes influence and responds to the historic architectural language of the property along with the family lifestyle and geographical cues.

Pure geometric forms and shapes from the architectural vernacular will follow through the interior of the property considering interior proportions and layout. Simple and timeless elements complimenting the architecture with softness and balance are then to be added through layered textured fabrics and relaxed comfortable furniture shapes with meticulous attention to detail and an underlying sense of home and contemporary Britishness.

A refined neutral base colour palette consisting of warm layered & textural neutrals complimented by a rich palette of forest inspired tones, enhanced by touches of patinated bronze and warm timber to give depth, offering a backdrop to considered fabric accent & artwork colours. Materials are specified to feel authentic, balanced and luxurious pulling influence from British heritage and craftsmanship.



Base pallette and materials

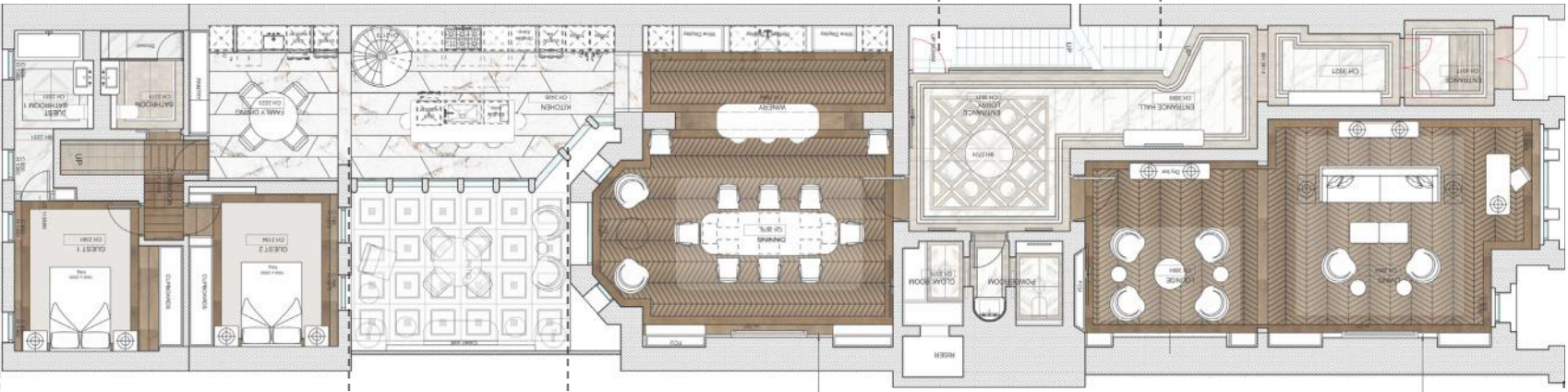
Third Floor - NTS



Second Floor - NTS



First Floor - NTS



Ground Floor - NTS



Lower Ground Floor - NTS

4.0 THE SCHEME

Enhancing the Heritage Asset

Use

The use of the residential property as a single family apartment remains unaltered.

Size & Layout of Accommodation

4 Cambridge Gate occupies the lower ground and ground floors of the original terrace house. It is referred to as a “Triplex & Mews” in the 1996 sales brochure. Measured from survey, an approximate gross internal floor area of 514sq m 5,545 sq ft excluding stair voids. It contains the original main stone staircase and balustrade that gives access to a single room at third floor level. This contrived design is for the sole purposes of retaining the staircase. The layout of the accommodation is shown modified to suit family requirements. The internal floor area of the house is increased by circa 2.5sqm/27sqft with the new northern courtyard facade but an external balcony space of approximately 8.8sqm/95sqft is removed.

Interior Approach

The adjacent photo collage indicates how the sensitive approach to refurbishing the property will take cues from the historic fabric and look to compliment these through layering in contemporary additions in a classic manner.

- 1. Existing door
- 2. Decorative screen
- 3. Existing ceiling & Architectural details
- 4. Wall panelling with inset wallpaper
- 5. Floor & Door design
- 6. Contrasting stone
- 7. Existing joinery



4.0 THE SCHEME

Enhancing the Heritage Asset

Through clear established design principles which focuses on retaining and enhancing original historic features, the interior aims to create a considered, timelessly detailed home which reflects the character of the property, its location and those who will live within it.

Main Interior Details

- 1. Restored historic staircase
- 2. Enhanced periodic panelling and architectural details
- 3. Retained existing accent elements
- 4. Proposed timeless door design where new
- 5. Proposed historically appropriate, vibrant elegant mouldings
- 6. New brushed metal controls
- 7. New seamlessly integrated services

Principal Rooms Cornice Approach

Proposals are to construct full height joinery in the alcoves in the principal living room, taking the cornice across the recesses to simplify the reading of these spaces. Forming a downstand between the front and rear rooms and running a cornice either side of the downstand defines the two areas alongside slightly increasing the length of the ribs either side to reduce the width of the opening between the two rooms. The chimneybreasts are set symmetrically but are of a different design so reducing this opening width better organises the function of the two spaces to improve the plan form.

