

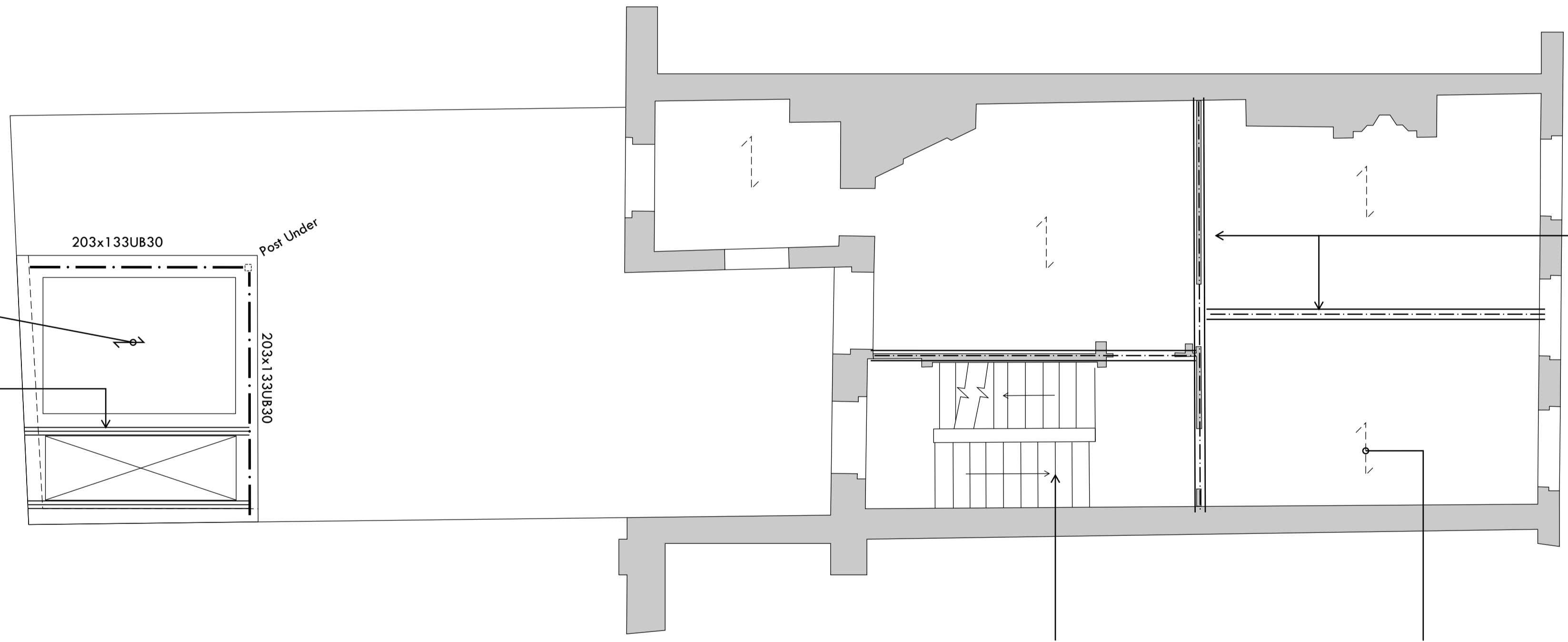
Proposed First Floor Plan

Doubled up timber joists to trim around new stair void. Bolt together with M12s at 400mm centres.

Assumed existing timber bressumer beam (TBC by opening up works). Allow for strengthening with new steel plate. Refer to detail ST.01 on drawing S.300

Existing stair to be retained and relevelled to Architect's details.

Allow for releveling floor joists throughout at each level. Either by doubling up existing joists (bolt to side with M12s at 400mm centres) or installing wedges to top of the joists as required. Full level survey required to confirm the existing floor levels and Architect to confirm proposed finish level. Some joists may need to be locally planed to avoid high spots.



Proposed Second Floor Plan

New 175x50 C24 timber floor joists at 400mm centres with 18mm WB plywood glued and screwed to top

Doubled up timber joists to trim around new rooflight. Bolt together with M12s at 400mm centres.

Assumed existing timber bressumer beam (TBC by opening up works). Allow for strengthening with new steel plate. Refer to detail ST.01 on drawing S.300

Existing stair to be retained and relevelled to Architect's details.

Allow for releveling floor joists throughout at each level. Either by doubling up existing joists (bolt to side with M12s at 400mm centres) or installing wedges to top of the joists as required. Full level survey required to confirm the existing floor levels and Architect to confirm proposed finish level. Some joists may need to be locally planed to avoid high spots.

- General notes:**
1. Do not scale from this drawing
 2. To be read in conjunction with all other structural drawings and the structural specification
 3. To be read in conjunction with all other relevant disciplines drawings and specifications
 4. All levels, setting out, waterproofing and fireproofing to be confirmed with the Architect
 5. The Contractor is responsible for the temporary stability of the existing and proposed structure throughout the works. The sequencing and method of installation should be carefully considered and the temporary works should be designed and detailed by a suitably qualified person (appointed by the Contractor) prior to commencing the works
 6. Contractor to request splices if required for handling purposes



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Project			
29 Great James Street, WC1N 3EY			
Drawing Title:			
Proposed First and Second Floor Plan			
Job. No.	Drawing no.	Revision	
221037	S110	Preliminary	
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