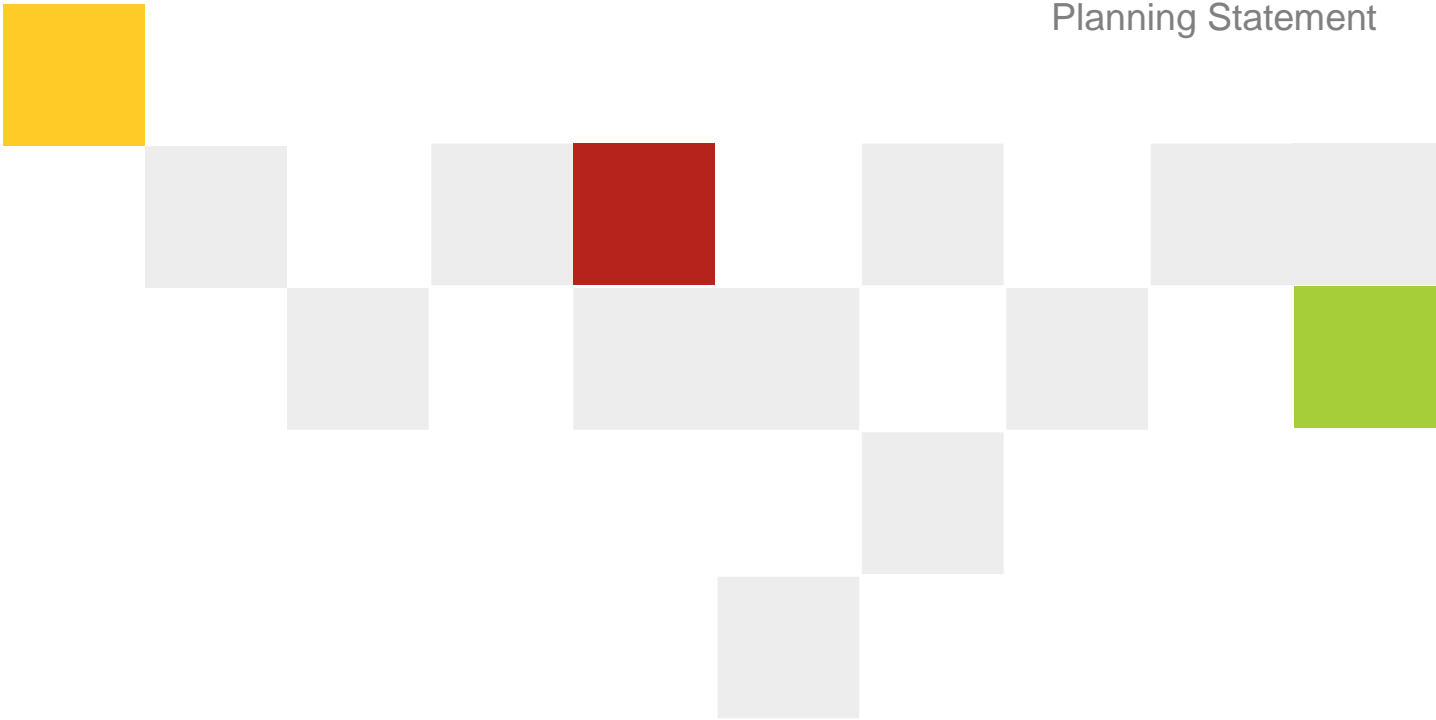


# The Hall School, 23 Crossfield Road, London

Planning Statement



# Boyer

Report Control

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## 1. INTRODUCTION

- 1.1 This Planning Statement is submitted on behalf of the Hall School in support of a planning application at the Hall Senior School ('the Site') at 23 Crossfield Road, London, NW3 4NU.
- 1.2 The application seeks planning permission for:
 

*“Erection of a single storey extension above the existing 'Wathen Hall' building following demolition of existing first floor rear science block to provide additional accommodation for the existing school use (Class F.1) and associated alterations including installation of roof-level plant and photovoltaic panels”.*
- 1.3 This planning application is the fourth made by the School since 2016 and represents a significant scaling-back of their ambitions to transform the building. This scaling-back has been a consequence of the impacts of the Covid-19 pandemic and spiralling build costs.
- 1.4 The first application, approved in July 2018 (ref: 2016/6319/P), was for much more extensive development including demolition of the Wathen Hall building fronting Crossfield Road and erection of a new building including a significant double-height basement. That permission was later amended (ref: 2019/1325/P) in November 2019 to reduce the basement to a single level.
- 1.5 A further application (ref: 2020/5867/P) was then made to renew the previous application given difficulties in implementing it during the Covid-19 pandemic. This permission was recently approved in October 2022.
- 1.6 Whilst all of the above permissions were for major development involving more than 1,000sqm of additional floorspace and all included substantial amounts of demolition and excavation of basement levels, the current application seeks only a single-storey extension above the Wathen Hall which would be retained in situ. The extension sought is identical in position, scale, massing, appearance, and materials to a commensurate extension approved under all of the previous permissions. What's more, the extension on its own is minor development by virtue of only adding 450 sqm of additional floorspace.
- 1.7 Nonetheless and despite the development being minor development only, the School remains committed to significant improvements to the School's environmental performance. Accordingly some alterations and extensions are proposed to facilitate such improvements, which this Statement and the accompanying report by Elementa demonstrate would significantly exceed Building Control and planning policy requirements for carbon emissions.
- 1.8 As with all previous applications the development is intended to provide additional better-quality teaching facilities for the existing number of students. No increase is proposed to the School's roll and a planning condition is anticipated to limit the roll to 162 students, as has been imposed on earlier permissions.