The original period is circa 1875 which is the mid-Victorian era where more elaborate enriched cornices would have been more typical than the existing box cornice. Provided adjacent are two scans of photos taken in 1994 before the properties were converted into apartments. The enriched Citadel C149 cornice provides a good cue for reinstating some of this more elaborate detail.



Original Enriched Cornice Details



Citadel C149

4.0 THE SCHEME

Link Piece Concept

Design & Heritage

CPG Home Improvements states that extensions should:

- Be subordinate to the building being extended, in relation to its location, form, footprint, scale, proportions, dimensions and detailing;
- Be built from materials that are sympathetic to the existing building wherever possible;
- Respect and preserve the original design and proportions of the building, including its architectural period and style;
- Respect and preserve existing architectural features, such as projecting bays, decorative balconies, cornices and chimney stacks;
- Be carefully scaled in terms of its height, width and depth
- Allow for the retention of a reasonably sized garden

Lightweight Proportions

The ground floor of the original houses have a single window to the side of a three light window bay with pilasters carrying entablature with a continuous balustrade parapet above at first floor level

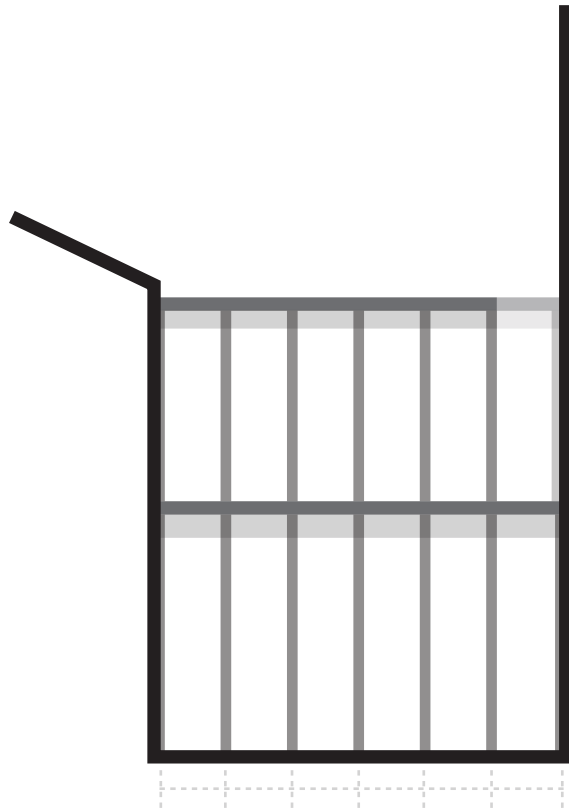
The facade rationale revolves around a modern interpretation of these principal bays with slender and evenly spaced verticals supporting horizontal bands. The weaving of the horizontal band and vertical uprights embodies the facade with this 'lightweight' feeling, as it connects the main house to the rear mews. The vertical piers are then shaped to accentuate their slenderness and subservience to the main property.



