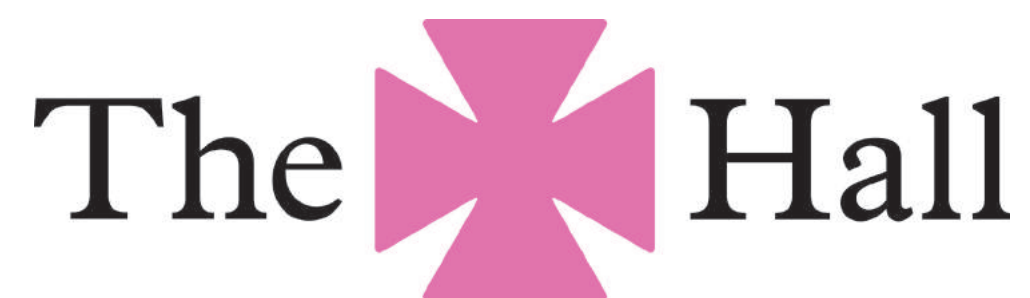


**The Hall Senior School
Wathen Hall Extension and
Rooftop Works**



**Design & Access Statement
September 2022**

The Hall

CONTENTS

PART 1

INTRODUCTION

Introduction	5
The Vision	7

PART 2

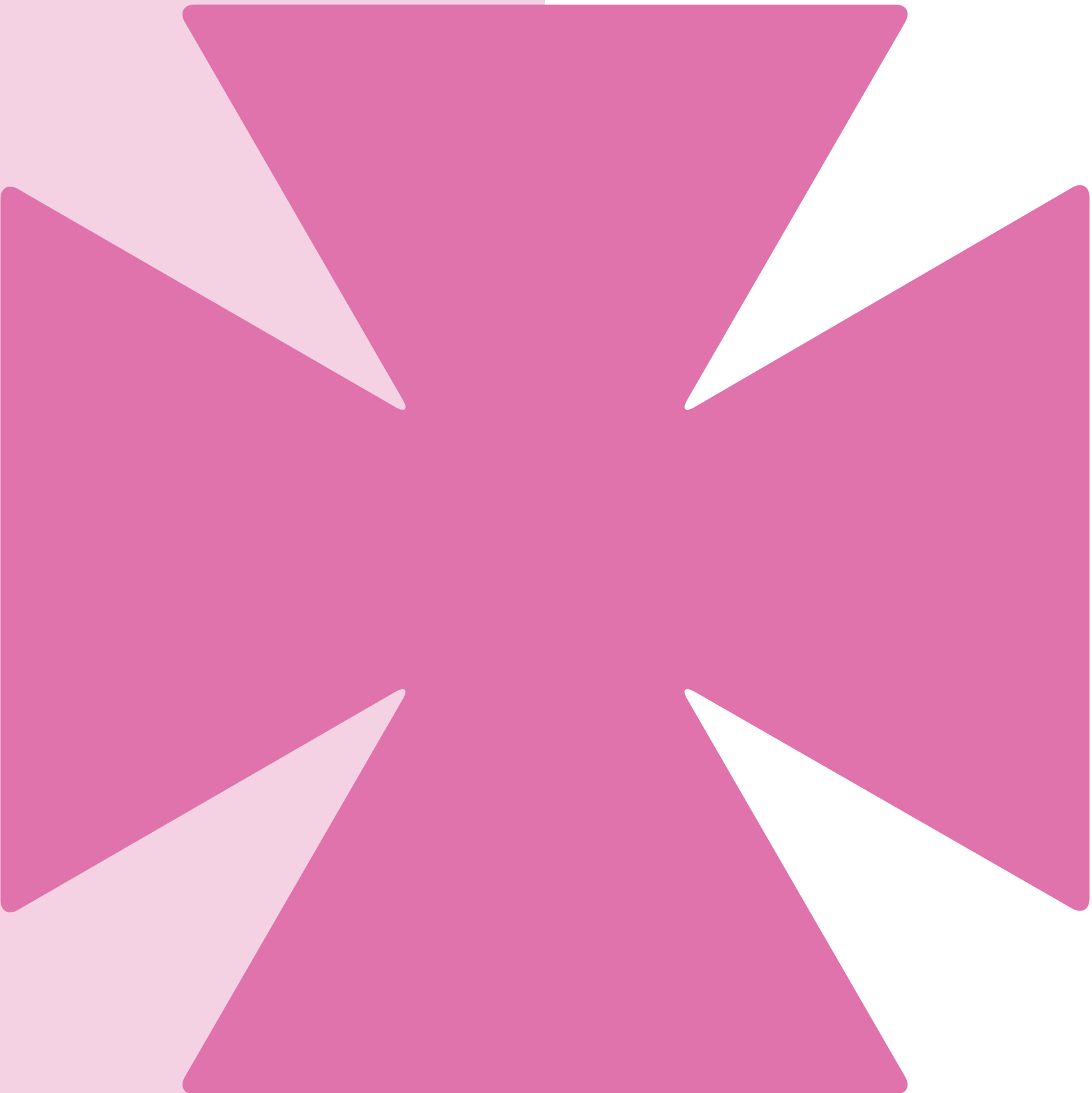
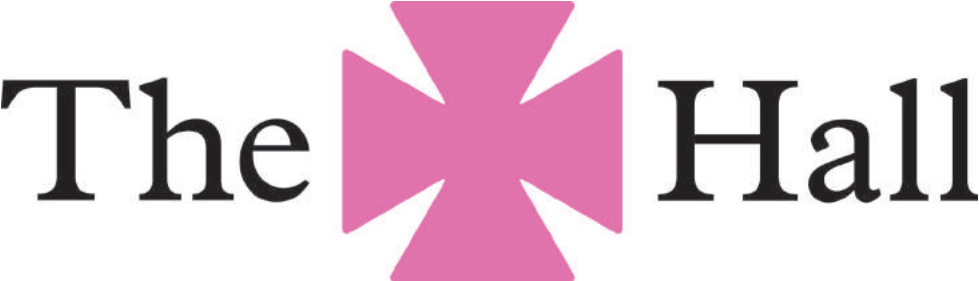
SITE ANALYSIS

Location Analysis	10
Site Plan	12
Site Photographs	13
History	14
Need for Development	15
Trees	16
Planning Policy Context	18
Constraints Analysis	19

PART 3

DESIGN

Brief Principles	22
Design Approach	23
Cycle strategy	30
BREEAM	30
Inclusive Design	30
Green Roof Access and Maintenance	31
CGI Images	32



PART 1
INTRODUCTION

INTRODUCTION

This Design & Access Statement accompanies a Full Planning Application for the development of a new single storey extension over the existing Wathen Hall and proposed works to existing roofs (including the installation of PV Panels and a new enclosure to house the proposed Air Source Heat Pumps) at The Hall Senior School. The Hall School Senior School site is located on the east side of Crossfield Road opposite the junction with Adamson Road.