- 1.9 In addition, community engagement has been undertaken which was anchored by a leaflet drop to local residents which provided information on the scheme proposals, providing an opportunity for local residents to comment and provide their views.
- 1.10 We therefore consider that planning permission should be granted without delay to enable the School to deliver the much-needed improvements to the School, given the proposed development is of a considerably lesser overall scale than, and within the limits of the previous planning permissions.
- 1.11 Furthermore, and unlike earlier permissions which involved new basement facilities which could be made available to the public, the current proposals involve no such basement. Regrettably, therefore, no public access would be available following the development.
- 1.12 The external design proposals are covered in detail within the Design and Access Statement (page 21 onwards) and consist of the following:
- Single-storey extension to the Wathen Hall building. This extension will incorporate a curved green roof. The extension will sit behind the Centenary building and therefore will not be visible from the public realm.
  - Proposing 1 x new Air Source Heat Pump (ASHP) on the existing roof with acoustic enclosures for noise attenuation, forming part of the proposed energy strategy. These units are mounted at low level and will be located on the existing internal roof structure between the roof's pitches. In order to incorporate the ASHP, a small extension is proposed to join two of the existing enclosures at roof level, which will match the existing materiality of the roof.
  - Addition of PV panels on the main roof level, which will also form part of the energy strategy.
- 1.13 The previously permitted scheme established the principle of the single-storey extension above the Wathen Hall building. For this reason, this Planning Statement does not re-visit the planning issues relating to this part of the scheme in great detail.
- 1.14 This Planning Statement assesses the proposals against the policies in the Development Plan and other material considerations which are relevant to the determination of the application. The Statement is structured as follows:
- Section 2 – describes the Site and surrounding area;
  - Section 3 – describes the proposals in detail;
  - Section 4 – details relevant planning history;
  - Section 5 – provides an overview of the principle national, regional, and local planning policy and guidance relevant to the assessment of the proposed development;
  - Section 6 – provides an assessment of the proposal against the provisions of the Development Plan and other material considerations;
  - Section 7 – concludes the findings of the assessment of the proposed development.
- 1.15 The application is supported by the following information:

- Scheme drawings, visualisations, and Design and Access Statement by NORR;
- Draft Construction Traffic Management Plan by Life Build Solutions;
- Daylight and Sunlight Assessment by GIA Surveyors;
- Noise Survey Report by RBA Acoustics;
- Energy and Sustainability Report by Elementa Consulting;
- Flood Risk Assessment and Sustainable Drainage Statement by Elliot Wood Partnership;
- Ecological Report by Ecology Network;
- Arboricultural Report by Barrell Tree Care;
- Updated Air Quality Cover Note by Elementa Consulting; and
- Previous Air Quality Report by Ramboll UK Limited.

## 2. THE SITE AND SURROUNDING AREA

- 2.1 The Hall School Senior School is situated on the eastern side of Crossfield Road, near the junction with Adamson Road. The Hall Middle School, with which there is a high degree of interdependence between the sites, is located very close the Senior School at the junction of Crossfield Road and Eton Avenue. The School also has playing fields at Wilf Slack Memorial Ground in the London Borough of Barnet.

### **The Site**

- 2.2 The existing school consists of the original 1889 building and its twentieth century annex (known as the Centenary Building or Wathen Building), both of which front Crossfield Road. The Wathen Hall, located under the rear wing of the Wathen Building, provides basement accommodation which is used for sports, school assemblies and theatrical productions. A play area is located to the rear. The buildings occupy roughly three quarters of the Site, whilst the remaining play area is hardstanding.
- 2.3 None of the School buildings are listed and the Site does not adjoin any listed buildings. The nearest listed building to the Site is located on Eton Avenue to the south of the application Site, but it is not considered to be in the school's immediate context. The Site is, however, located within the Belsize Conservation Area.
- 2.4 The original red brick Hall School building (excluding the twentieth century Centenary Building) on Crossfield Road is identified as making a positive contribution to the conservation area. The building is also visible in views along Adamson Road and is the most notable building in these streets. While the Centenary Building is not specifically identified as detracting from the conservation area, it is a prosaic and plain addition to the streetscene.
- 2.5 There is a large mature London Plane tree which is the subject of a TPO in the rear of the Site. A previous application for extensions and alterations to the school buildings was refused (and dismissed at appeal) in 2006 due to the potential impact on this tree.

### **Surrounding Context**

- 2.6 The School is within a predominantly residential area. There are a number of schools in the vicinity but no other land uses in the immediate context. The Council's Development Management Policies document recognises, under its Transport section, that the concentration of schools in this part of the borough causes traffic congestion, particularly during the 'school run' hours.



- 2.7 Whilst the northern end of Crossfield Road has a general consistency in the building line along the streets, the heights of the buildings, use of London Stock brick and the short front gardens defined by boundary walls, the buildings surrounding the application site are more varied. Directly to the south is a post-war terrace of three storey properties with integral garages. Directly opposite the Site, on the corner of Crossfield Road and Adamson Road is a six-storey block of flats, and further to the south is the more modern Hall School Middle School site which was developed in the late 1990's.
- 2.8 The Site is not subject to any other planning policy designations under the Local Development Plan.