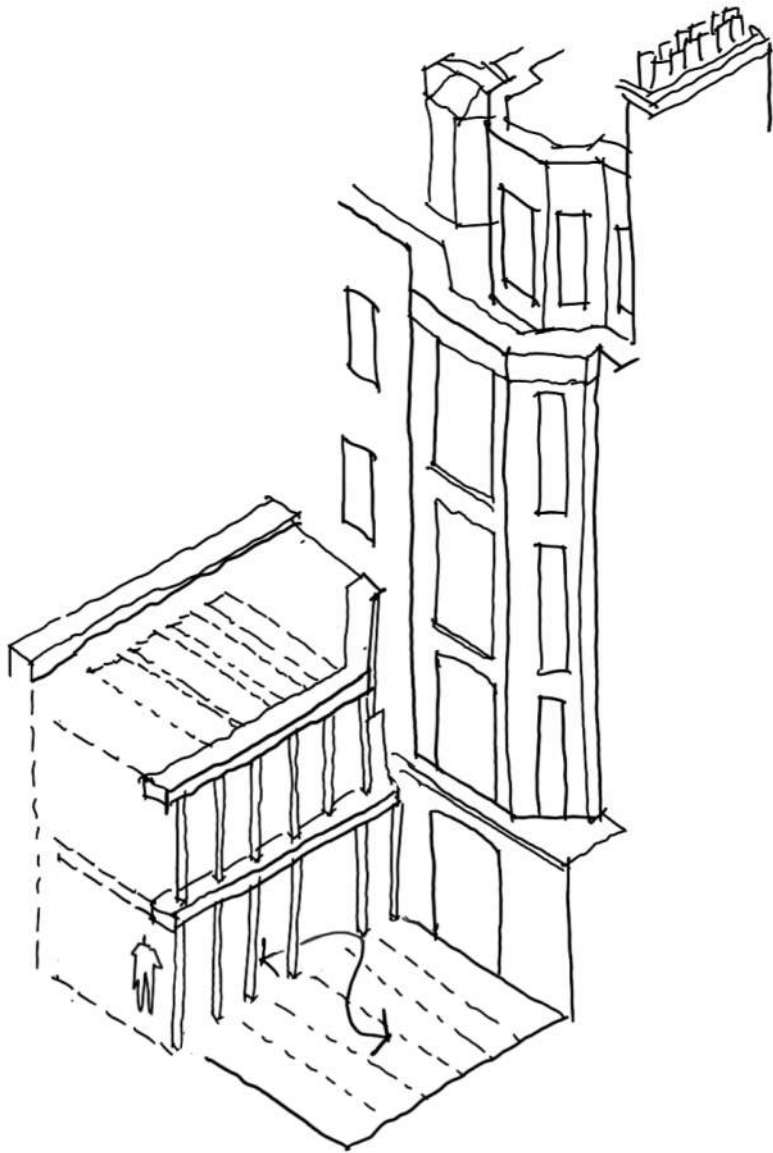
Existing Principal Bay



Proposed Courtyard Bay Interpretation



Conceptual Facade Diagram



Sketch Axo - Lightweight link

4.0 THE SCHEME

Proposed View looking North from the Courtyard



Photo of existing link structure



4.0 THE SCHEME

Complementary Materiality

A high quality elegant palette has been chosen for this scheme to compliment the existing building which is predominantly Bath stone to the main facade with dark painted metal railings and white, timber framed sash windows. The rear is then a London stock brick.

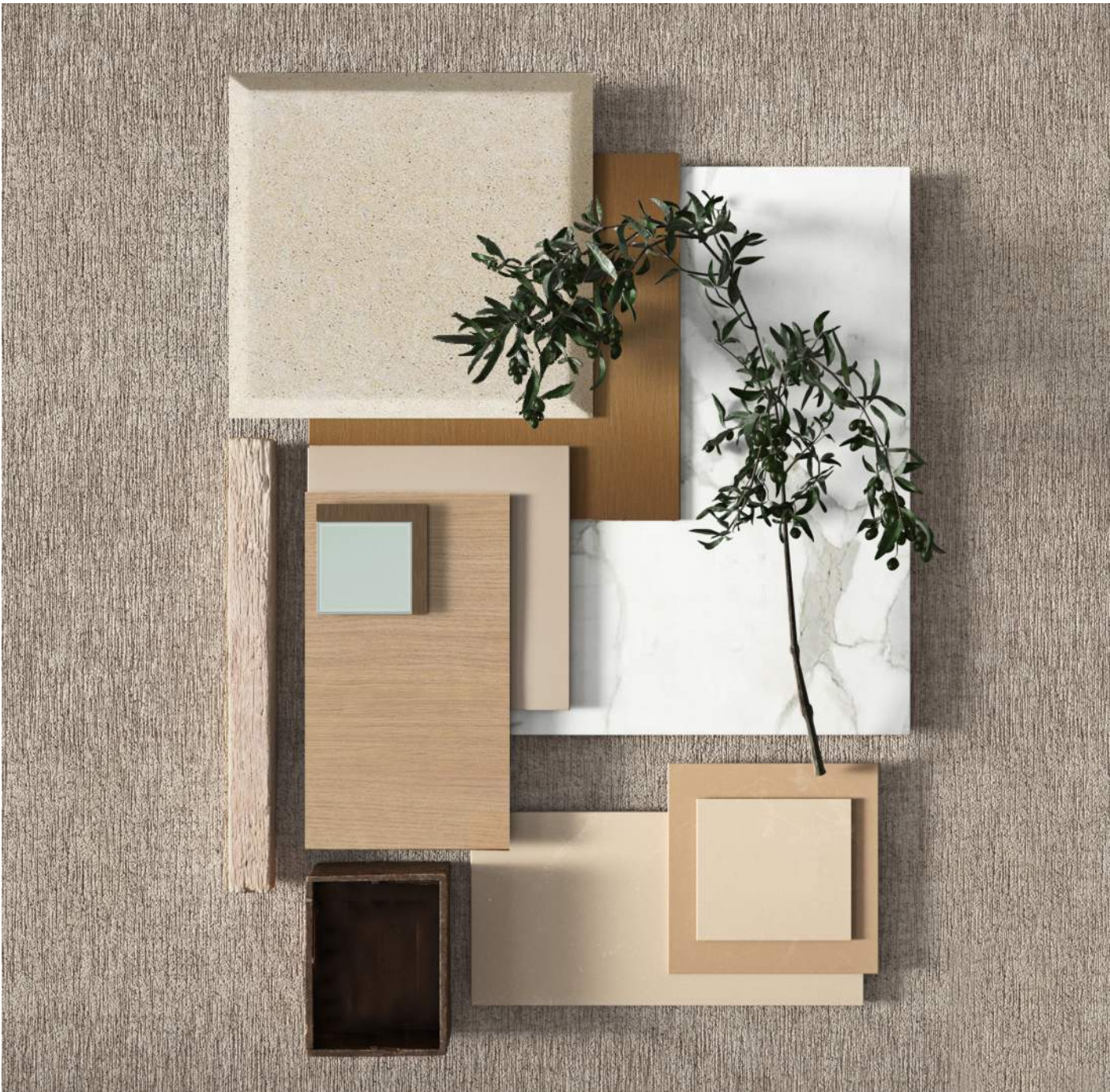
The proposed palette of materials for the new courtyard piece is considered along side the proposed internal finishes to ensure a holistic, harmonious palette is achieved.