The Hall School operates on three other sites not covered by this application. These are the Junior School on Buckland Crescent, the Middle School on Crossfield Road and the playing fields at the Wilf Slack Memorial Ground in Barnet.

PROJECT BACKGROUND

The Hall School wishes to develop a reduced scheme from that for which planning consent was previously granted. This is more in keeping with the school’s current needs and aspirations. The current proposals comprise of 4 new classrooms, associated circulation, storage and sustainable energy solutions.

Due to the constraints in the planning consent of the previously proposed extension element, it was deemed necessary to provide the same scale and location of extension as previously envisaged. Therefore, the location and massing of the proposed extension element is the same as the previously consented development in the hope that this will provide an acceptable scheme.

The school desires a carbon neutral operation of the new extension and wants to take this opportunity to upgrade various heating/ventilation and introduce renewable energy provisions. As a result, the inclusion of proposed alterations works to both pitched and flat roof areas will form part of the new planning application. Generally, the existing buildings are retained as existing.

PURPOSE OF THIS DOCUMENT

The purpose of this Design & Access Statement is to:

- Explain the sound principles behind the design process which have culminated in the proposed development
- Justify the design scheme that is subject to this planning application
- Demonstrate the provision of inclusive design to the floor area of the new extension classrooms in accordance with building control requirements

THE VISION

To paraphrase the school ethos; our aim is to create an exciting and stimulating academic environment which will foster a life-long love of learning for every pupil.

This scheme will provide state of the art learning environments, a chance for the school to invest in both energy reducing fabric and services, plus the provision of new renewable energy supplies to reduce the school’s carbon footprint.

The aim is to create additional provisions of standardised classroom sizes and layouts to provide more efficient 21st century teaching environments where possible with the additional proposed extension.

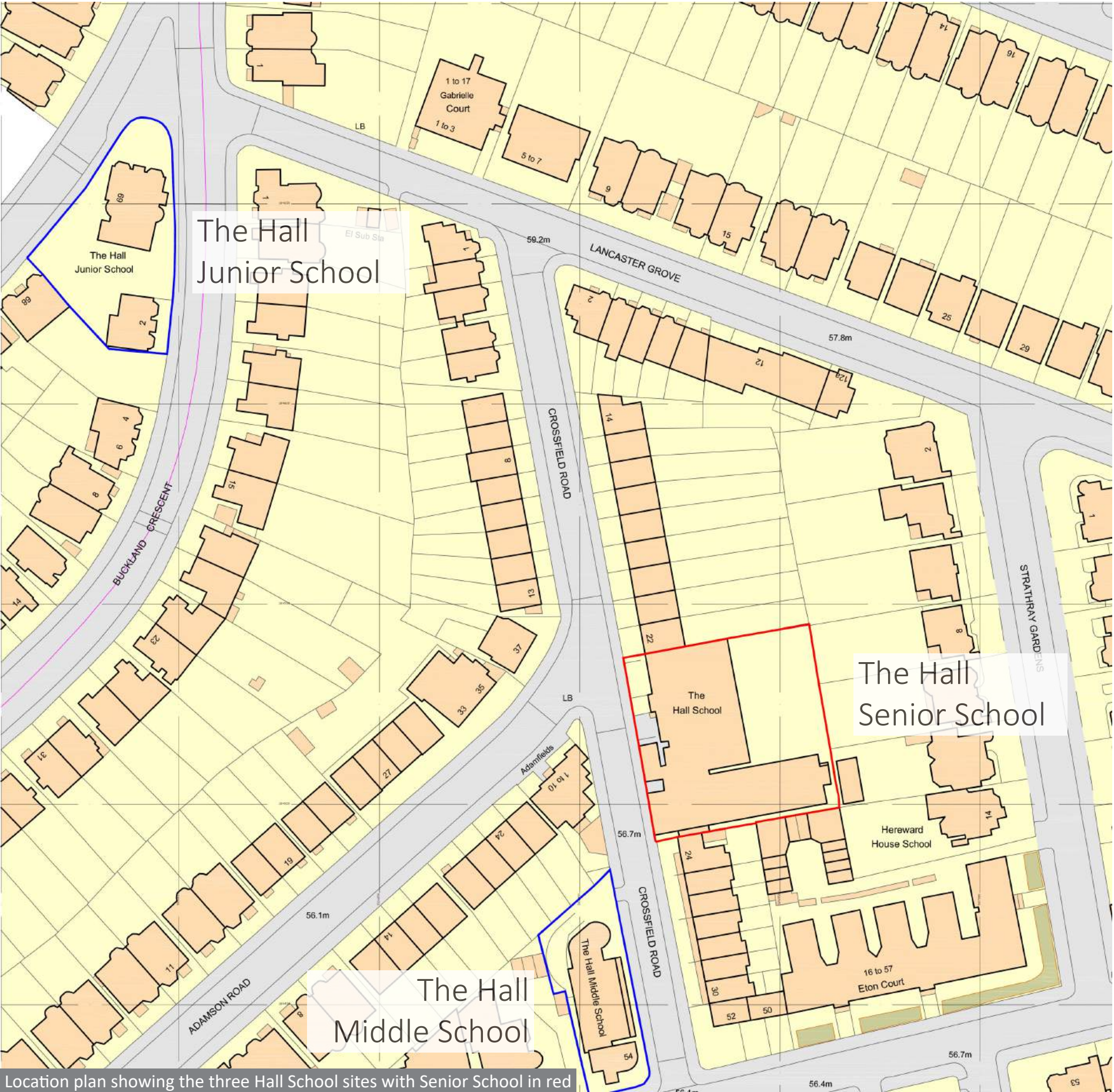
There will be no increase in the school’s student enrolment numbers.

The Hall



PART 2 SITE ANALYSIS

LOCATION ANALYSIS



Location plan showing the three Hall School sites with Senior School in red

THE SCHOOL SITES

The design proposals relate solely to the Senior School on the east side of Crossfield Road.

There are 162 pupils on the Senior School roll and this will not change.

The Hall School is located in Hampstead near Swiss Cottage tube station. It has three sites, all within a few hundred metres of each other, in the Belsize Park Conservation Area:

Junior School – Two adjacent former residential buildings on Buckland Crescent which hosts Reception and Years 1, 2 & 3. Some of the administration offices are located here.

Middle School – Late 1990’s purpose built educational facility, opposite the Senior School on Crossfield Road, which hosts Years 4 & 5. The dining facilities for Years 1 to 8 are located here.

Senior School – Original Victorian School building with later extensions. This building hosts Years 6, 7 & 8.

Educational facilities, such as the Wilf Slack playing fields in the London Borough of Barnet, are shared. These are located in Finchley and are 15 minutes from the school. The facilities have recently been upgraded through the refurbishment of the pavilion and improvement of the pitches.

The School has several partnership institutions – Richard Cobden Primary School, Brookfield Primary and The Winch in Camden, Our Lady of Muswell Hill in Haringey, and St. Saviour’s Church of England Primary School in Westminster.