**Access**

- 2.9 Crossfield Road is a local access road and there is no off-street car parking associated with the School.
- 2.10 The Swiss Cottage/Finchley Road Town Centre is a short distance to the west, where Swiss Cottage underground station and other amenities including retail, food and drink, library and leisure centre uses are located. The Site has a PTAL of 4.
- 2.11 The Site is located within the Belsize Controlled Parking Zone (CPZ).

### 3. THE PROPOSAL

- 3.1 The updated scheme has been scaled back from the previous application to include a single-storey extension above the Wathen Hall building to the rear (exactly as previously approved), the addition of Photovoltaic (PV) panels to the roofspaces of the main building, as well as a small extension to the existing rooftop enclosures above the Centenary Building to the front of the Site to house plant related to air-source heat pump.
- 3.2 The external design amendments are covered in detail within the Design and Access Statement (page 21 onwards) and consist of the following:
- Single-storey extension to the Wathen Hall building. This extension incorporates a curved green roof and will thus match the massing, appearance, materiality, and form of the most recently approved extension. The extension will sit behind the Centenary building and therefore will not be visible from the public domain.
  - Proposing 1 x new Air Source Heat Pump (ASHP) on the existing roof with acoustic enclosures for noise attenuation, forming part of the proposed energy strategy. These units are mounted at low level and will be located on the existing internal roof structure between the roof's pitches. In order to incorporate the ASHP, a small extension is proposed to join two of the existing enclosures at roof level, which will match the existing materiality of the roof.
  - Addition of PV panels on the main roof level, which will also form part of the energy strategy.
- 3.3 The addition of PV panels to the roofscape of the main building, alongside the extension to the rooftop enclosure above the Centenary building will ensure that the current proposals will provide significant sustainability benefits which will adhere to and exceed policy requirements set out within the Local Plan.
- 3.4 Updated versions of the relevant consultant reports submitted to the previous application have been prepared for this submission.
- 3.5 As was the case with the previous planning permissions, there is no intention to increase the roll of the Senior School which will remain at 162 pupils.
- 3.6 The elevations set out below highlight the proposed amendments, in the context of the existing elevation and the elevation most recently approved in September 2022. The elevations below also demonstrate that the roof profile sought within this application will be identical to that previously approved. These drawings also demonstrate that, in the context of the previously approved scheme, the overall impact on the roof will be imperceptible.

*West Elevation (Front)*



Figure: 1 Existing West Elevation (Front)



Figure: 2 Recently Approved West Elevation (Front)



Figure: 3 Proposed West Elevation (Front)

South Elevation (Side)

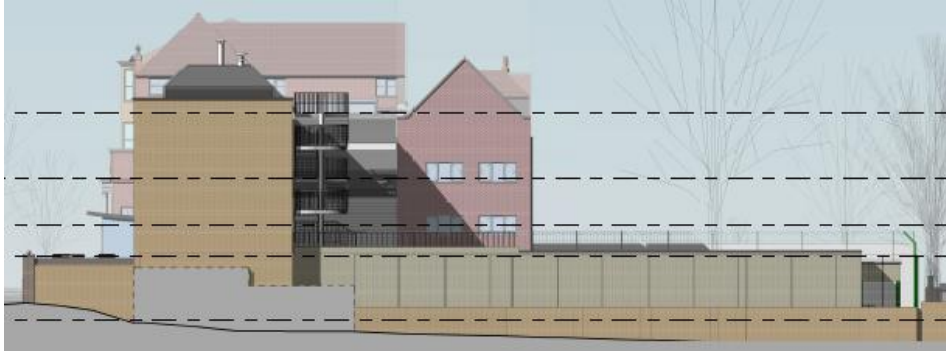


Figure: 4 Existing South Elevation (Side)

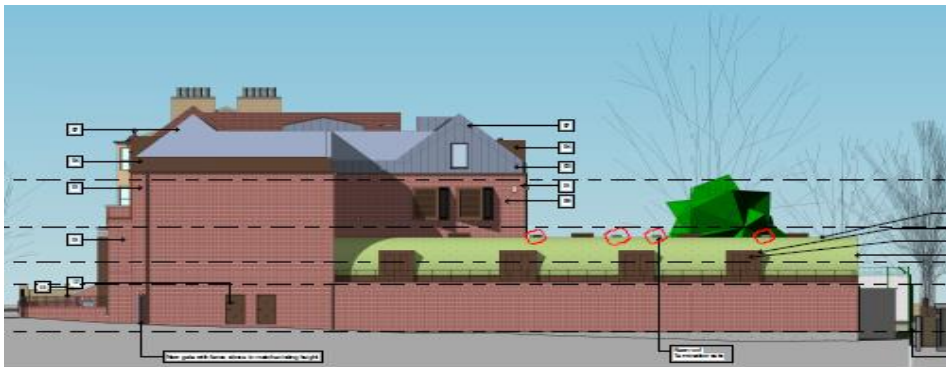


Figure: 5 Recently Approved South Elevation (Side)



Figure: 6 Proposed South Elevation (Side)

East Elevation (Rear)