Bath Stone in an eclectic French Renaissance Revival style.



Proposed Courtyard Bay Interpretation



Proposed Material Palette

4.0 THE SCHEME

Proposed Extension Materiality & Precedents

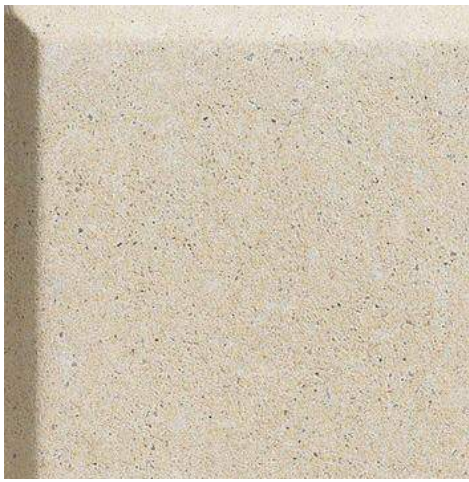
A high quality elegant palette has been chosen for this scheme. The stone will respond positively to the existing main house, complimenting the London Stock brick on the rear and matching in tonality whilst providing a slight textural variety. The mortar will be specified to closely match the colour of the stone tones, and will be flush pointed with a brush finish to enhance the crisp contemporary reinterpretation.

A range of stone detailing is used across the contemporary link piece in the form of articulated banding across the vertical 'top-piece' to the facade. This contrast expresses the vertical element of the facade and offers a positive relationship with that of the lodge cornice detailing.

Aluminium frame windows will have a brushed bronze finish which is complementary to the light stone palette.



1. Pale stone with lime pointing



2. Light buff stone



3. Existing London Stock Brick



4. Dark bronze aluminium glazing frames



4.0 THE SCHEME

Courtyard Elevations



4.0 THE SCHEME

Courtyard Arrangement & Activation

The arrangement of the link structure is a simple stack of a lounge and kitchen space connected by a new, lightweight metal staircase. Roof-lights integrated into the roof look to maximise daylight in the upper storey. Operability has been a key focus when developing the detail of the facade to enable positive interaction with the newly landscaped courtyard space. Replacement of UPVC windows and doors in the ground floor of the main house and mews is also proposed for more sympathetic alternatives

Axonometric Key

- 1. Kitchen with pivot windows
- 2. Family lounge with sliding doors
- 3. Roof lights
- 4. Sedum roof
- 5. Landscaped courtyard
- 6. New doorset
- 7. New lightweight spiral staircase



4.0 THE SCHEME

Outlook & Daylight

Outlook

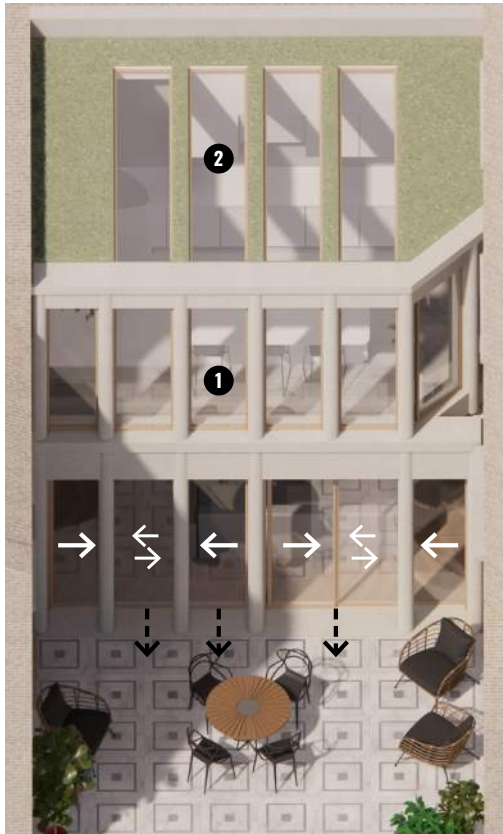
The courtyard will be refurbished with a subtle, natural material palette set off by a green wall to the southern boundary to improve the outlook from the surrounding spaces.

Daylight

The proposal has been designed to maximise levels of daylight and sunlight. Internally, the living spaces have large full height windows orientated north onto the private garden. Skylights provide additional daylight to the ground floor kitchen space.

