

**Proposed Works Notes:**

**Generally**

- Existing brickwork to be locally re-pointed and repaired where required.
- Window boxes, architraves and shutters to be refurbished and redecorated. Sashes to be replaced with new, with window bars to replicate original detailing. Refer to the window drawing and schedule provided with this application.
- New mechanical, electrical and plumbing services installed throughout.
- Joists to be inspected by structural engineer, and where required strengthened by doubling up of joists. Sound joists to be levelled with plywood wedges fixed to tops of joists.
- All skirtings to be carefully removed, refurbished and re-installed after floors are levelled. Where new skirtings are required, they are to be made to match existing profiles.
- Existing panelling and mouldings to be stripped of paint with poultice paint removal system, then locally repaired and decorated.
- Any new panelled partitions or mouldings are to match those adjacent and be carefully pieced in.
- Lath and plaster ceilings to be coated with specialist intumescent coating prior to redecoration.
- Water Mist system installed throughout for fire safety
- All walls and ceilings to be redecorated. Plaster surfaces to be locally re-skimmed or repaired where required.
- Local repairs undertaken to roof and flashings.

All internal doors replaced. Refer to submitted schedule. Works to fireplaces vary. Refer to submitted schedule.

**Proposed Flooring Types**

- FT-01:** Timber plank flooring over water fed underfloor heating. Laid over existing structure.
- FT-02:** Stone finishes over electric underfloor heating. Laid over existing slab.
- FT-03:** Timber plank flooring over water fed underfloor heating. Laid over new slab.
- FT-04:** Tile finishes, over water fed underfloor heating. Laid over cavity drainage membrane and new slab.
- FT-05:** Mosaic tile, over plywood and levelled floor joists. Insulation fitted between joists.
- FT-06:** Reclaimed pine floorboards, over levelled floor joists. Insulation fitted between joists.
- FT-07:** Timber block flooring over water fed underfloor heating. Laid over existing slab.
- FT-08:** External stone slab pavers over existing slab.
- FT-09:** External slab pavers on pedestals over new slab.
- FT-10:** Stone finishes, over plywood and levelled floor joists. Insulation fitted between joists.

**Proposed Notes**

- New partition wall.
- Existing stair and balustrade strengthened, refurbished and redecorated
- Proposed built in joinery.
- New slim framed aluminium doors
- Cavity drainage membrane and plasterboard linings in vaults
- New black metal stair and handrail. New gate formed in existing railing and old gate welded shut.
- Existing metal railing refurbished and painted
- New column radiator, freestanding. Non-original radiator boxes removed.
- Existing fireplace surround and hearth refurbished. Flue lined and made operable for new fire basket.
- Masonry infill in matching brick, bond and pointing. New brick toothed into existing.
- Clear glass balustrade.
- In-situ cast concrete wall
- New fairfaced brick wall
- New metal stair
- Panelled wall extended to create double door opening
- Trellis clad with hit and miss timber
- New panelling to match existing details, spaced away from the wall with battens to house SVP.
- New service riser
- Item omitted
- New rooflight
- SVP connected to in-line slate vent, colour to match roof tiles
- Front door refurbished and ironmongery replaced. Fanlight replaced with decorative glazing bar design.
- Bowing ceilings over rooms 302, 305, 308 and 309 removed. Roof joists levelled and new lath and plaster ceilings installed.
- Shower and WC enclosure tiled and bonded to plywood and spaced away from the wall panelling with battens. Any new joinery to be scribed around existing retained panelling or coricing where necessary
- Retractable handrail
- New cornice