Figure: 7 Existing East Elevation (Rear)

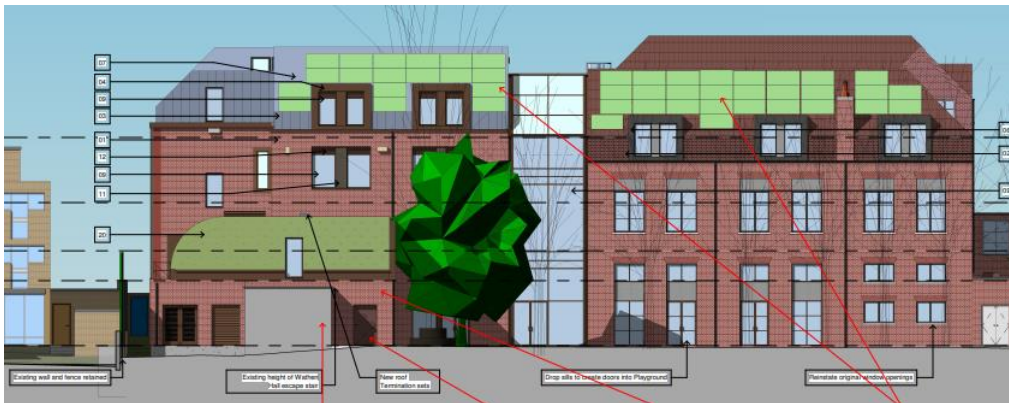


Figure: 8 Recently Approved East Elevation (Rear)



Figure: 9 Proposed East Elevation (Rear)

*North Elevation (Side)*



Figure: 10 Existing North Elevation (Side)



Figure: 11 Recently Approved North Elevation (Side)



Figure: 12 Proposed North Elevation (Side)

## 4. PLANNING HISTORY

### History of the Site

- 4.1 The planning applications listed below are considered to be relevant to the assessment of the planning application.

| Reference   | Description of Development   | Decision                                    |
|-------------|--|---|
| 2020/5867/P | Demolition of the 'Centenary' and 'Wathen Hall' buildings and erection of new four storey building with glazed link to original school building, two storey rear extension, enlarged basement, and enlargement of rear roof storey and insertion of three rear dormer windows to old school building, all in association with providing additional accommodation for the existing school use (Class F.1) (Resubmission of planning application ref no 2019/1325/P dated 19/11/2019).                                     | Planning Permission granted in October 2022 |
| 2019/1325/P | Variation of Condition 2 (approved plans) and removal of condition 4 (staircase details) of planning permission dated 05/07/2018 ref no2016/6319/P for demolition of the Centenary and Wathen Hall buildings erection of new four storey building, two storey rear extension, enlarged basement; changes to include reduction of basement area and depth by one floor, reduction in scale of the extension to replace Wathen Hall, removal of external staircase and terrace, new louvers to windows on front elevation. | Planning permission granted (2019)          |
| 2016/6319/P | Demolition of the 'Centenary' and 'Wathen Hall' buildings and erection of new four storey building with glazed link to original school building, two storey rear extension with external terrace and enlarged basement replacing the existing Wathen Hall, and enlargement of rear roof storey and insertion of three dormer windows to old school building, all in association with providing additional accommodation for the existing school use (Class D1).  | Planning permission granted (2018)          |

|             |  |                                    |
|-------------|--|------------------------------------|
| 2005/3902/P | Excavation in the school playground to create a basement swimming pool at the rear, the erection of two single storey extensions plus installation of roof plant to the existing single storey PE hall, erection of new glass canopy and lighting along southern boundary plus replacement of 2 existing trees by five new trees on site, to create additional facilities for The Hall School. | Refused and appeal dismissed.      |
| 2004/5199/P | Construction of a basement swimming pool to rear of site and minor extensions, alterations and installation of roof plant with screening to the existing PE hall.  | Withdrawn                          |
| 8700144     | Alterations to the proposed annex and memorial hall as an amendment to planning permission granted by letter dated 3rd July (Reg. No. 8600711R1) for alterations and extension to the existing school as shown on drawing nos. 503/01C; 02E; 03G; 04D; 05D; 06F; 08C and 503/68 and 69 revised on 24th March 1987  | Planning permission granted (1987) |
| 8600711     | Alterations and extensions to the existing school as shown on drawings 503/01B; 02C; 03C; 04B; 05C; 06D; 07A; 08B revised on 10th June 1986  | Planning permission granted (1986) |



## 5. PLANNING POLICY CONTEXT

### The Development Plan

- 5.1 This section outlines the relevant planning policy context which will be considered in the determination of the application proposals. Section 6 assesses the application proposal against the Development Plan documents which currently comprise the London Plan 2021 and the Camden Local Plan 2017 (i.e. the same Local Plan as was in force at the time of the two most recent permissions):
- Camden Local Plan (2017)
  - The Council's relevant Supplementary Planning Documents have also been considered, in particular the Belsize Conservation Area Statement and CPG: Air quality.
- 5.2 Other adopted policy documents that are considered a material planning consideration in the determination of this planning application include the National Planning Policy Framework (NPPF), which sets out the Government's planning policies and how these are expected to be applied.