Aerial photograph showing the Senior School site outlined in red

SITE PLAN



Site plan showing the existing buildings and site photograph locations

SITE PHOTOGRAPHS



1 - View of the Senior School building from Crossfield Road looking south



2 - View of the Senior School building from the end of Adamson Road

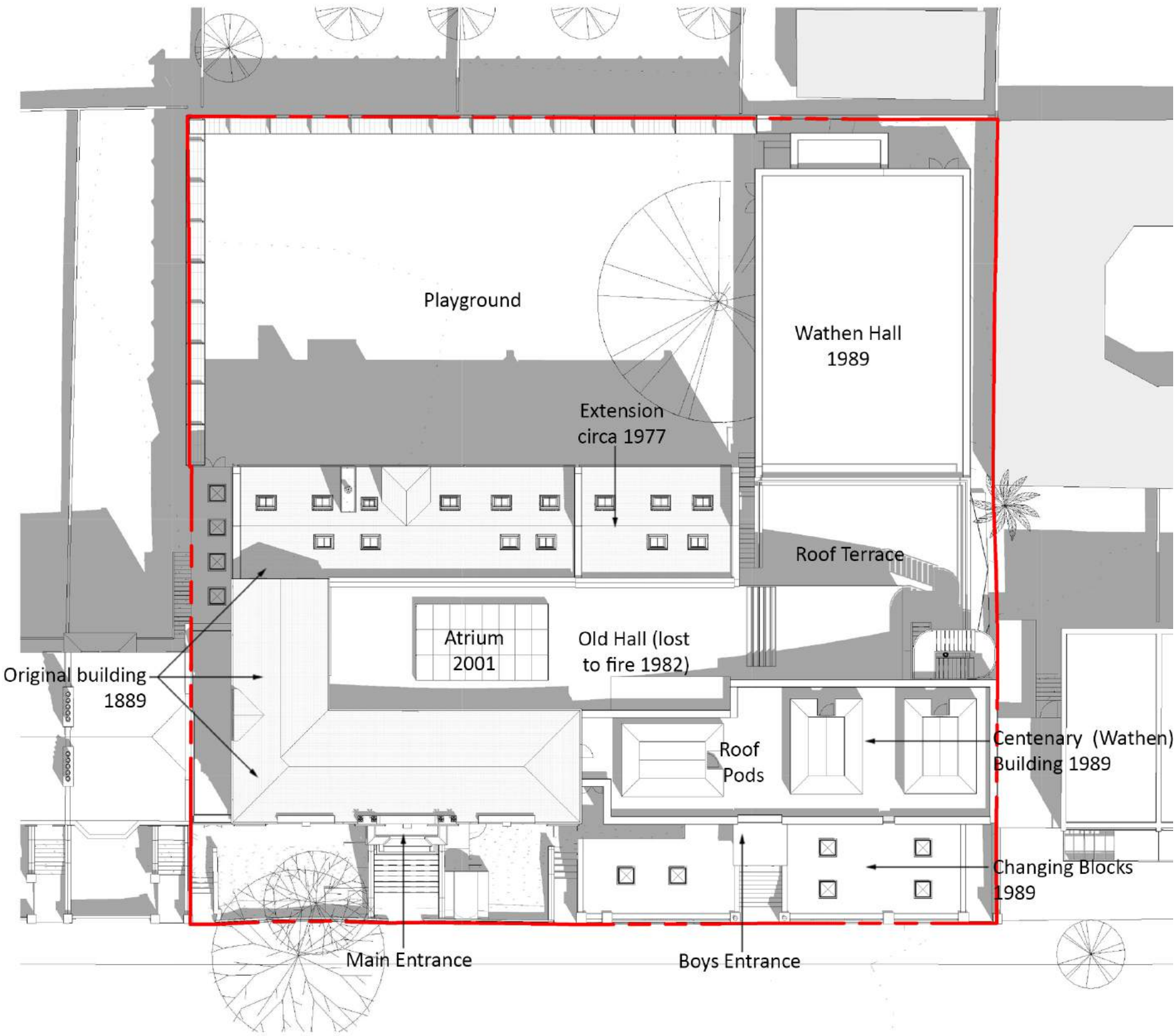


3 - View of the Senior School building from outside the Middle School



4 - View of the Senior School building from the playground

DEVELOPMENT HISTORY



Building Plan labelling different stages of development

BUILDING DEVELOPMENT HISTORY

1889

The original school building is built on the northern half of the site. This part of the building is noted in the Belsize Park conservation area document as being of notable quality.

1977

The rear gable was extended, adding a staircase and further classrooms. Architecturally this is a diminished version of the original, but being at the rear of the site its impact is limited.

1982

The original main hall was lost to a fire in an arson attack. Old photographs and drawings show how this space was of great quality and the heart of the school.

1986

The fire-damaged hall space was filled in with flat roofed accommodation which was later covered by the current atrium.

1989

The Centenary Building or Wathen Building on the southern half of the site was added - this included the Wathen Hall. Specifically noted in the conservation area as not having the same design/heritage merit as the original building, this extension was done on a tight budget with poor finishing materials within and out.

2001

The in-fill of the old hall was partially cleared to make way for new circulation and additional classrooms. Although the architecture is of finer quality than earlier additions, it is slightly alien to the context and presents a missed opportunity as some of the key issues regarding daylight, ventilation and circulation have been compounded by cramming in more classrooms.

For recent planning history, please refer to the Planning Consultant's (Boyer) Planning Statement that accompanies this application.

NEED FOR DEVELOPMENT

The Hall School has an outstanding reputation for excellence in education, but its ability to continue to drive excellence is being constrained by the school's layout and facilities.

Over the past two years, the School has conducted a review of teaching and learning, including a comprehensive review of school facilities. Our ambition now is to create a new environment in the Senior School which will complement the changing approach to modern education, ensure that pupils continue to experience the most appropriate facilities for learning, and which will maintain The Hall's position as one of the leading preparatory schools in the country.

The school now wishes (following financial reviews, Covid lockdowns and a change in priorities) to propose a reduced scope re-development scheme. It is evident that there is a need for additional larger classrooms that can provide enhanced learning opportunities, and this is still within reach of the school's development potential. The desire to provide a more energy efficient premises is more prevalent today than any other time in the school's past with the desire for 'net zero carbon in operation' being a key re-development driver.



Photograph showing small classroom; There is only enough space to tightly pack the desks in rows.



Example of roof-mounted PV panels

“Every new era brings fresh challenges and opportunities. We wish to provide even richer educational experiences in order to prepare our boys inventively for the fast changing world in which they will continue their learning adventure.”

Chris Godwin, Headmaster, The Hall School

NORR has considerable experience in school development. We have examined the school closely to understand its operation and understand its needs.