**Drawing Key:**

Existing structure or earth

Demolished structure

New structure

Dining  
G01

WG  
03

DG  
14

Room name and code

N

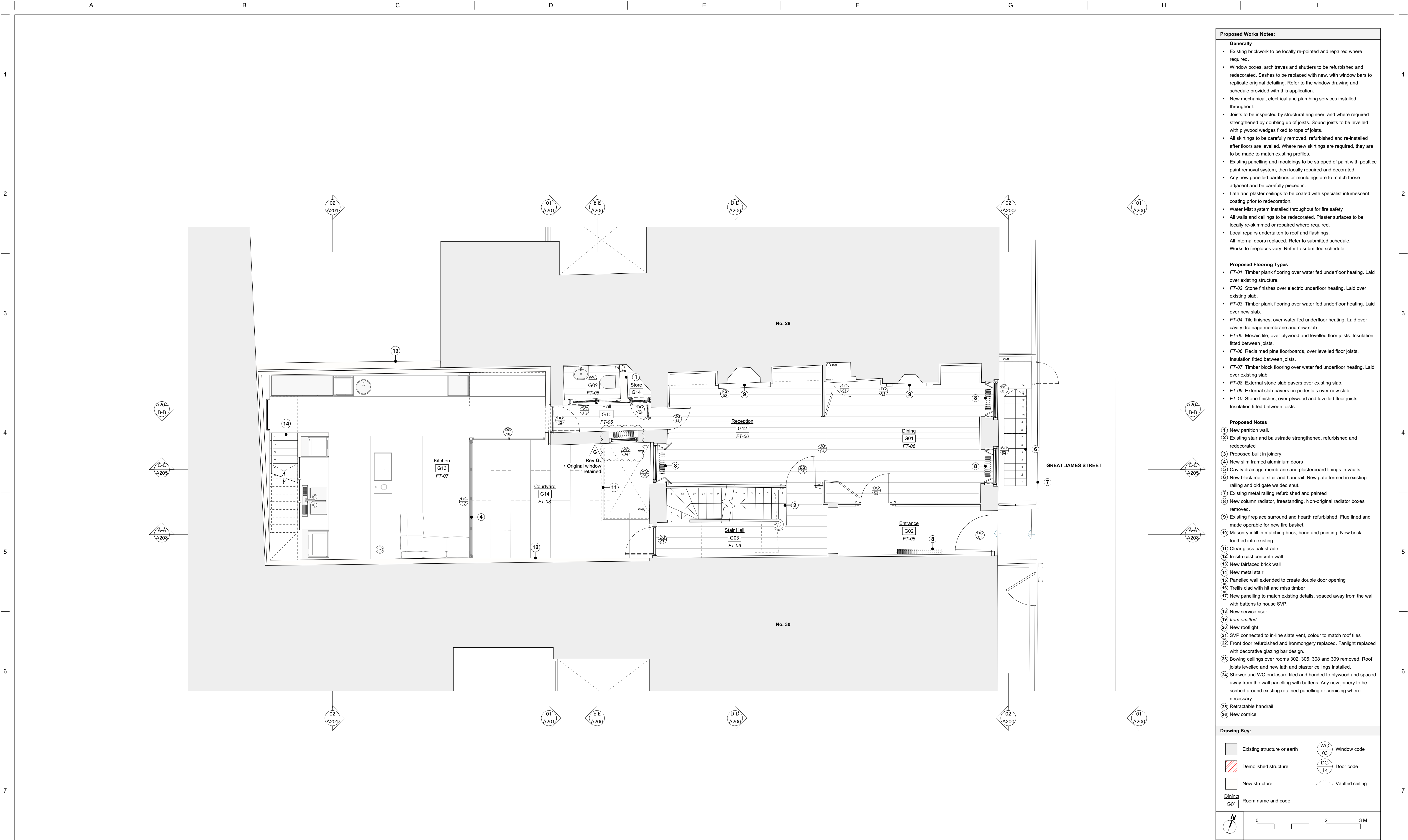
0 2 3 M


Window code

Door code

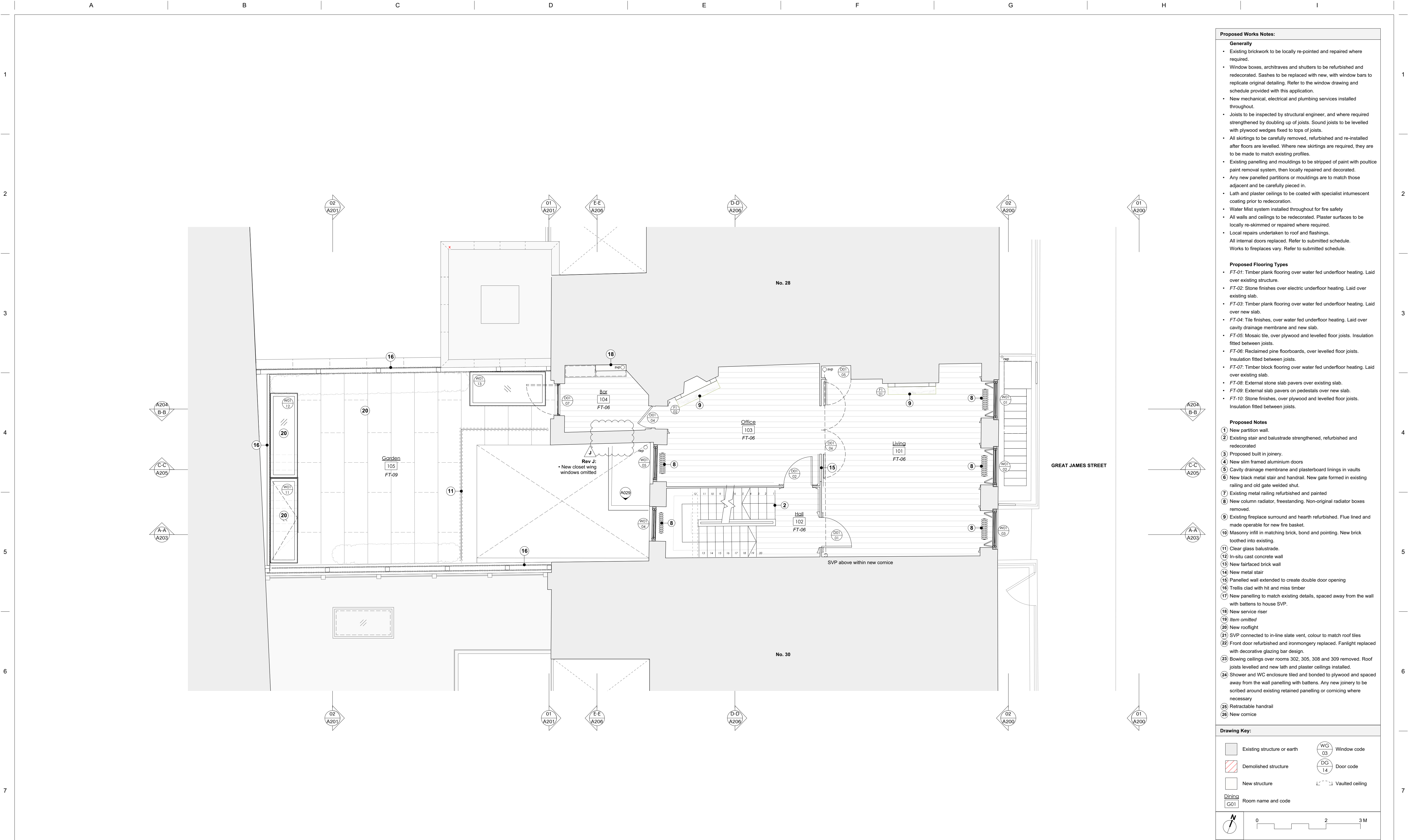
Vaulted ceiling

29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	<div>Drawing Location Key:</div>	Drawing TITLE Proposed General Arrangement Lower Ground Floor	<div>Quinn Architects</div> <div>Rochele School Arnold Circus London E2 7ES</div> <div>+44 (0)20 7613 3843 www.quinnuk.com</div>				
	A	01.10.21	Design Team Brief							
	B	18.10.21	Design Team Update							
	C	26.10.21	Design Team Update							
	D	03.11.21	Planning							
	E	22.06.22	Planning Update							
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING				<div>DRAWING STATUS PLANNING</div>	<div>DRAWN BY IM</div> <div>CHECKED BY CE</div>	PROJECT PHASE PLANNING		SCALE 1:50 @ A1 / 1:100 @ A3		
						PROJECT NO. QA202	DRAWING NO. A100	REV. E		



8	29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	<div>Drawing Location Key:</div> 	DRAWING TITLE		<div>Proposed General Arrangement Ground Floor</div> <div>Quinn Architects</div> <div>Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 www.quinnuk.com</div>							
		A	01.10.21	Design Team Brief		<div>DRAWN BY IM</div> <div>CHECKED BY CE</div>					PROJECT PHASE	SCALE			
		B	18.10.21	Design Team Update							PLANNING	1:50 @ A1 / 1:100 @ A3			
		C	26.10.21	Design Team Update							<div>DRAWING STATUS PLANNING</div>		PROJECT NO.	DRAWING NO.	REV.
		D	03.11.21	Planning									QA202	A101	G
		E	07.04.22	Planning Update											
		F	19.04.22	Planning Update											
	G	22.06.22	Planning Update												
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**Proposed Works Notes:**

**Generally**

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- Window boxes, architraves and shutters to be refurbished and redecorated. Sashes to be replaced with new, with window bars to replicate original detailing. Refer to the window drawing and schedule provided with this application.
- New mechanical, electrical and plumbing services installed throughout.
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- All skirtings to be carefully removed, refurbished and re-installed after floors are levelled. Where new skirtings are required, they are to be made to match existing profiles.
- Existing panelling and mouldings to be stripped of paint with poultice paint removal system, then locally repaired and decorated.
- Any new panelled partitions or mouldings are to match those adjacent and be carefully pieced in.
- Lath and plaster ceilings to be coated with specialist intumescent coating prior to redecoration.
- Water Mist system installed throughout for fire safety
- All walls and ceilings to be redecorated. Plaster surfaces to be locally re-skimmed or repaired where required.
- Local repairs undertaken to roof and flashings.

All internal doors replaced. Refer to submitted schedule.  
Works to fireplaces vary. Refer to submitted schedule.








**Proposed Flooring Types**

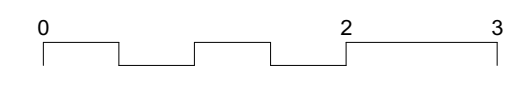

- FT-01: Timber plank flooring over water fed underfloor heating. Laid over existing structure.
- FT-02: Stone finishes over electric underfloor heating. Laid over existing slab.
- FT-03: Timber plank flooring over water fed underfloor heating. Laid over new slab.
- FT-04: Tile finishes, over water fed underfloor heating. Laid over cavity drainage membrane and new slab.
- FT-05: Mosaic tile, over plywood and levelled floor joists. Insulation fitted between joists.
- FT-06: Reclaimed pine floorboards, over levelled floor joists. Insulation fitted between joists.
- FT-07: Timber block flooring over water fed underfloor heating. Laid over existing slab.
- FT-08: External stone slab pavers over existing slab.
- FT-09: External slab pavers on pedestals over new slab.
- FT-10: Stone finishes, over plywood and levelled floor joists. Insulation fitted between joists.