### National Planning Policy

#### *National Planning Policy Framework (2021)*

- 5.3 The National Planning Policy Framework (NPPF) (2021) sets out the Government's economic, environmental, and social planning policies for England; it states that the purpose of the planning system is to contribute to the achievement of sustainable development. In terms of development management, the NPPF advises that the primary objective of development management is to foster the delivery of sustainable development, not to hinder or prevent development.
- 5.4 The overarching national planning policy theme evident from the NPPF is a presumption in favour of sustainable development, which the Government have advised should be at the heart of the planning system running through both plan making and decision taking.
- 5.5 Section 8 of the NPPF relates specifically to promoting healthy communities. It recognises the importance of planning in facilitating social interaction and creating healthy, inclusive communities.
- 5.6 The NPPF states that the Government attaches great importance to ensuring that a sufficient choice of school places is available to meet the needs of existing and new communities. Local planning authorities should take a proactive, positive, and collaborative approach to meeting this requirement, and to development that will widen choice in education. Local authorities should give great weight to the need to create, expand or alter schools; and work with school promoters to identify and resolve key planning issues before applications are submitted.

## **Regional Planning Policy**

### *The London Plan 2021*

- 5.7 The London Plan provides the strategic policy context for all of London and seeks to provide an integrated framework for its development over the next 20-25 years.
- 5.8 The supporting text of Policy S3 details that the provision of high-quality education will not only help to provide greater educational choice but will also improve skills, which is essential to London's continued economic success.
- 5.9 The relevant policies contained within the London Plan are considered to include:
- S3 Education and childcare facilities;
  - SI 1 Improving air quality;
  - SI 2 Minimising greenhouse gas emissions; and
  - SI 4 Managing heat risk.

## **Local Planning Policy**

### *Camden Local Plan 2017*

- 5.10 Local development plan policies for the Site are contained within Camden Local Plan. The Development Management policies within the Local Plan help to deliver the Council's overarching approach to protecting and providing community facilities.
- 5.11 The relevant policies contained within the Camden Local Plan are considered to include:
- D1 Design;
  - D2 Heritage;
  - A1 Managing the impact of development;
  - A4 Noise and vibration;
  - CC1 Climate change mitigation;
  - CC2 Adapting to climate change;
  - CC3 Water and flooding;
  - CC4 Air Quality; and
  - T2 Parking and car-free development.

## **Supplementary Planning Guidance**

- 5.12 Camden has adopted a number of Supplementary Planning Documents that are relevant to the proposed development. These relate to Design (CPG1), Sustainability (CPG3), Amenity (CPG6), Transport (CPG7) and CPG: Air quality.
- 5.13 These SPDs have been considered and are discussed in the Assessment section below where applicable.

## 6. ASSESSMENT OF THE PROPOSALS

- 6.1 This section assesses the proposed amendments and their potential impacts against the aims and objectives of the Development Plan. This section also demonstrates that the proposed development complies with the Development Plan and national planning policy and therefore is in accordance with s38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 11c of the National Planning Policy Framework that planning permission should be granted without delay.

### Principle of Development

- 6.2 The principle of the erection of a single-storey extension above Wathen Hall has already been established by planning permission ref: 2020/5867/P. This planning permission authorises the erection of an almost identical extension, alongside a number of other more significant proposals which are no longer part of the proposals. This extension would be virtually identical to that contained within the previous permissions, as demonstrated within the elevations provided at Section 3 above.
- 6.3 The amended scheme will continue to provide improved circulation, accessibility and flexibility in space, and is driven by a desire to make better use of the School's current space, rather than to increase the School's roll. There are currently 162 pupils enrolled at the Senior School and this will not change under the proposals.
- 6.4 The NPPF, the London Plan, and Camden's Local Plan acknowledge the importance of existing educational establishments enhancing their facilities. There is therefore a clear imperative to redevelop the existing site for an improved facility that meets the needs of the School's pupils and the wider community.

### Design and Heritage

#### *Single-storey Extension*

- 6.5 In assessing the design and heritage impacts of the amendments proposed within the previously approved scheme, including the single-storey extension above the Wathen Hall, the Council's Planning Committee report at 9.29 stated:
- "Given the small scale and appropriate design of these elements, it is considered that these would preserve the appearance of the building and window openings, and respond positively to the form, appearance, materials and scale of the Old School building and so preserve this part of the conservation area".*
- 6.6 When viewed from ground floor level there are few perceptible differences between the extension proposed as part of the previous scheme and this amended scheme.

6.7 The height and massing of the first-floor extension above the Wathen Hall, with its curved green roof, are unaltered from the previous planning application. The extension would add 450sqm of floorspace to the existing school and is therefore considered to represent a minor addition to the Site. Therefore, the proposal continues to respond positively to the form, appearance, materials, and scale of the existing building and will preserve the Conservation Area.

*Rooftop Plant*

6.8 In order to house the ASHP, it is proposed to build a small extension to join two existing enclosures on the roof of the Centenary building. This will have an imperceptible impact on the existing massing at roof level and will have limited visibility in the streetscene, therefore no overall harm will be caused to the Conservation Area. In any event, any perceived impacts on the Conservation Area would be outweighed by the significant reduction in CO2 levels which will be possible due to the installation of the ASHP.