The main issues we have identified are as follows:

1. The Senior School primarily caters for Years 6, 7 & 8. However, the Middle School boys use the Senior School for specialist subject lessons, adding to the pressure on space availability.
2. Several of the classrooms are too small. Of the current 21 teaching spaces, only 6 meet the recommended floor area for a group of up to 20 when assessed against relevant standards. Of the remainder, 4 are so small that they are better suited to a half class group.
3. The rooms and corridors of the Senior School are generally cluttered suggesting a chronic shortage of storage provision. Additional storage space will be incorporated into the extension footprint to ease the strain on the existing school premises.
4. Currently not all teachers have their own subject-specific classroom adding to timetable pressures. In order for this to be rectified, four additional classrooms are required.
5. The building is environmentally inefficient, using an unsustainable amount of resources and energy. It is expensive to run and also difficult to control in terms of lighting, heating, cooling and ventilation. The addition of renewable energy supplies, plus an updated system of rooftop plant and internal heat emitters/distribution pipework, will facilitate a much lower level of energy usage. This will therefore allow for a more energy efficient building and reduce the school's carbon footprint.

TREES

There is a large mature London plane tree, which is the subject of a TPO, at the rear of the site adjacent to the Wathen Hall.

The TPO tree has been subject to a separate application from the school to remove a low lying limb and reduce the crown to enable the proposed extension to be constructed. This proposed development will include for the protection of the tree during both demolition and proposed construction phases. The previous arboricultural statement from Barrell Tree Care details the proposed protection works.



Aerial view identifying trees in and around the site



Aerial view identifying trees in and around the site

An application for extensions and alterations to one of the school buildings was refused (and dismissed at appeal) in 2006 because of impacts on this tree.

This tree has been pollarded earlier in its life but since then has formed a full crown. The tree is carefully maintained and the crown periodically reduced. Indications are that it is in good condition and is many decades from decline. It is in the school's interests for this tree to be retained as removal could be detrimental to the buildings foundations.

The trees on the eastern boundary are valuable in terms of softening the appearance of the tall fence required due to ball games in the playground and will not be impacted by the proposals. These trees also provide useful acoustic screening to the playground and are a feature of the townscape character of the conservation area.

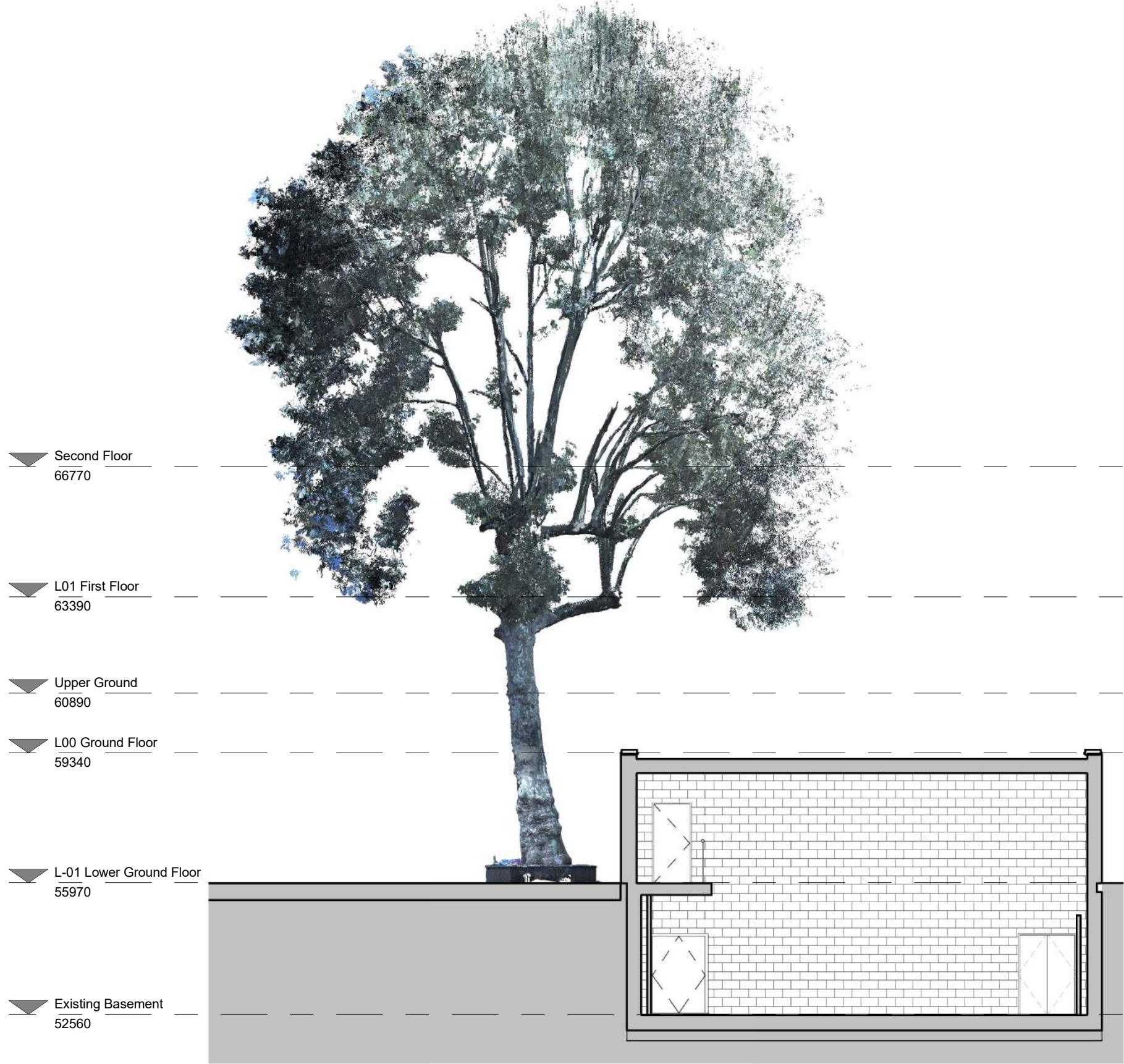
Current proposals have been designed to ensure the TPO tree can be protected and retained through the redevelopment.

EXISTING TPO TREE

Due to the proximity of the TPO tree to the existing Wathen Hall and proposed building works, proposals were made, under a separate application to the local authority, to cut back the tree overhang and remove the low lying limb. This is to accommodate for the proposed demolition and construction works to take place. These works have been organised by the school under a separate application/notification to the local authority. The tree will be protected during the demolition and construction phases of the new extension covered under this planning application and a system of protection in line with previous consented arboriculturist's proposals.



The TPO tree adjacent to the Wathen Hall



PLANNING POLICY CONTEXT

Planning policy at all levels, from National to Local level, promote the improvement of all community facilities including schools. It seeks to promote enhancements to existing facilities.

HERITAGE

The School is located within the Belsize Conservation Area, which was designated in 1973.

The area is distinctive through its use of red brick along with Queen Anne and vernacular revival details which were fashionable in the late 19th century. There is a strong consistency in the height of buildings which sit mostly at three storeys with lower ground and sometimes an attic level.

The original red brick Hall School building (excluding the later brick extension) is defined as making a positive contribution to the conservation area.

The buildings are not listed and the nearest listed buildings are on Eton Avenue to the south.