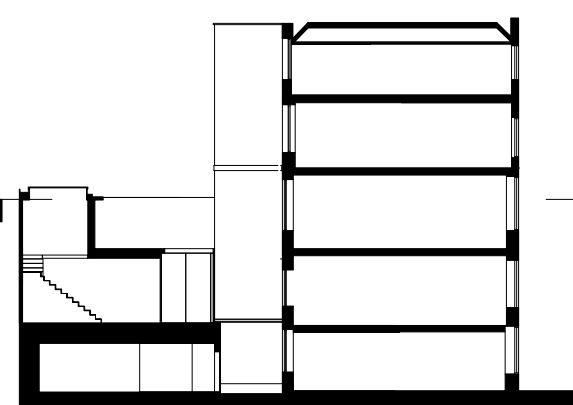
**Proposed Notes**

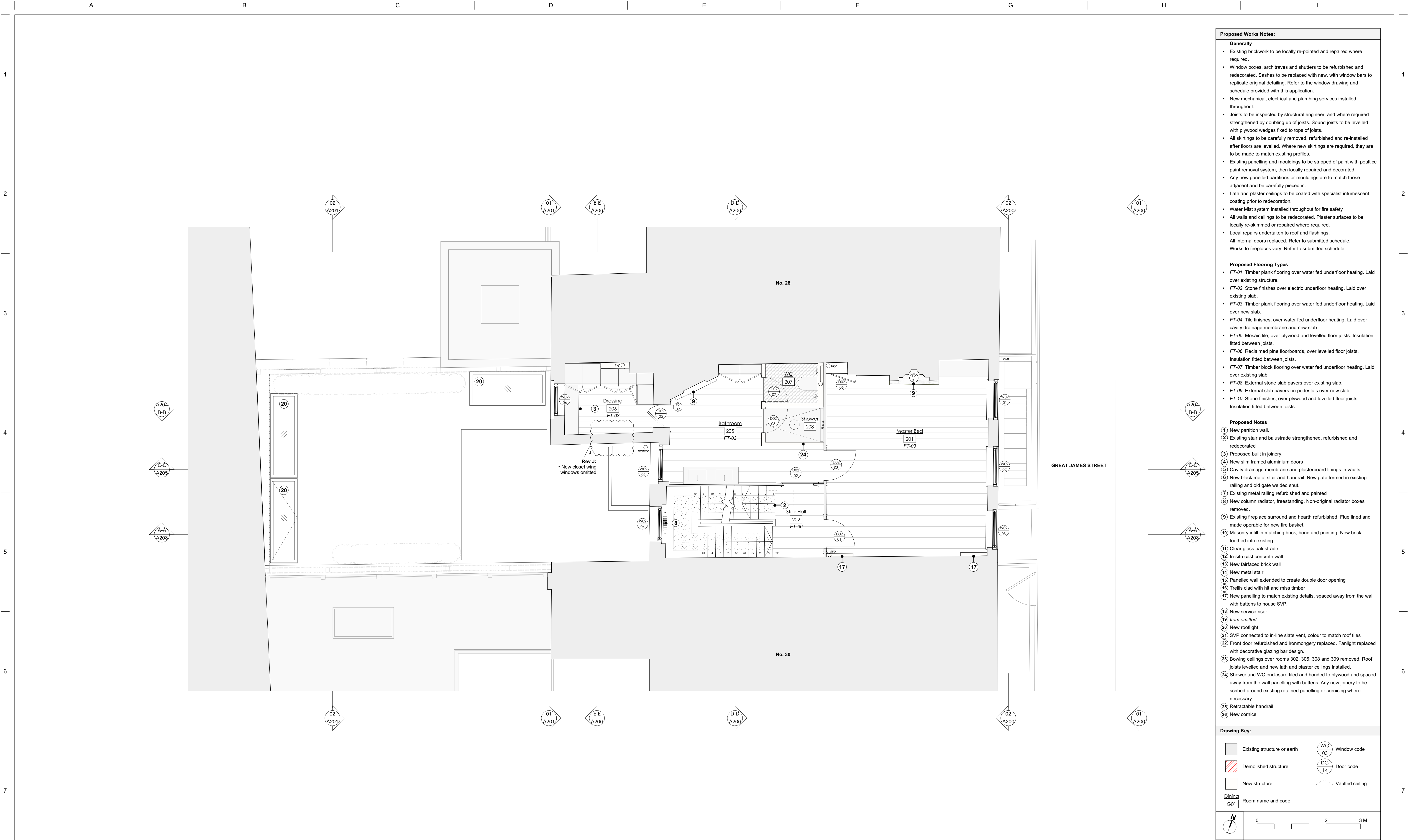
- New partition wall.
- Existing stair and balustrade strengthened, refurbished and redecorated
- Proposed built in joinery.
- New slim framed aluminium doors
- Cavity drainage membrane and plasterboard linings in vaults
- New black metal stair and handrail. New gate formed in existing railing and old gate welded shut.
- Existing metal railing refurbished and painted
- New column radiator, freestanding. Non-original radiator boxes removed.
- Existing fireplace surround and hearth refurbished. Flue lined and made operable for new fire basket.
- Masonry infill in matching brick, bond and pointing. New brick toothed into existing.
- Clear glass balustrade.
- In-situ cast concrete wall
- New fairfaced brick wall
- New metal stair
- Panelled wall extended to create double door opening
- Trellis clad with hit and miss timber
- New panelling to match existing details, spaced away from the wall with battens to house SVP.
- New service riser
- Item omitted
- New rooflight
- SVP connected to in-line slate vent, colour to match roof tiles
- Front door refurbished and ironmongery replaced. Fanlight replaced with decorative glazing bar design.
- Bowling ceilings over rooms 302, 305, 308 and 309 removed. Roof joists levelled and new lath and plaster ceilings installed.
- Shower and WC enclosure tiled and bonded to plywood and spaced away from the wall panelling with battens. Any new joinery to be scribed around existing retained panelling or coricing where necessary
- Retractable handrail
- New cornice

**Drawing Key:**

	Existing structure or earth		Window code
	Demolished structure		Door code
	New structure		Vaulted ceiling
	Dining G01		Room name and code