At lower ground the floor finish is carefully conceived with a slight reflectance to the proposed tile to maximise borrowed daylight reaching the adjacent rooms

- 1 Floor to ceiling glazing
- 2 Skylight



View looking north towards the courtyard through the piers from the family courtyard

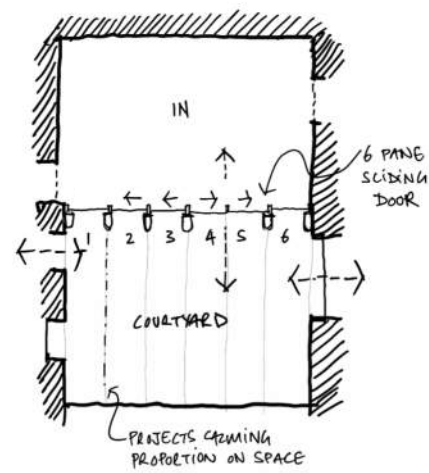
4.0 THE SCHEME

Outlook & Daylight

Internal Quality

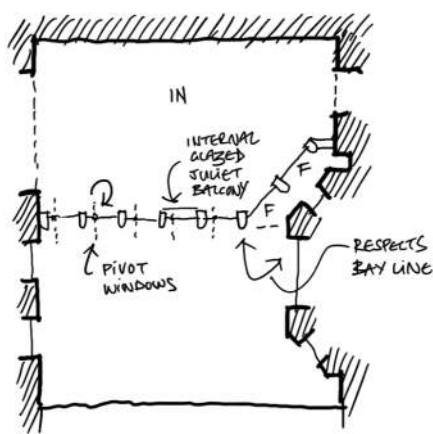
The new facade and roof to the link piece aims to both respect and compliment the historic courtyard space through key design moves, whilst creating a light and airy interior feel. The classic contemporary design of the link piece both internally and externally allows the user a clear reading of being in between the two historic elements of the property.

For the ground floor kitchen space, pivot windows open out with clamped glass to the internal side to create 'Juliet balconies' with views down to the courtyard below.



Lower Ground Floor - NTS

Plan Concept Diagrams indicating Operability



Ground Floor - NTS



View looking east towards the mews house through the kitchen

Please note, kitchen interior (including material and colour palette) is purely indicative massing, refer to interior detail drawings for full information.

4.0 THE SCHEME

Sustainability and Energy



Key Sustainability Approach

The retention of as much of the embodied carbon within the existing building where appropriate is a key sustainability factor as it means that less new building material is needed to build the scheme.

Ecological

- Green-roof to the new contemporary link piece.
- Utilisation of native planting to the courtyard which are adapted to the local micro-climate and soil conditions.
- Full services replacement to provide low energy systems to further lower the environmental impact of the proposal by heating the building with significantly reduced carbon emissions on site.
- Currently, a number of spaces have electric underfloor heating which has relatively poor performance. It is proposed that the hot water heating infrastructure is replaced, upgrading to more efficient boiler plant equipment.
- The focus has been on striking the right balance between preserving and enhancing the heritage asset against providing an energy efficient, future proofed home.

Fabric First

- Higher levels of airtightness and high performing U-values for new external envelope
- Dual flush toilets
- Smart thermostats and low energy lighting
- Flow regulated showers and taps

Materials

The materials used in the proposed development will be specified to minimise impact on the environment and on building users over the full life cycle of the building. In particular, materials will be reviewed using the BRE 'Green Guide to Specification', aiming to maximise the proportion of high rated materials and make the majority of materials high rated in the overall construction.

Insulating materials with low Global Warming Potential [GWP] will be specified. Non toxic materials will be used wherever possible including the specification of low VOC content products.

Stone has been specified due to the local environment and material context but also due to its lifespan as a building material and the comfort in knowing that in multiple decades the building will still be a robust and high quality piece of architecture.

Construction

Short travel or locally sourced materials where possible.

Waste

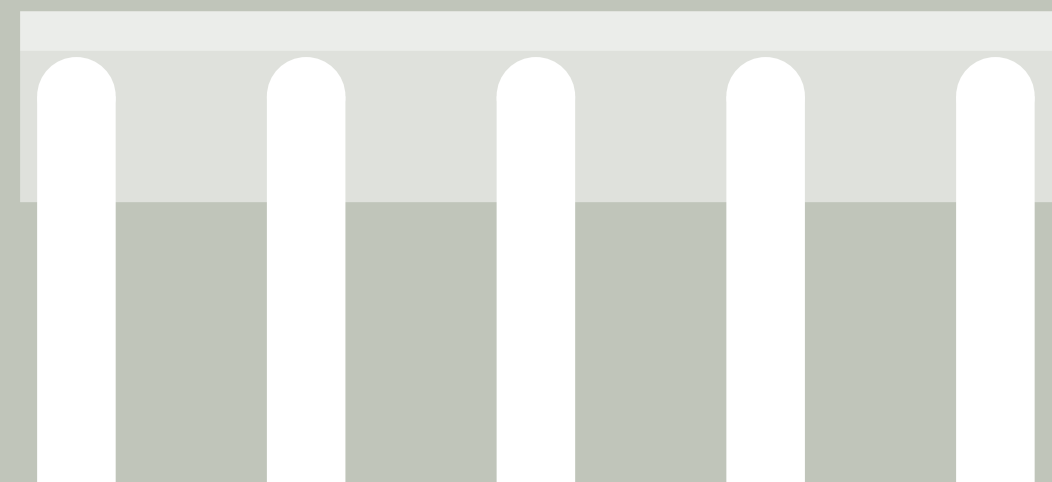
The proposals will follow benchmarks in line with the London Borough of Camden, in particular waste sent to landfill will be minimised during the building's construction. This will include procedures for the use of recycled and/or secondary aggregates, where possible, and the provision of adequate dedicated storage space for recyclable waste.