The Senior School on Crossfield Road is served by two tube stations: Swiss Cottage and Belsize Park.

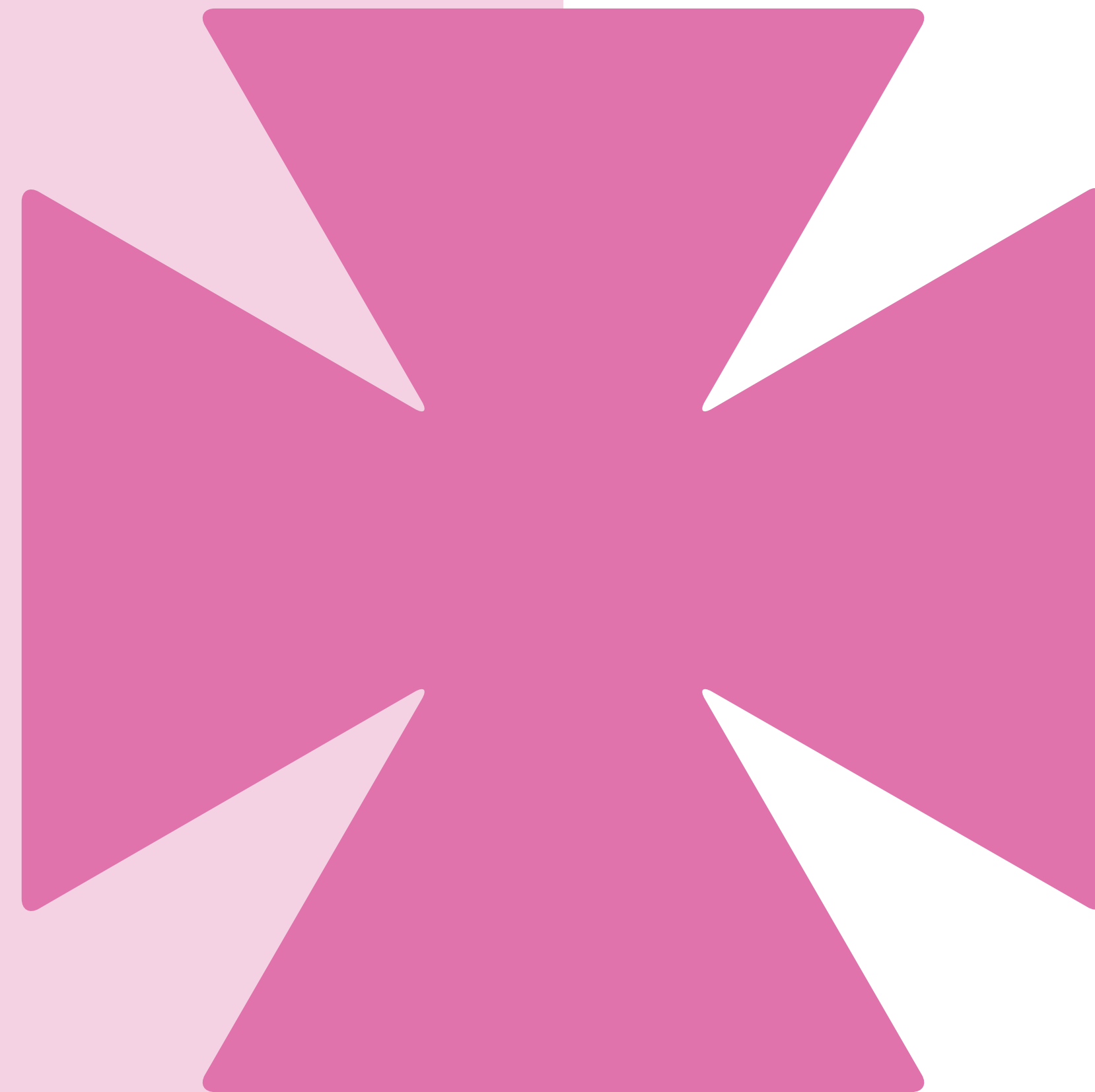


Camden Borough Council planning policy map showing Belsize Park Conservation Area, site outlined in red

CONSTRAINTS ANALYSIS



The Hall



PART 3 DESIGN

BRIEF PRINCIPLES

WATHEN HALL EXTENSION

The primary driver for the proposed scheme is to provide additional classroom teaching spaces that are better proportioned and of a specification suitable for modern teaching. The proposed classrooms will better accommodate the pupils compared to some of the smaller classroom spaces which will remain. The provision of the new extension also incorporates a lift for DDA compliant access from external courtyard level up to the new classrooms, an internal circulation/escape staircase, ancillary storage provisions, a break-out teaching resource area and an accessible WC compartment. The extension is accessed either through the existing Centenary building at ground floor level or via stairs/ lift from external playground level.

CENTENARY BUILDING ROOFTOP PLANT ENCLOSURE

The school is committed to providing a vastly improved carbon footprint across the Senior School by incorporating the latest systems for providing heating throughout the buildings. The planned extension will be heated via Air Source Heat Pumps which are proposed to be located within a new external plant enclosure on the roof of the existing Centenary building. The proposal is to remove the existing structure and cladding forming the central plant enclosure on the roof. The existing support bunds will be retained, and new support framing and cladding will be introduced to form the open-roofed plant enclosure. Acoustic louvres will clad the enclosure at low level whilst the raking mansard top will be clad to match the existing enclosures. The elevation form is to match the existing enclosures. The extent of acoustic attenuation will be confirmed within an acoustic survey. The extent of the proposed new roof enclosure is indicated on the submission plans and elevations. The current proposal is for the new plant to serve new heating emitters throughout the whole school. Please also refer to the energy statement included within this application.

ROOF MOUNTED PV PANELS TO EXISTING PITCHED ROOF AREAS

As part of the school’s commitment to carbon reduction, and with the concerns of spiralling energy costs, the planning application also covers the inclusion of areas of photovoltaic panels onto existing pitched roof areas where deemed suitable by our energy consultants. Please also refer to the energy statement included within this application.