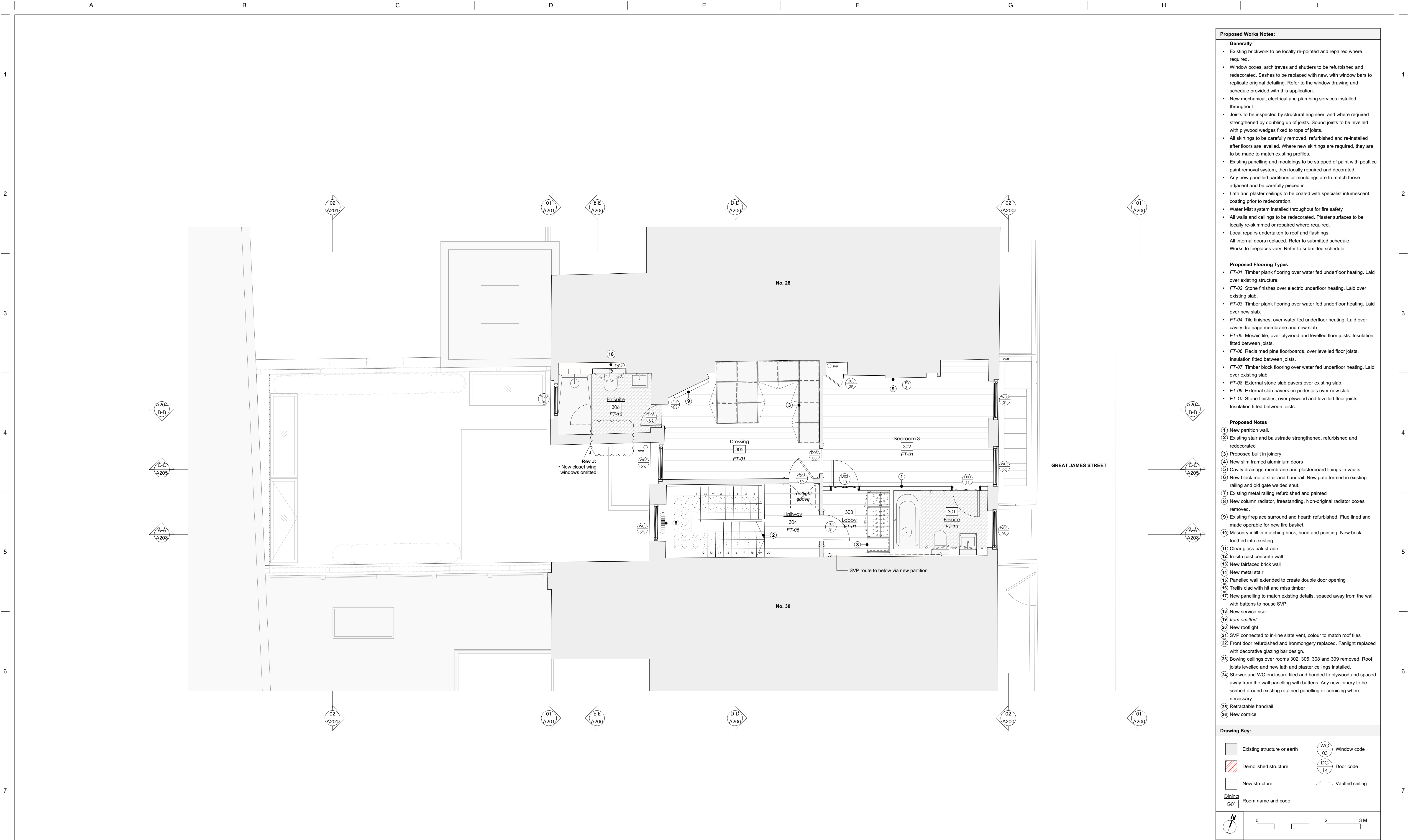


29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	<div>Drawing Location Key: </div>	<div>DRAWING TITLE <b>Proposed General Arrangement First Floor</b></div>		<div><b>Quinn Architects</b>  Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 <a href="http://www.quinnuk.com">www.quinnuk.com</a></div>			
	A	01.10.21	Design Team Brief							
	B	18.10.21	Design Team Update							
	C	26.10.21	Design Team Update							
	D	03.11.21	Planning							
	E	10.11.21	Planning							
	F	07.04.22	Planning Update							
	G	19.04.22	Planning Update - Kitchen layout amended							
	H	31.05.22	Planning Update - Gazebo omitted							
	J	22.06.22	Planning Update							
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				DRAWING STATUS PLANNING		PROJECT NO. QA202		DRAWING NO. A102		REV. J



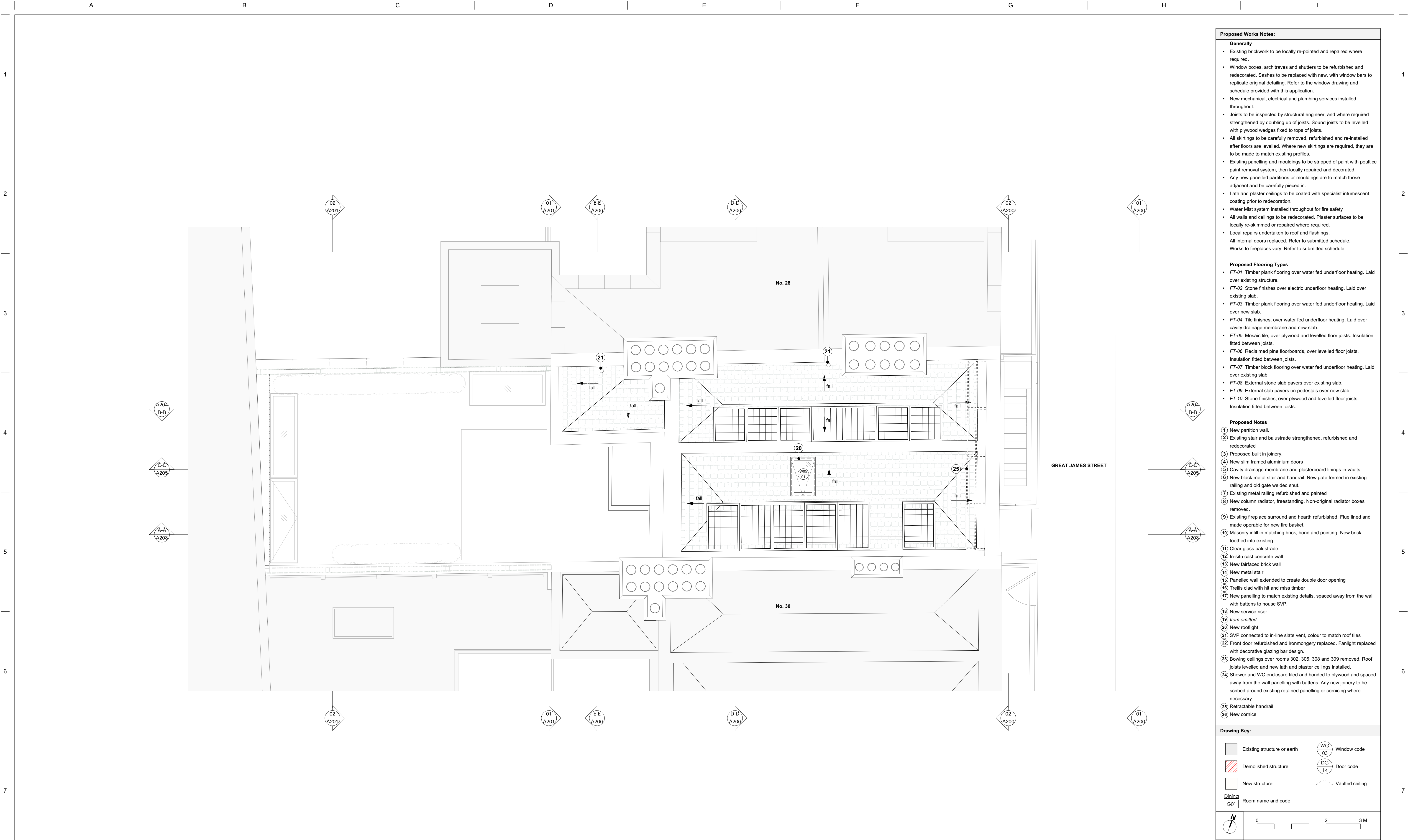
29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	<div>Drawing Location Key:</div>	DRAWING TITLE <b>Proposed General Arrangement Second Floor</b>	Quinn Architects					
	A	01.10.21	Design Team Brief			Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 www.quinnuk.com					
	B	18.10.21	Design Team Update								
	C	26.10.21	Design Team Update								
	D	03.11.21	Planning								
	E	10.11.21	Planning								
	F	07.04.22	Planning Update								
	G	19.04.22	Planning Update - Various amendments to comments received								
	H	31.05.22	Planning Update - Gazebo omitted								
	J	22.06.22	Planning Update								
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING				DRAWN BY IM		CHECKED BY CE		PROJECT PHASE PLANNING	SCALE 1:50 @ A1 / 1:100 @ A3		
				DRAWING STATUS PLANNING		PROJECT NO. QA202		DRAWING NO. A103		REV. J	