Water Sustainability

The building and courtyard design has been developed to with permeable surfaces in mind to minimise water run off wherever possible in order to assist in the attenuation of rainwater on site with the provision of a green roof.

Internally low flow rate fittings will be specified and the installation of water meters will be encouraged.

5.0
ACCESS



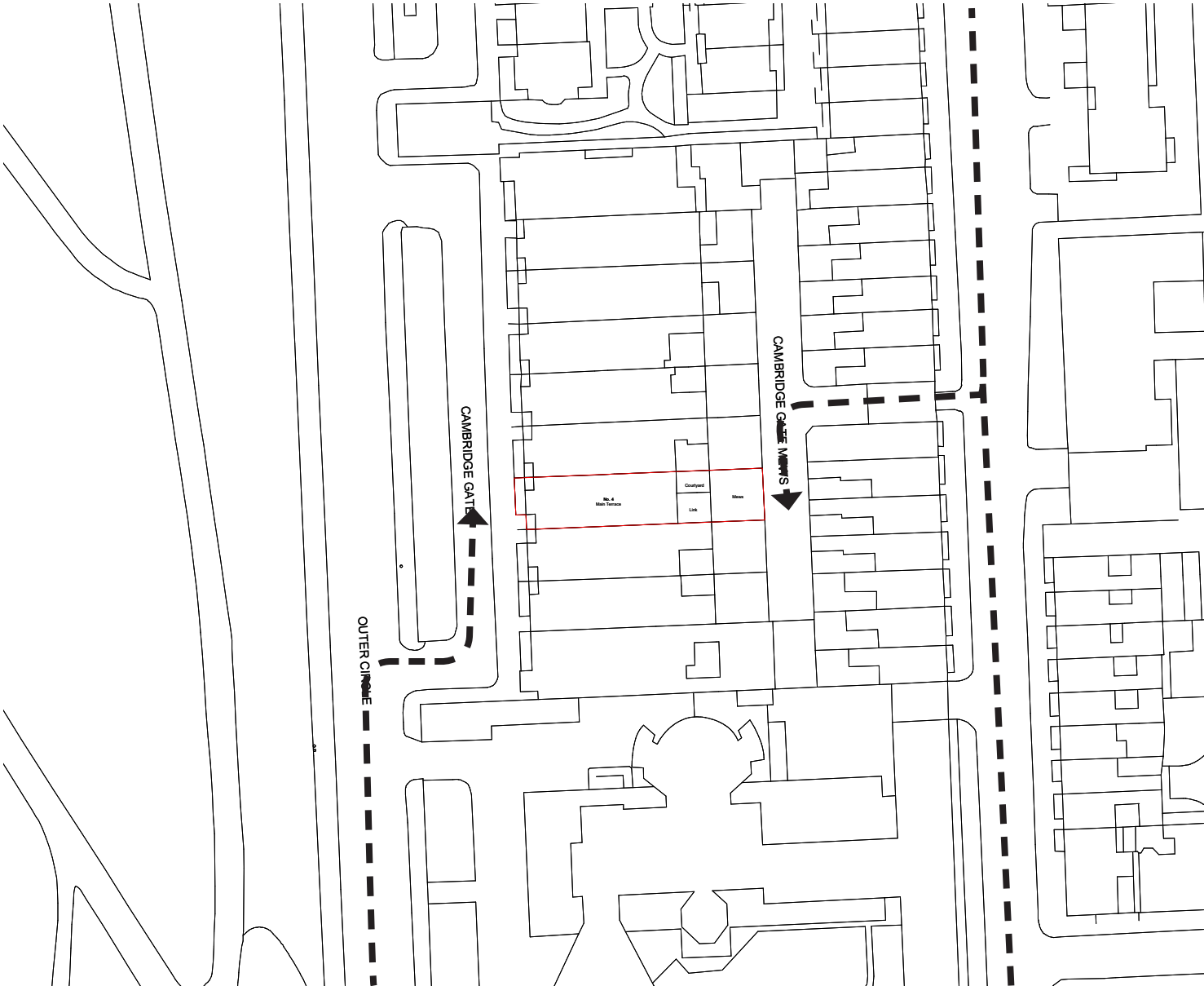
5.0 ACCESS

Proposal Overview

General Access

The property is at the southern end of Regent’s Park. The rear mews accommodation backs onto Cambridge Gate Mews access road that in turn connects to Albany Street via an opening in Colosseum Terrace. Albany Street is on a major bus route into the centre of London.