DESIGN APPROACH

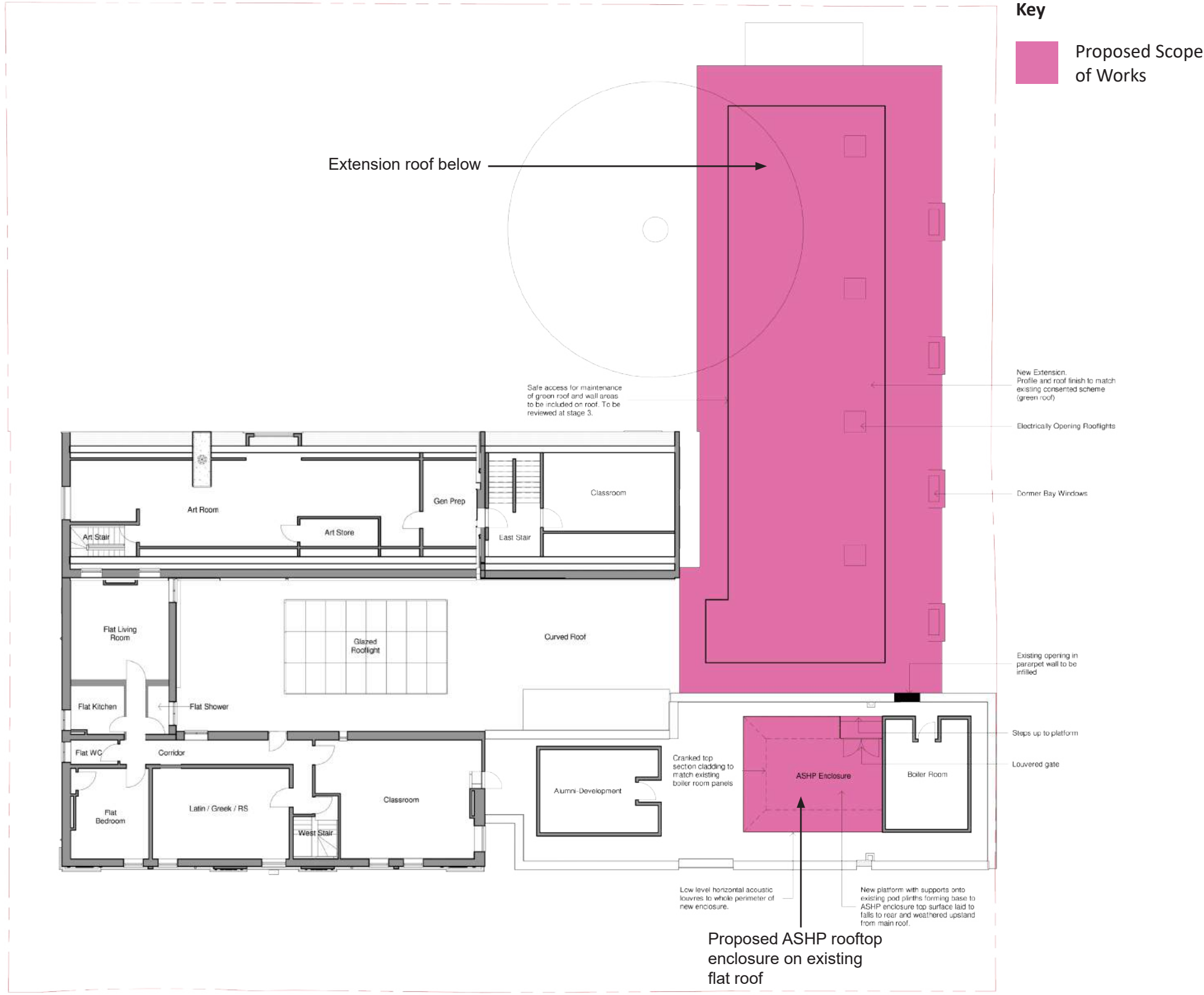
PROPOSED LOWER GROUND FLOOR WORKS



24 | Hall Senior School Wathen Hall Extension and Rooftop Works, Design & Access Statement

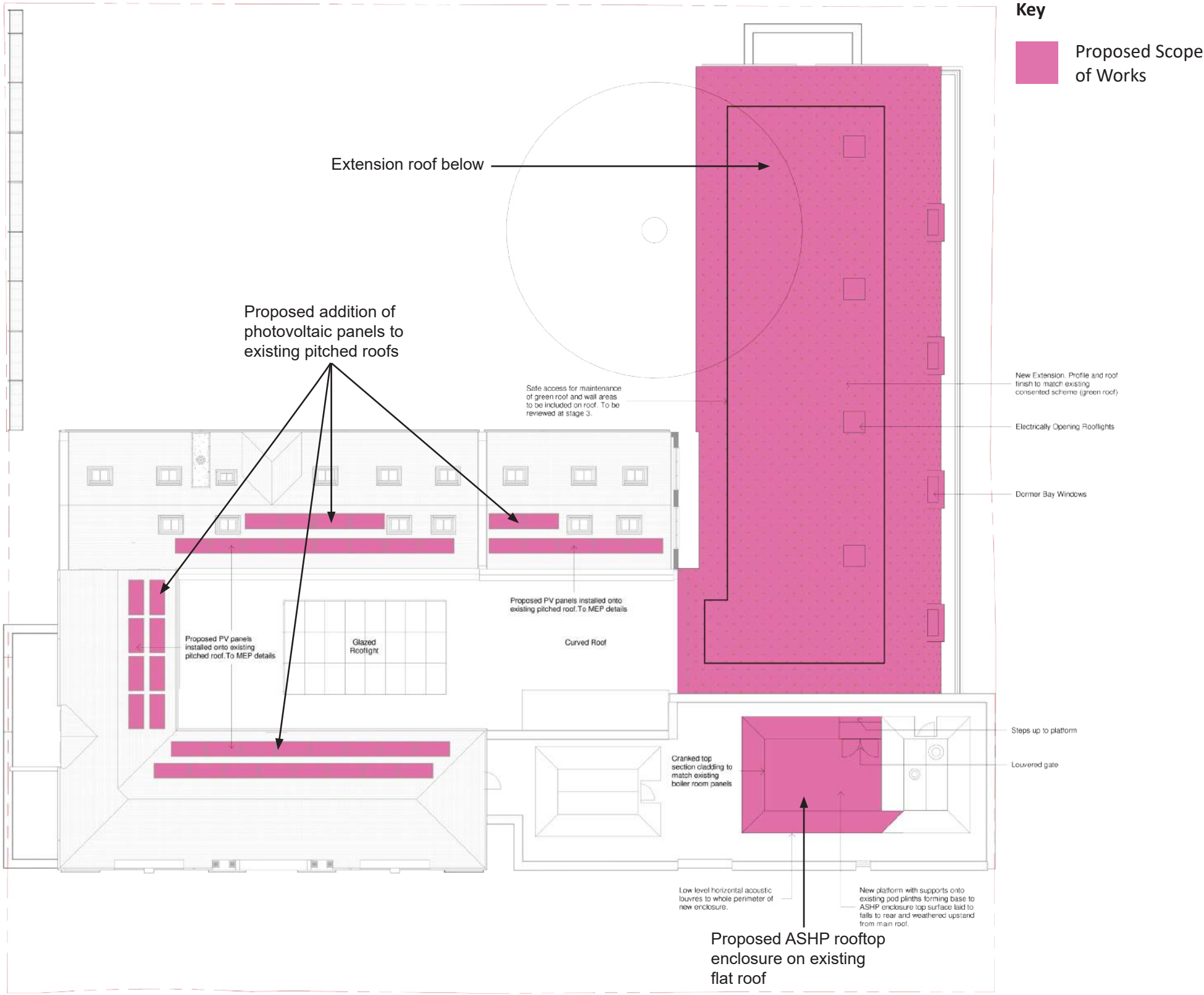


PROPOSED SECOND FLOOR WORKS



Proposed Second Floor Plan
(Not to Scale)