6.9 The previously approved application proposed the addition of three Mechanical Ventilation Heat Recovery (MVHR) units, three Condensers, and associated extract duct plant equipment on the roof of the replacement Centenary building. In reference to these proposals, the Design and Heritage Officer sets out within paragraph 14.10 of the Officer's Report:

*"The plant would be located in the middle of the roof, with minimal visual impact. Given the height of the building and front street width this would not be readily visible from the streetscene. It is not considered that the plant would result in harmful visual impact to the conservation area".*

6.10 The elevations below display the approved extensions to the rooftop of the Centenary building within the 2019 permission, the recently approved amendments to the roof, and the elevation proposed as part of this application.



Figure: 13 Approved West Elevation (Front) 2019 Permission



Figure: 14 Approved West Elevation (Front) 2022 Permission



Figure: 15 Proposed West Elevation (Front)

- 6.11 As can be viewed from the elevations above and in the context of these previously approved rooftop extensions, the proposed extension to the rooftop enclosure sought within this application will result in an imperceptible impact on the existing massing.
- 6.12 Although a small extension is now proposed to join the existing enclosures at roof level, the height of the building and the front street width will remain the same, ensuring that the equipment will have a minimal visual impact on the streetscene when compared to the existing and would not harm the Conservation Area.
- 6.13 In addition, the materiality of the proposed rooftop extension will incorporate a metal standing seam roof and metal louvres to match the existing enclosures. This will ensure that the extension will respect the existing building as well as the surrounding context.

*Photovoltaic Panels*

- 6.14 The addition of photovoltaic (PV) panels on areas along the existing pitched roofs is also proposed within this application. The panels will not be visible from the public domain, and therefore will not harm the Conservation Area.

- 6.15 The inclusion of the PV panels will form part of the overall energy strategy for the Site and follows a similar approach that was taken as part of the 2019 permission, which the Council considered acceptable. At paragraph 6.3 of the member's briefing report, the Officer commented that the enhanced sustainability credentials brought by the proposed PV panels would be welcomed.
- 6.16 We consider the proposed scheme thereby complies with Local Plan policies D1 (Design) and D2 (Heritage) which seek to ensure that Camden's places and buildings are attractive, safe and easy to use, and that proposed developments respect the character of the area and the setting of identified heritage assets.

### **Amenity Impacts**

- 6.17 In determining the previous application, Officers confirmed that the proposed single-storey extension would not cause demonstrable harm to the neighbouring residential occupiers, or the neighbouring Hereward House School, as a result of overlooking, loss of outlook, or impact on daylight and sunlight.
- 6.18 The number of proposed amendments has been reduced from the previous permission, thereby further minimising the impact on neighbouring properties. Nevertheless, the amenity considerations as set out in Local Plan policy A1 (Managing the impact of development) are addressed in turn below:

#### *Visual Privacy and Overlooking*

- 6.19 The windows on the southern boundary elevation would be slightly more spaced out than was proposed in previous applications, in order to suit the revised internal plan layout of the extension. However, there will be no overlooking effects on the adjacent property at no. 24 Crossfield Road.

#### *Daylight and Sunlight*

- 6.20 The previous planning permissions all established that the bulk and massing of the extension was acceptable in daylight and sunlight terms. As the massing is unaltered, it is concluded that the scheme is acceptable in terms of any daylight impacts to the Hereward House School art block and no.24 Crossfield Road.
- 6.21 However, in order to ensure that the scheme accords with updated BRE guidance, a Daylight and Sunlight report has been prepared by GIA Surveyors. The report sets out a very high overall compliance rate and that a very good standard of daylight and sunlight amenity will be retained by the relevant neighbouring properties, which will be equivalent to the previously approved scheme. As a result, the report concludes that no unacceptable harm will be caused by the proposed development.

### *Outlook*

- 6.22 The principle of the bulk and mass of the proposed redevelopment has been established by the previous permissions. Within the previous Planning Committee report Officers, at paragraph 15.5, confirmed:

*“Whilst the proposal will be visible from surrounding properties, it is not considered to result in overbearing or sense of enclosure to any neighbouring occupiers.”*

- 6.23 This scheme will not result in any increase in the external bulk and massing of the previously proposed roof extension, and for this reason, there will be no additional effect on the levels of outlook from neighbouring properties.

### *Construction-related impacts*

- 6.24 It is recognised that any development of the Site will result in temporary impacts on the amenity of neighbours during demolition and construction. Temporary impacts include noise, odour, dust, fumes, and traffic generation. It is impossible to avoid some of these impacts but it is possible to put measures in place to ensure any such impacts are mitigated.
- 6.25 A detailed draft Construction Management Plan has been prepared by Life Build Solutions to accompany this application. The document outlines how the applicant will help minimise the construction impacts relating to both on site activity and the transport arrangements for vehicles servicing the Site.

### **Transport**

- 6.26 The previous application constituted major development and therefore a Transport Statement and Travel Plan were submitted to accompany the application.
- 6.27 However, this application proposes a minor development which will not result in any change to staffing levels or the number of pupils, nor will there be any impact on the public highway. As such, there are no transport impacts associated with this development, other than those relevant to construction management, which has been covered in the section above.

### **Ecology and Biodiversity**

- 6.28 Policy A3 sets out that the Council will protect and enhance biodiversity by assessing developments against their ability to realise benefits for biodiversity, proportionate to the scale of development proposed.
- 6.29 London Plan Policy G6 establishes that development proposals should manage impacts on biodiversity and aim to secure net biodiversity gain.