29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	<div>Drawing Location Key:</div> 	<div>DRAWING TITLE</div> <div>Proposed General Arrangement Third Floor</div>	<div>Quinn Architects</div> <div>Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 <a href="http://www.quinnuk.com">www.quinnuk.com</a></div>			
	A	01.10.21	Design Team Brief						
	B	18.10.21	Design Team Update						
	C	26.10.21	Design Team Update						
	D	03.11.21	Planning						
	E	10.11.21	Planning						
	F	07.04.22	Planning Update						
	G	19.04.22	Planning Update - Various amendments to comments received						
	H	31.05.22	Planning Update - Gazebo omitted						
	J	22.06.22	Planning Update						
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING					<div>DRAWN BY</div> IM	<div>CHECKED BY</div> CE	<div>PROJECT PHASE</div> PLANNING	<div>SCALE</div> 1:50 @ A1 / 1:100 @ A3	
					<div>DRAWING STATUS</div> PLANNING	<div>PROJECT NO.</div> QA202		<div>DRAWING NO.</div> A104	<div>REV.</div> J

A	B	C	D	E	F	G	H	I
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29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	<div>Drawing Location Key:</div>	DRAWING TITLE <b>Proposed General Arrangement Roof Plan</b>		<div>Quinn Architects</div> <div>Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 <a href="http://www.quinnuk.com">www.quinnuk.com</a></div>		
	A	01.10.21	Design Team Brief						
	B	18.10.21	Design Team Update		DRAWN BY IM	CHECKED BY CE	PROJECT PHASE PLANNING	SCALE 1:50 @ A1 / 1:100 @ A3	
	C	26.10.21	Design Team Update						
	D	03.11.21	Planning		DRAWING STATUS <b>PLANNING</b>	PROJECT NO. <b>QA202</b>	DRAWING NO. <b>A106</b>	REV. <b>G</b>	
	E	10.11.21	Planning						
	F	31.05.22	Planning Update - Gazebo omitted						
	G	22.06.22	Planning Update						
	DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING								

A	B	C	D	E	F	G	H	I
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1 East Elevation - Existing  
Scale: 1:50



2 East Elevation - Existing Lightwell  
Scale: 1:50

**Proposed Works Notes:**

**Generally**

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- Window boxes, architraves and shutters to be refurbished and redecorated. Sashes to be replaced with new, with window bars to replicate original detailing. Refer to the window drawing and schedule provided with this application.
- New mechanical, electrical and plumbing services installed throughout.
- Joists to be inspected by structural engineer, and where required strengthened by doubling up of joists. Sound joists to be levelled with plywood wedges fixed to tops of joists.
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- Existing panelling and mouldings to be stripped of paint with poultice paint removal system, then locally repaired and decorated.
- Any new panelled partitions or mouldings are to match those adjacent and be carefully pieced in.
- Lath and plaster ceilings to be coated with specialist intumescent coating prior to redecoration.
- Water Mist system installed throughout for fire safety
- All walls and ceilings to be redecorated. Plaster surfaces to be locally re-skimmed or repaired where required.
- Local repairs undertaken to roof and flashings.
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**Proposed Flooring Types**

- FT-01:** Timber plank flooring over water fed underfloor heating. Laid over existing structure.
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**Proposed Notes**

- New partition wall.
- Existing stair and balustrade strengthened, refurbished and redecorated
- Proposed built in joinery.
- New slim framed aluminium doors
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- New black metal stair and handrail. New gate formed in existing railing and old gate welded shut.
- Existing metal railing refurbished and painted
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- Item omitted
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**Drawing Key:**

	Existing structure or earth		Window code
	Demolished structure		Door code
	New structure		Vaulted ceiling
	Dining		
	Room name and code		

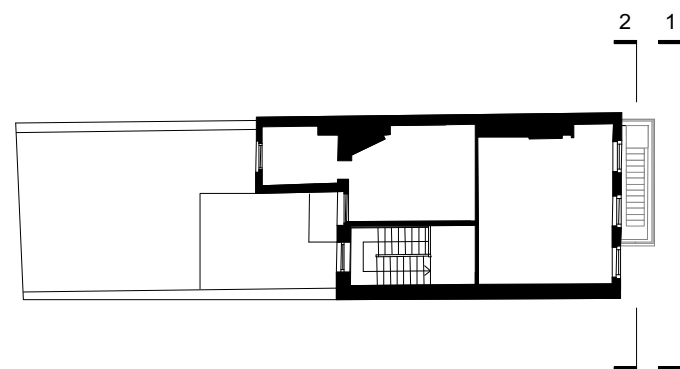
0 1 2 3 4 M

## 29 Great James Street

REV	DATE (dd.mm.yy)	DESCRIPTION
A	01.10.21	Design Team Brief
B	18.10.21	Design Team Update
C	26.10.21	Design Team Update
D	03.11.21	Planning
E	22.06.22	Planning Update

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Drawing Location Key:



## Proposed General Arrangement East Elevations

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IM

CHECKED BY  
CE

DRAWING STATUS  
**PLANNING**

## Quinn Architects

Rochele School Arnold Circus London E2 7ES  
+44 (0)20 7613 3843 [www.quinnuk.com](http://www.quinnuk.com)

PROJECT PHASE  
**PLANNING**

SCALE  
1:50 @ A1 / 1:100 @ A3

PROJECT NO.  
**QA202**

DRAWING NO.  
**A200**

REV  
**E**





1 West Elevation - Existing  
Scale: 1:50



2 West Elevation - Existing  
Scale: 1:50

- Proposed Works Notes:**

### Generally

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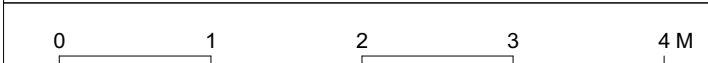
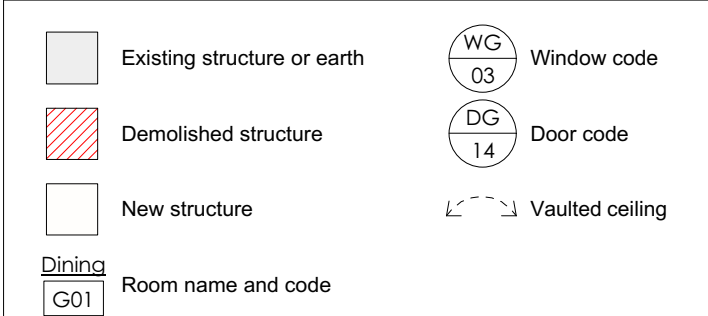
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### Proposed Notes