PROPOSED ROOF WORKS



Proposed Roof Plan
(Not to Scale)

PROPOSED ELVATIONS



Proposed West (Front) Elevation
(Not to Scale)



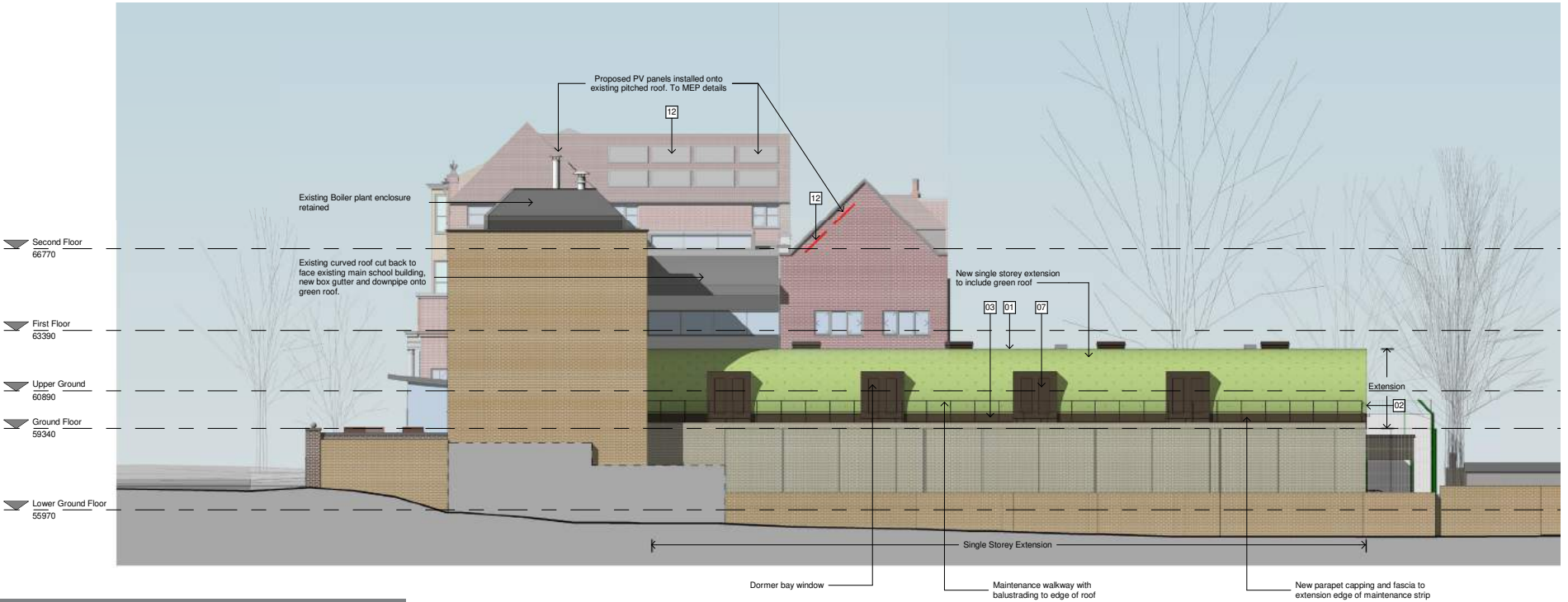
Proposed North Elevation
(Not to Scale)

Proposed Finishes Key

- 01- Green Roof
- 02- Green Wall
- 03- Powder coated metal fascia/cladding panels
- 04- PPC Aluminium Framed Window
- 05- PPC Aluminium Framed Door
- 06- Glazed PPC Aluminium Framed Door with Glazed Screen
- 07- PPC Aluminium Framed Dormer Windows with Louvres
- 08- Metal Louvres
- 09- Metal Standing Seam Roof (to match existing)
- 10- Metal Louvered Gate
- 11- PPC Aluminium Framed Louvre
- 12- PV Panels



Proposed East (Rear) Elevation
(Not to Scale)



Proposed South Elevation
(Not to Scale)

Proposed Finishes Key

- 01- Green Roof
- 02- Green Wall
- 03- Powder coated metal fascia/cladding panels
- 04- PPC Aluminium Framed Window
- 05- PPC Aluminium Framed Door
- 06- Glazed PPC Aluminium Framed Door with Glazed Screen
- 07- PPC Aluminium Framed Dormer Windows with Louvres
- 08- Metal Louvres
- 09- Metal Standing Seam Roof (to match existing)
- 10- Metal Louvered Gate
- 11- PPC Aluminium Framed Louvre
- 12- PV Panels

CYCLE STRATEGY

The proposed development is now minor in terms of a planning application perspective so the proposal is to retain the current cycle and scooter storage provisions at the Senior School being:

- 7 Staff Cycles
- 6 Pupils Cycles
- 20-30 Pupil Scooters

These are to be retained in existing locations. Additional cycle storage facilities are available at the adjacent Middle School site.

BREEAM

The proposed new extension development will be subject to a BREEAM assessment, with a target rating of “Excellent” being the scheme requirement. The consultant team have met to run through the criteria to ensure the Excellent rating is achievable. Please refer to the consultant’s (dar) initial BREEAM design assessment to review the credits targeted.

INCLUSIVE DESIGN

The proposed single storey extension has been designed to meet the requirements of Document M of the building regulations and those elements of the Equality Act 2010 covered by it. As designers we work with the approved inspector to ensure that these regulations are met. Constraints of the site and the existing buildings mean certain aspects of the regulations may require deviation from regulation which will be obtained via specific design and access management statements as they may be required. The proposal includes the existing external steps up to playground level to the rear of the Wathen Hall to be adapted to provide a suitable accessible surface for wheelchairs to access the external facade at lower ground floor and access the new internal lift.

BUILDING APPROACH

The Hall Senior School is located on Crossfield Road where ALL vehicle parking is restricted to permit holders only.

- 1 No staff disabled parking bay is provided at the Middle School.
- Staff parking is provided off site.
- Pedestrian access is via the main highway footpath adjacent the front of the Senior School.

BUILDING ACCESS

The Main Entrance to the school will be maintained within the existing building, via secure access. The secondary entrance to the existing Centenary building will also be maintained. The main access route to the proposed extension for students will be via the internal circulation routes, with alternative access and escape from the courtyard playground. Entrance for wheelchair users is to be retained as existing via the side gangway footpath adjacent to the Wathen Hall around to the courtyard playground. The new extension will be provided with a DDA compliant platform lift within the footprint with an accessible access door which ha a flush threshold with the playground level. The lift will serve up to the new classroom extension level only. The existing external stairs, adjacent to the retained existing building, from ground level down to playground, are to be retained as a secondary escape/ access route. This stair is of restricted width due to the existing Wathen Hall external wall being retained below ground floor level.