- 6.30 An updated Ecological Report has been prepared by Ecology Network. This report concludes that no negative effects will occur to biodiversity receptors from either the construction or operational stages of the proposed development, as well as the measures to ensure that the development will deliver biodiversity net gain on the Site. Therefore, the proposals will fully comply with the requirements of Policy A3 and London Plan Policy G6.

### **Arboriculture**

- 6.31 There is a large mature London plane tree subject of a TPO in the rear of the Site adjacent to the Wathen Hall. An application for extensions and alterations to one of the school buildings was refused (and dismissed at appeal) in 2006 because of impacts on this tree. This tree has been pollarded earlier in its life but since then has formed a full crown. The tree is carefully maintained and the crown periodically reduced. For further detail, the Arboricultural Report prepared to support the previous application has also been submitted to accompany this application.
- 6.32 The mature London plane tree will not be affected by the proposed works, given that no excavation near its root zone is proposed, unlike the previous application. The Applicant has submitted an application (Ref: 2022/3458/T) to cut this tree back, which will further reduce any impacts caused by the works.
- 6.33 Nonetheless, the Council may consider it prudent to require details of tree protection measures be submitted in the form of a planning condition placed on any subsequent permission.
- 6.34 Overall, the proposed development is not considered to cause unacceptable harm to the trees and is consistent with Local Plan policy A3 (Biodiversity).

### **Sustainability**

- 6.35 Local Plan Policy CC1 sets out that all development will be expected to minimise the effects of climate change and meeting the highest feasible environmental standards will be encouraged.
- 6.36 In addition, Policy CC2 establishes that the Council will require development to be resilient to climate change by adopting measures including bio-diverse roofs and measures to reduce the impact of urban and dwelling overheating.
- 6.37 A Sustainability and Energy Statement has been prepared by Elementa which details the ways in which the proposal will fully accord with these policy requirements. Indeed, it is considered that the scheme will significantly over-comply with policy requirements on sustainability, resulting in a proposed scheme which will offer 99% carbon emission savings.
- 6.38 This will be achieved through the incorporation of energy saving measures such as the use of fabric performance improvements beyond building regulations, the installation of Air Source Heat pump to meet the heating demand of the development, instantaneous electric hot water generation, and PV panel array on roof spaces to generate on-site electricity.



- 6.39 Therefore, the scheme will fully accord with policies CC1 and CC2 and should be supported by the Council.

#### **Noise**

- 6.40 Policy A4 sets out that the Council will seek to ensure that noise and vibration is controlled and managed. As a result, development should not generate unacceptable noise and vibration impacts.
- 6.41 RBA Acoustics have provided an acoustic report that establishes noise level limits for building services plant associated with the development in accordance with British Standard BS 4142:2014. A background noise survey was carried out to inform the assessment.
- 6.42 The report demonstrates that plant noise will be controlled by the selection of appropriate plant and attenuation, and that the proposed development would comply with Local Plan policy A4.

#### **Air Quality**

- 6.43 Policy CC4 requires that the impact of development on air quality is mitigated and developments ensure that exposure to poor air quality is reduced. Consideration must also be taken to the actions identified in the Council's Air Quality Action Plan.
- 6.44 An Air Quality assessment accompanied the previous application, which is submitted alongside this application for reference. An updated Air Quality Cover Note has also been prepared by Elementa which should be read in addendum to the previous report. The cover note assesses the scheme in line with updated guidance and sets out that the occupants are not predicted to be exposed to poor air quality and therefore no mitigation measures are required.

#### **Flood Risk and Drainage**

- 6.45 Local Plan Policy CC3 sets out that the Council will seek to ensure that development does not increase flood risk and reduces the risk of flooding where possible. Where an assessment of flood risk is required, the Council will also expect developments to consider surface water flooding in detail and groundwater flooding where applicable
- 6.46 The School is identified within the London Borough of Camden's Strategic Flood Risk Assessment as being within a Critical Drainage Area. Accordingly, a full Flood Risk Assessment (FRA) and Sustainable Drainage Statement by Elliot Wood accompanies this planning application.
- 6.47 The FRA states that the Site has been assessed for all forms of flood risk and is considered to be at low risk. In addition, the proposed drainage network should ensure that the building remains safe from flooding in the event of a localised drainage failure. Site levels across the Site should also ensure that surface water is directed away from building entrances.

- 6.48 The report also sets out the proposed drainage strategy for the Site, which will include discharging foul and surface water to the combined sewer beneath Crossfield Road. The inclusion of a green roof will restrict surface water run-off. Surface water run-off rates have been calculated for the green roof area at a rate of 3.9 in a return period of 1 in 100 years, which will act as a significant improvement on the existing rate of 14.00 for the same return period.
- 6.49 These proposals have been previously discussed with Thames Water and the Lead Local Flood Authority, who both previously approved this strategy.



## 7. CONCLUSION

7.1 The principle of the redevelopment of the Hall School site is established by the most recent permission in 2022.

7.2 In assessing the extant consented scheme, the Council's Officers concluded that:

*“The scheme is a well-considered coherent response which carefully adapts; updates and optimises the constrained site in a manner consistent with its heritage value. The scheme is considered to preserve the character and appearance of the area. No harm is considered to be caused by the development.”*

7.3 The updated scheme has been scaled back from the previous application to include a single-storey extension above the Wathen Hall building to the rear (exactly as previously approved), the addition of Photovoltaic (PV) panels to the roofspaces of the main building, as well as a small extension to the existing rooftop enclosures above the Centenary Building to the front of the Site to house plant related to air-source heat pump.