- 1 New partition wall.
- 2 Existing stair and balustrade strengthened, refurbished and redecorated
- 3 Proposed built in joinery.
- 4 New slim framed aluminium doors
- 5 Cavity drainage membrane and plasterboard linings in vaults
- 6 New black metal stair and handrail. New gate formed in existing railing and old gate welded shut.
- 7 Existing metal railing refurbished and painted
- 8 New column radiator, freestanding. Non-original radiator boxes removed.
- 9 Existing fireplace surround and hearth refurbished. Flue lined and made operable for new fire basket.
- 10 Masonry infill in matching brick, bond and pointing. New brick toothed into existing.
- 11 Clear glass balustrade.
- 12 In-situ cast concrete wall
- 13 New faired brick wall
- 14 New metal stair
- 15 Panelled wall extended to create double door opening
- 16 Trellis clad with hit and miss timber
- 17 New panelling to match existing details, spaced away from the wall with battens to house SVP.
- 18 New service riser
- 19 Item omitted
- 20 New rooflight
- 21 SVP connected to in-line slate vent, colour to match roof tiles
- 22 Front door refurbished and ironmongery replaced. Fanlight replaced with decorative glazing bar design.
- 23 Bowing ceilings over rooms 302, 305, 308 and 309 removed. Roof joists levelled and new lath and plaster ceilings installed.
- 24 Shower and WC enclosure tiled and bonded to plywood and spaced away from the wall panelling with battens. Any new joinery to be scribed around existing retained panelling or corning where necessary
- 25 Retractable handrail
- 26 New cornice

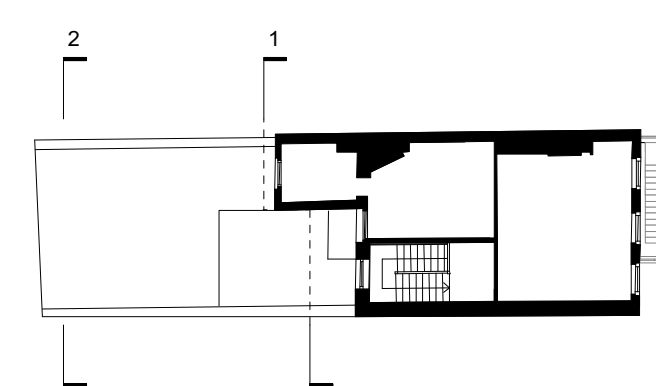
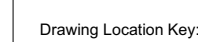
**Drawing Key:**



REV	DATE (dd.mm.yy)	DESCRIPTION
A	01.10.21	Design Team Brief
B	18.10.21	Design Team Update
C	26.10.21	Design Team Update
D	03.11.21	Planning
E	10.11.21	Planning
F	22.06.22	Planning Update

29 Great James Street

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DRAWING TITLE

### Proposed General Arrangement West Elevation

DRAWN BY  
IM

CHECKED BY  
CE

## PROJECT PHASE PLANNING

SCALE  
1:50 @ A1 / 1:100 @ A3

REV.

## Quinn Architects

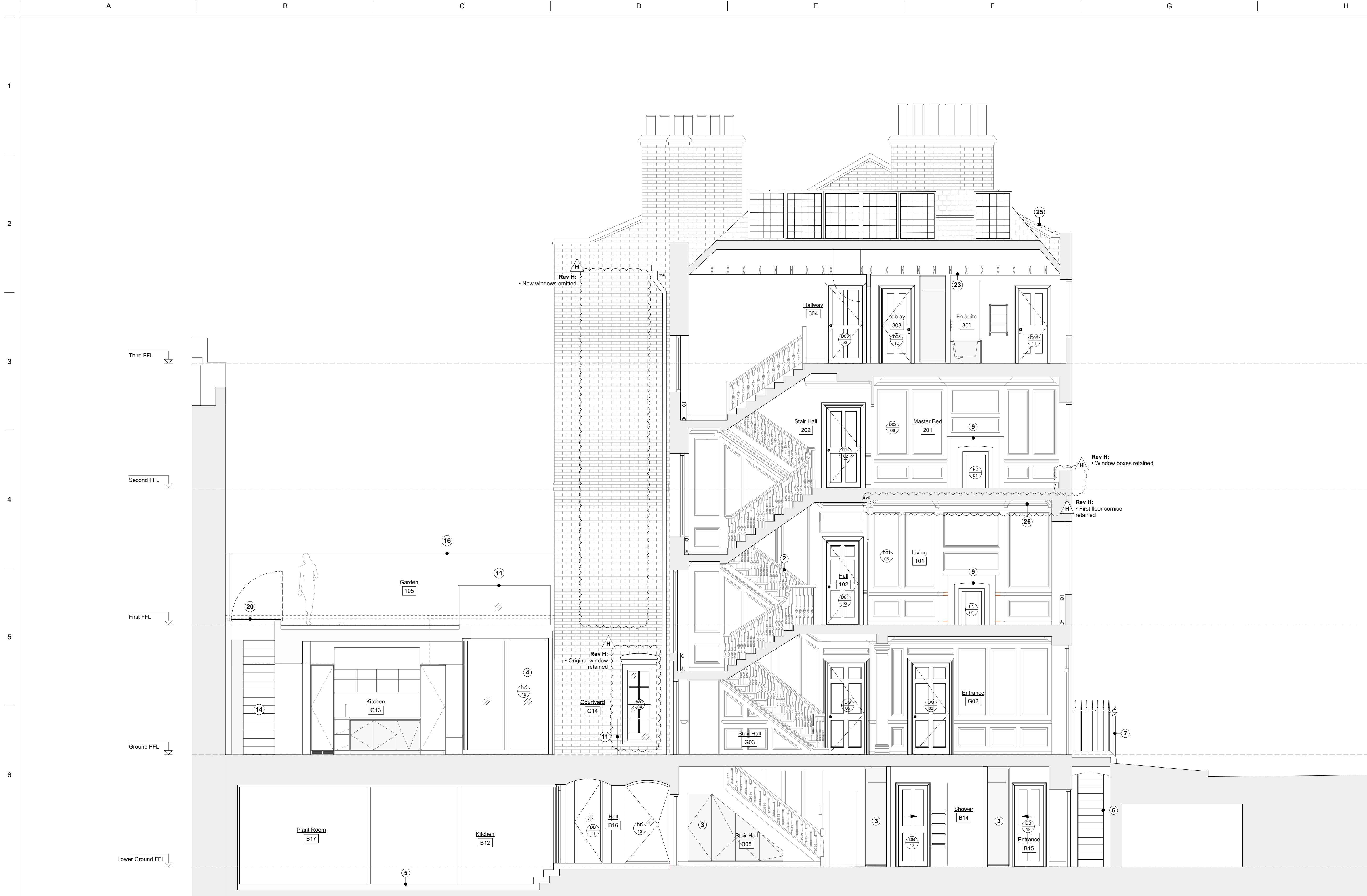
Rochelle School Arnold Circus London E2 7ES  
+44 (0)20 7613 3843 [www.quinnuk.com](http://www.quinnuk.com)

## PROJECT PHASE PLANNING

DRAWING NO.  
**A201**

REV.