BUILDING CIRCULATION

The new extension is planned to provide vastly improved circulation within the proposed footprint. This circulation will be shared with open plan student resource facilities to promote the feel of volume and space. Access into the extension is provided through a lobby at ground floor level within the Centenary building. A new circulation and escape staircase is incorporated into the extension footprint that connects the classroom level with the external courtyard playground. The staircase will include a disabled refuge point and alarm with a second facility is to be included adjacent to the route back to the existing Centenary building. Improved circulation will not extend beyond the footprint of the extension. Existing external steps from the proposed extension level are also retained as an alternative fire escape and access route to the playground (restricted width as noted above). A new DDA compliant platform lift will be incorporated as noted above.

All newly constructed areas will incorporate doors with clear openings to suit Part M requirements. Corridor doors, where practical, are to include electronic hold open devices that will fail safe on the fire alarm. Doors will comply with the required opening force restrictions, and vision panels are to be provided, where necessary, for compliance and to enhance internal views.

WC FACILITY

The proposed extension will incorporate 1No unisex wheelchair accessible disabled WC compartment, including necessary colour contrasting grab rails (Part M Compliant).

GOOD ACOUSTIC DESIGN

The internal environment of the new areas will be designed to achieve an acoustic environment that is neither too reverberant nor too absorbent so that verbal communication can take place effectively.

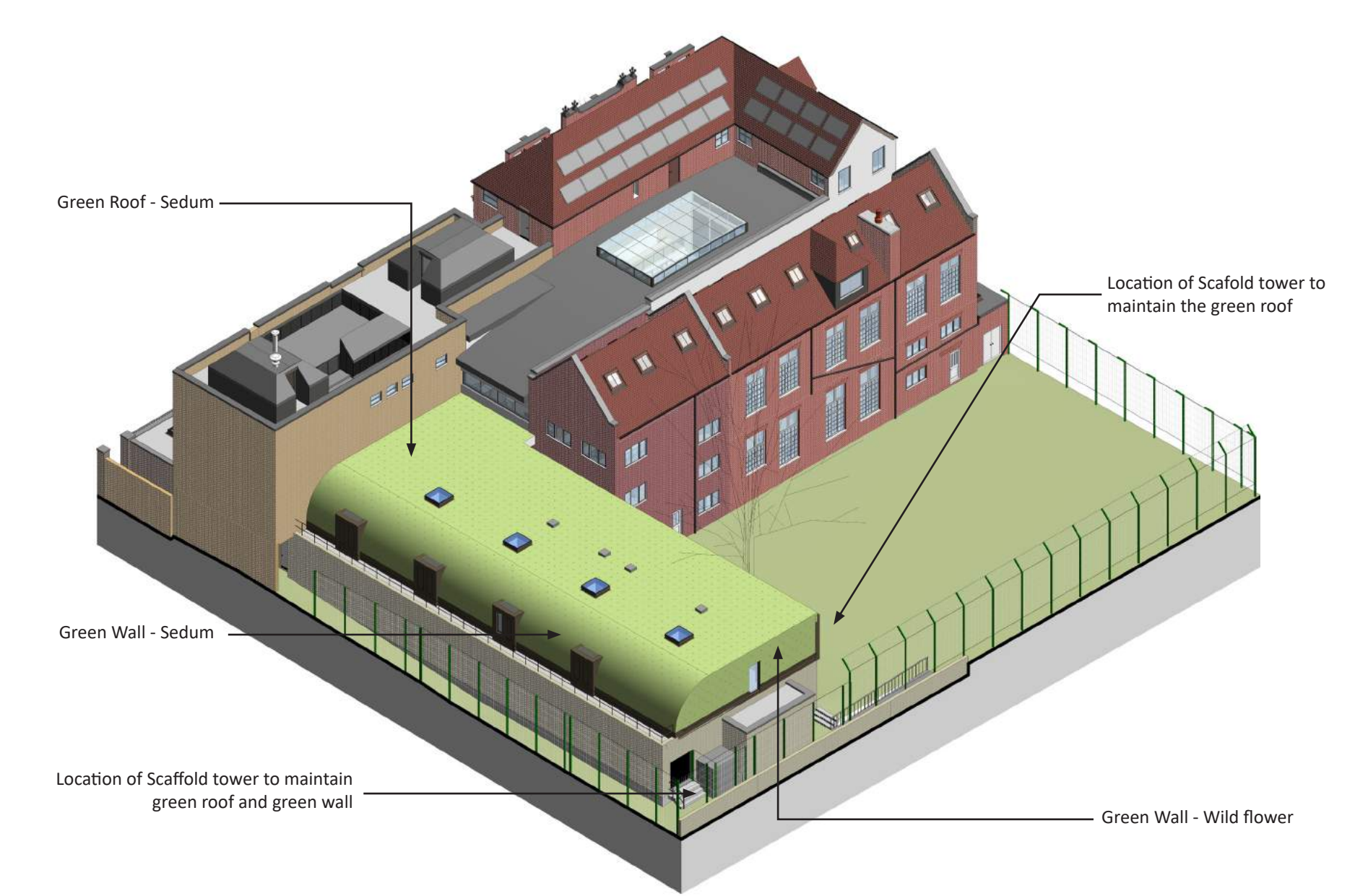
PROVISION FOR PEOPLE WITH VISUAL IMPAIRMENTS

Colour contrast will be achieved within the new build areas by the informed selection of colour and tone, and the correct LRV differentials. Colour contrasting rail kits will be fitted within accessible WC’s.

MEANS OF ESCAPE ON-GOING MANAGEMENT

The school is required to prepare PEEPS (Personal Emergency Evacuation Plans) for all students and staff who have declared that they have a disability that may impact on them being able to evacuate the building in a timely and safe manner. The PEEP should be prepared with the student/staff and should be updated and reviewed on a regular basis.

GREEN ROOF ACCESS AND MAINTENANCE



ACCESS

Access to the base level of the walls can be gained via a mobile scaffold along the east elevation, which gives access to a maintenance walkway along the perimeter of the living walls. The walkway is protected by 1100mm high railings.

Access to the roof level can be also gained via a mobile scaffold along the north elevation from where there will be a connection to a fall restraint system. The system is to be designed to allow the maintenance providers to abseil down the curve of the roof onto the living wall.

Only trained and certified persons are permitted to use the access onto the roof and walkway. A method statement including a risk assessment is to be produced prior to access. Protective plastic should be laid before replanting works.

MAINTENANCE

The vertical green wall will be a mix of wild flowers and will require pruning twice a year (depending on the weather- normally April and October). The sedum roof will require pruning once a year.



CGI IMAGES

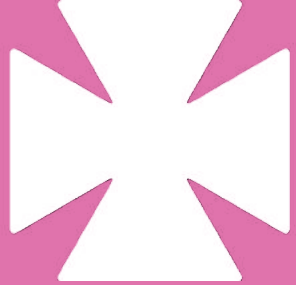


1 - View of Wathen Hall extension from playground



2 - View of Senior School building from Crossfield Road looking north illustrating new rooftop ASHP enclosure

NORR

The  Hall