The front entrance door faces onto an “in and out” access road with private parking. Underground stations are located close by at Regent’s Park and Mornington Crescent. Euston Road and Kings Cross mainline stations are situated further along Marylebone Road to the east. The paving and mews roadway at the rear is the responsibility of The Crown Estate Paving Commissioners.



Site Plan (NTS)

5.0 ACCESS

Construction Management Principles

Works Access

Works access is proposed through the rear mews accommodation via Cambridge Gate Mews access road that in turn connects to Albany Street via an opening in Colosseum Terrace. Site worker access will be to the rear only. The front access point will be used only when absolutely necessary.

Vehicle routes shall be carefully considered and risk assessed, taking into account the need to avoid where possible any major cycle routes and trip generators such as schools, offices, stations, public buildings, museums etc.

The client will liaise with the chosen contractor to ensure that access to and egress from the site is appropriately managed, clearly marked, understood and clear of obstacles

Vehicle Types & Delivery Times

Construction vehicle movements shall be restricted to the hours of 9.30am to 4.30pm on weekdays and between 8.00am and 1.00pm on Saturdays. Vehicles will wait with their engines switched off to mitigate both emissions and noise pollution.

Details of the types of vehicles required to service the site and the approximate number of deliveries per day for each vehicle type during the various phases of the project shall be reviewed and provided to the council ahead of works starting on site.

Construction Impact & Working Hours

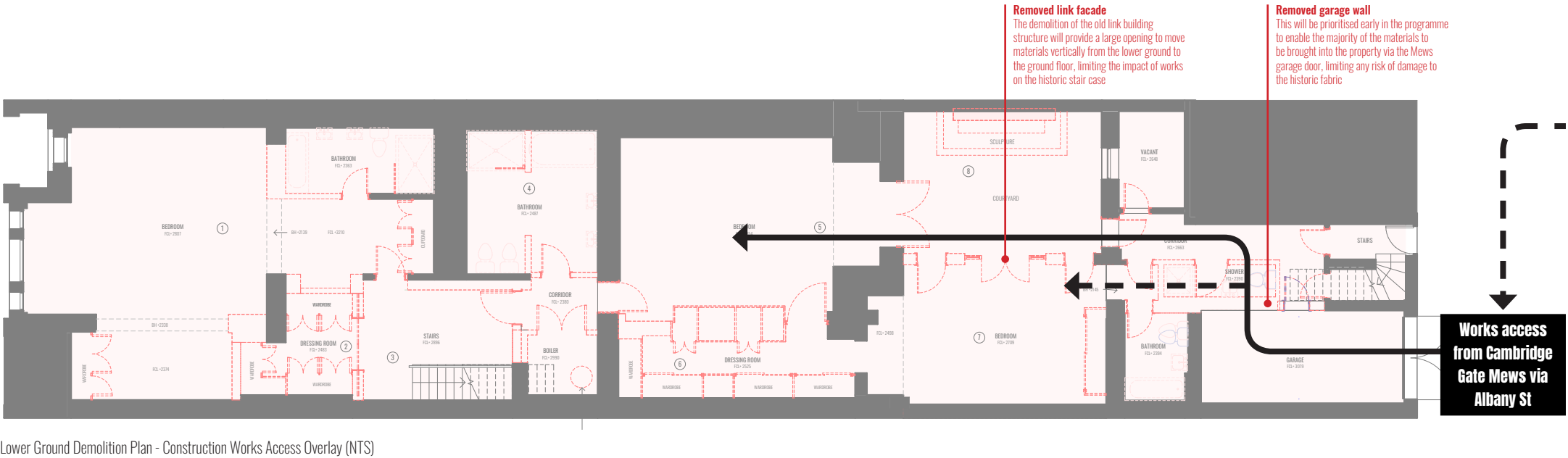
The standard working hours for construction sites will comply with Camden Policy and are proposed as 8.00am to 6pm on Monday to Friday, 8.00am to 1.00pm on Saturdays and no working on Sundays or public holidays.

Following the planning period, a neighbourhood consultation process will be undertaken prior to submission of a CMP first draft, relating to construction impacts. Significant time savings can be made by running an effective neighbourhood consultation process. This shall be undertaken in the spirit of cooperation rather than one that is dictatorial and unsympathetic to the well-being of local residents and businesses.

A contractor with Considerate Constructors Scheme (CCS) accreditation shall be specified for the works which includes CLOCS monitoring.

Noise & Dust

Predictions for noise and vibration levels throughout the proposed works shall be provided ahead of a start on site. Details describing how any significant amounts of dirt or dust that may be spread onto the public highway or neighbouring properties will be prevented and/or cleaned will be provided also.