**Proposed Works Notes:**

**Generally**

- Existing brickwork to be locally re-pointed and repaired where required.
- Window boxes, architraves and shutters to be refurbished and redecorated. Sashes to be replaced with new, with window bars to replicate original detailing. Refer to the window drawing and schedule provided with this application.
- New mechanical, electrical and plumbing services installed throughout.
- Joists to be inspected by structural engineer, and where required strengthened by doubling up of joists. Sound joists to be levelled with plywood wedges fixed to tops of joists.
- All skirtings to be carefully removed, refurbished and re-installed after floors are levelled. Where new skirtings are required, they are to be made to match existing profiles.
- Existing panelling and mouldings to be stripped of paint with poultice paint removal system, then locally repaired and decorated.
- Any new panelled partitions or mouldings are to match those adjacent and be carefully pieced in.
- Lath and plaster ceilings to be coated with specialist intumescent coating prior to redecoration.
- Water Mist system installed throughout for fire safety
- All walls and ceilings to be redecorated. Plaster surfaces to be locally re-skimmed or repaired where required.
- Local repairs undertaken to roof and flashings.
- All internal doors replaced. Refer to submitted schedule. Works to fireplaces vary. Refer to submitted schedule.

**Proposed Flooring Types**

- FT-01:** Timber plank flooring over water fed underfloor heating. Laid over existing structure.
- FT-02:** Stone finishes over electric underfloor heating. Laid over existing slab.
- FT-03:** Timber plank flooring over water fed underfloor heating. Laid over new slab.
- FT-04:** Tile finishes, over water fed underfloor heating. Laid over cavity drainage membrane and new slab.
- FT-05:** Mosaic tile, over plywood and levelled floor joists. Insulation fitted between joists.
- FT-06:** Reclaimed pine floorboards, over levelled floor joists. Insulation fitted between joists.
- FT-07:** Timber block flooring over water fed underfloor heating. Laid over existing slab.
- FT-08:** External stone slab pavers over existing slab.
- FT-09:** External slab pavers on pedestals over new slab.
- FT-10:** Stone finishes, over plywood and levelled floor joists. Insulation fitted between joists.

**Proposed Notes**

- New partition wall.
- Existing stair and balustrade strengthened, refurbished and redecorated
- Proposed built in joinery.
- New slim framed aluminium doors
- Cavity drainage membrane and plasterboard linings in vaults
- New black metal stair and handrail. New gate formed in existing railing and old gate welded shut.
- Existing metal railing refurbished and painted
- New column radiator, freestanding. Non-original radiator boxes removed.
- Existing fireplace surround and hearth refurbished. Flue lined and made operable for new fire basket.
- Masonry infill in matching brick, bond and pointing. New brick toothed into existing.
- Clear glass balustrade.
- In-situ cast concrete wall
- New fairfaced brick wall
- New metal stair
- Panelled wall extended to create double door opening
- Trellis clad with hit and miss timber
- New panelling to match existing details, spaced away from the wall with battens to house SVP.
- New service riser
- Item omitted
- New rooflight
- SVP connected to in-line slate vent, colour to match roof tiles
- Front door refurbished and ironmongery replaced. Fanlight replaced with decorative glazing bar design.
- Bowing ceilings over rooms 302, 305, 308 and 309 removed. Roof joists levelled and new lath and plaster ceilings installed.
- Shower and WC enclosure tiled and bonded to plywood and spaced away from the wall panelling with battens. Any new joinery to be scribed around existing retained panelling or coricing where necessary
- Retractable handrail
- New cornice

**Drawing Key:**

Existing structure or earth

Demolished structure

New structure

Dining  
G01

Room name and code

WG  
03

DG  
14

Window code

Door code

Vaulted ceiling

01234

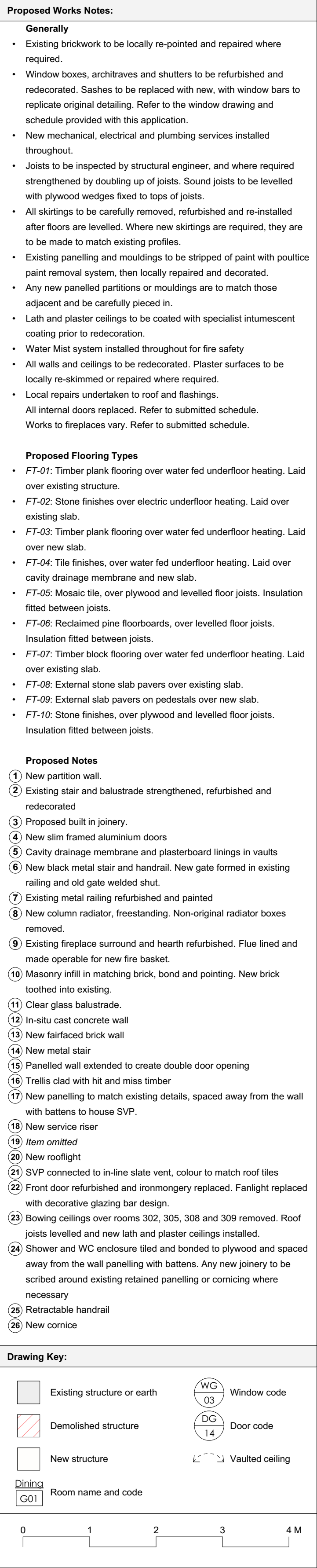
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29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	<div>Drawing Location Key:</div> <div></div>	<div>Drawing Title</div> <div>Proposed General Arrangement Section AA</div>	<div>Quinn Architects</div> <div>Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 www.quinnuk.com</div>		
	A	01.10.21	Design Team Brief					
	B	18.10.21	Design Team Update					
	C	26.10.21	Design Team Update					
	D	03.11.21	Planning					
	E	10.11.21	Planning					
	F	07.04.22	Planning Update - Various amendments to comments received					
	G	31.05.22	Planning Update - Gazebo omitted					
	H	22.06.22	Planning Update					
	DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING							

DRAWN BY IM		CHECKED BY CE	PROJECT PHASE PLANNING	SCALE 1:50 @ A1 / 1:100 @ A3	
DRAWING STATUS PLANNING			PROJECT NO. QA202	DRAWING NO. A203	REV. H