7.4 As was the case under the previous planning application, there is no intention to increase the roll of pupils at the School, which will remain at 162.

7.5 The proposed development will offer increased teaching space of a high-quality design, whilst also providing a significant package of sustainability benefits which will mitigate against climate change.

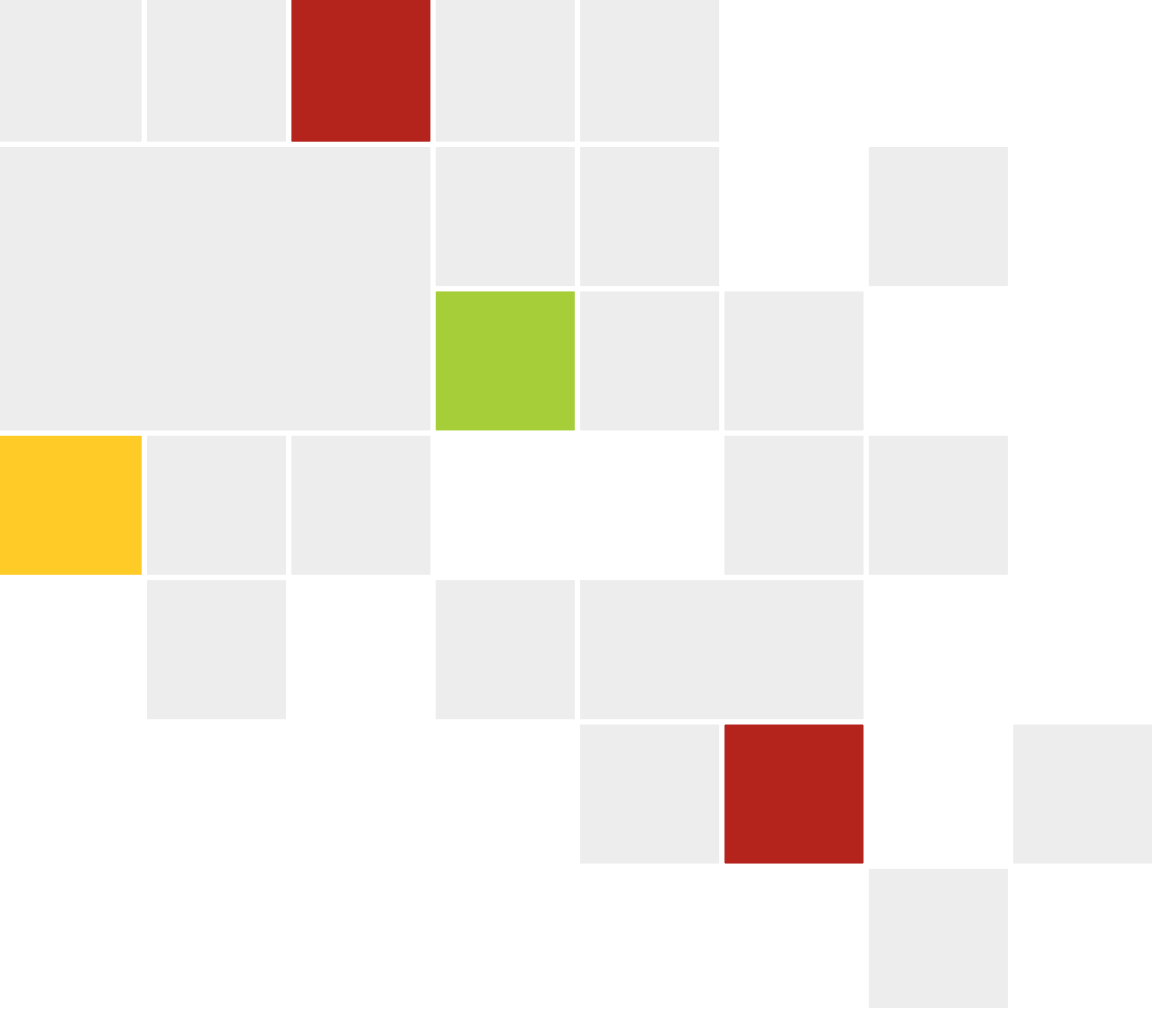
7.6 The proposed scheme will not cause any harm to the Belsize Conservation Area. The single-storey extension and PV panels will not be visible from the public realm. In addition, the proposed extension to the existing rooftop enclosures will have an imperceptible visual impact by virtue of size and materiality, especially when compared to the approved extensions at rooftop level contained within the previous permissions.

7.7 The proposed amendments will have no additional impact on residential amenity.

7.8 Section 38(6) of the 2004 Act states that planning decisions must be made in accordance with the Development Plan unless material considerations indicate otherwise. This Statement has demonstrated that, the proposed amended scheme would be entirely consistent with national and local planning policy.

7.9 For these reasons, the planning application should be considered and approved without delay, in accordance with the NPPF.





# Boyer

24 Southwark Bridge Road, London, SE1 9HF | 0203 268 2018  
london@boyerplanning.co.uk | boyerplanning.co.uk