5.0 ACCESS

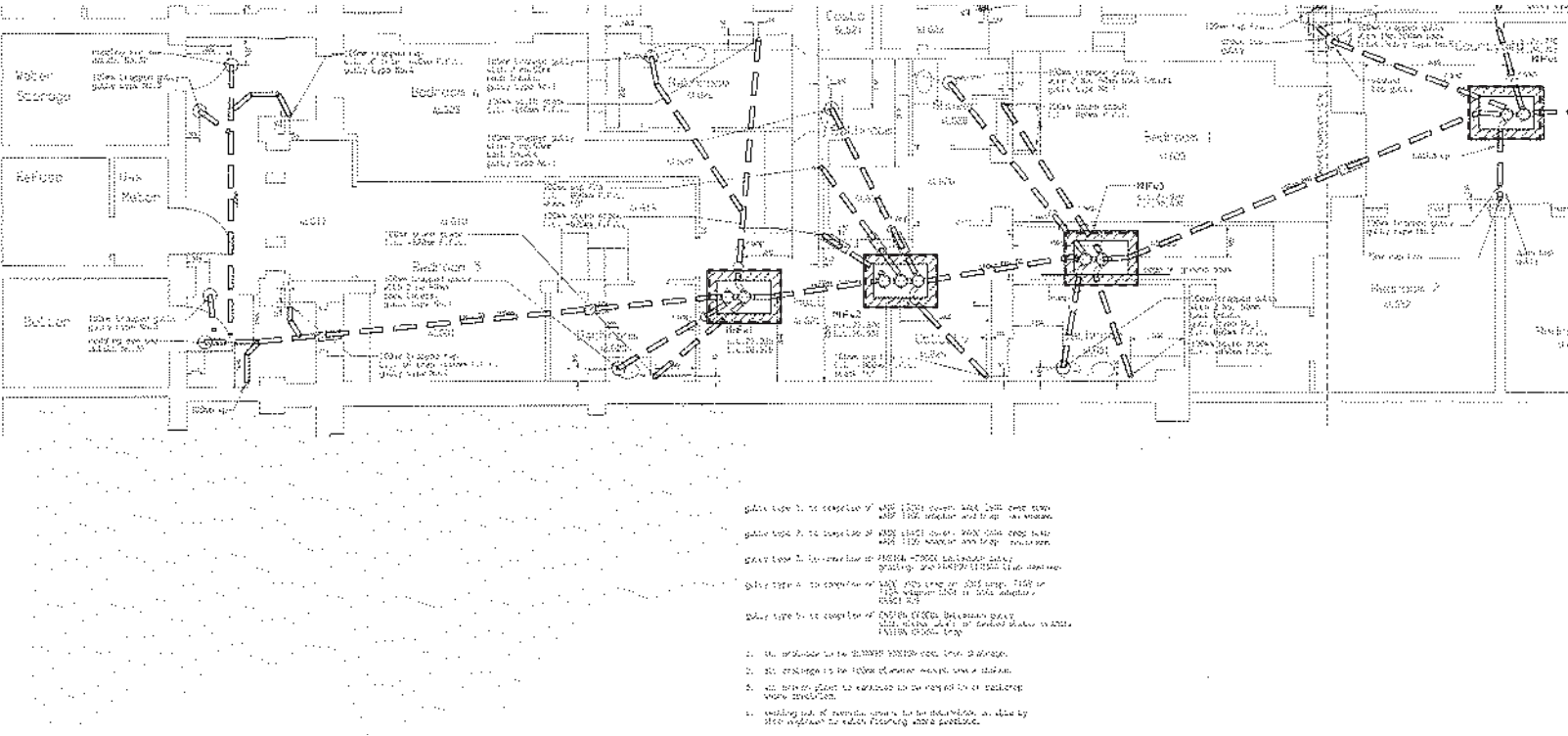
Utility Access

Drainage Access

Currently the manholes are covered over by floor build ups and finishes. No access could pose longer term maintenance issues. It is proposed to expose the manholes and having the drains cleaned and surveyed at the same time. Once exposed it is proposed that removable floor panels with appropriate finishes are incorporated into the scheme to enable future access. The adjacent drawings indicate the indicative locations of these manholes in relation to the proposed floor plan.



Lower Ground Proposed Floor Finishes Plan



Lower Ground Floor Plan - Record Drainage Drawing

Conclusion

The proposed development is minor in nature. There is a small loss of historic fabric but this is considered not to be significant considering the overall benefits gained to the plan form, facilities and sustainability of the building. The “green wall” to the courtyard meets the requirements of Policy DP22. The internal works preserve the building’s special interest. The proposed works do not give rise to any adverse impact upon the neighbours’ amenity. The proposal meets the requirements of the relevant national and local policies. The external alterations preserve the special interest of the building and the character and appearance of this part of the Conservation Area.

We trust that the London Borough of Camden will have no difficulty approving the applications as submitted.

THANK YOU