A	B	C	D	E	F	G	H	I
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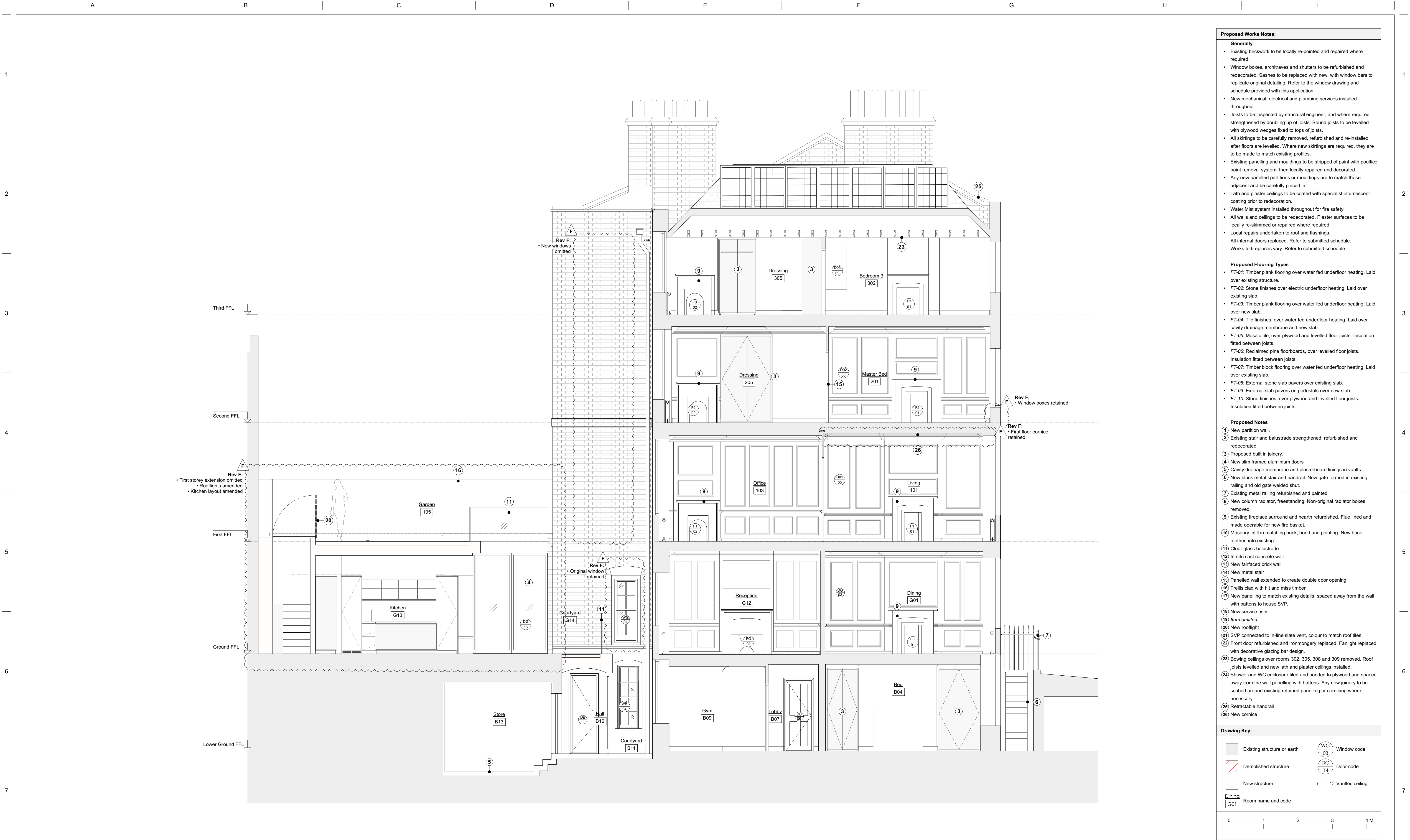
29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION
	A	01.10.21	Design Team Brief
	B	18.10.21	Design Team Update
	C	26.10.21	Design Team Update
	D	03.11.21	Planning
	E	10.11.21	Planning
	F	31.05.22	Planning Update - Various amendments to comments received
	G	22.06.22	Planning Update
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING			

Drawing Location Key:	
	

DRAWING TITLE	
Proposed General Arrangement Section BB	
DRAWN BY IM	CHECKED BY CE
DRAWING STATUS PLANNING	

PROJECT PHASE PLANNING	SCALE 1:50 @ A1 / 1:100 @ A3	
PROJECT NO. QA202	DRAWING NO. A204	REV. G





**Proposed Works Notes:**

**Generally**

- Existing brickwork to be locally re-pointed and repaired where required.
- Window boxes, architraves and shutters to be refurbished and redecorated. Sashes to be replaced with new, with window bars to replicate original detailing. Refer to the window drawing and schedule provided with this application.
- New mechanical, electrical and plumbing services installed throughout.
- Joists to be inspected by structural engineer, and where required strengthened by doubling up of joists. Sound joists to be levelled with plywood wedges fixed to tops of joists.
- All skirtings to be carefully removed, refurbished and re-installed after floors are levelled. Where new skirtings are required, they are to be made to match existing profiles.
- Existing panelling and mouldings to be stripped of paint with poultice paint removal system, then locally repaired and decorated.
- Any new panelled partitions or mouldings are to match those adjacent and be carefully pieced in.
- Lath and plaster ceilings to be coated with specialist intumescent coating prior to redecoration.
- Water Mist system installed throughout for fire safety
- All walls and ceilings to be redecorated. Plaster surfaces to be locally re-skimmed or repaired where required.
- Local repairs undertaken to roof and flashings.
- All internal doors replaced. Refer to submitted schedule. Works to fireplaces vary. Refer to submitted schedule.

**Proposed Flooring Types**

- FT-01:** Timber plank flooring over water fed underfloor heating. Laid over existing structure.
- FT-02:** Stone finishes over electric underfloor heating. Laid over existing slab.
- FT-03:** Timber plank flooring over water fed underfloor heating. Laid over new slab.
- FT-04:** Tile finishes, over water fed underfloor heating. Laid over cavity drainage membrane and new slab.
- FT-05:** Mosaic tile, over plywood and levelled floor joists. Insulation fitted between joists.
- FT-06:** Reclaimed pine floorboards, over levelled floor joists. Insulation fitted between joists.
- FT-07:** Timber block flooring over water fed underfloor heating. Laid over existing slab.
- FT-08:** External stone slab pavers over existing slab.
- FT-09:** External slab pavers on pedestals over new slab.
- FT-10:** Stone finishes, over plywood and levelled floor joists. Insulation fitted between joists.

**Proposed Notes**

- New partition wall.
- Existing stair and balustrade strengthened, refurbished and redecorated
- Proposed built in joinery.
- New slim framed aluminium doors
- Cavity drainage membrane and plasterboard linings in vaults
- New black metal stair and handrail. New gate formed in existing railing and old gate welded shut.
- Existing metal railing refurbished and painted
- New column radiator, freestanding. Non-original radiator boxes removed.
- Existing fireplace surround and hearth refurbished. Flue lined and made operable for new fire basket.
- Masonry infill in matching brick, bond and pointing. New brick toothed into existing.
- Clear glass balustrade.
- In-situ cast concrete wall
- New fairfaced brick wall
- New metal stair
- Panelled wall extended to create double door opening
- Trellis clad with hit and miss timber
- New panelling to match existing details, spaced away from the wall with battens to house SVP.
- New service riser
- Item omitted
- New rooflight
- SVP connected to in-line slate vent, colour to match roof tiles
- Front door refurbished and ironmongery replaced. Fanlight replaced with decorative glazing bar design.
- Bowing ceilings over rooms 302, 305, 308 and 309 removed. Roof joists levelled and new lath and plaster ceilings installed.
- Shower and WC enclosure tiled and bonded to plywood and spaced away from the wall panelling with battens. Any new joinery to be scribed around existing retained panelling or coricing where necessary
- Retractable handrail
- New cornice

**Drawing Key:**

Existing structure or earth

Demolished structure

New structure

Dining  
G01

WG  
03

DG  
14

Vaulted ceiling

0 1 2 3 4 M

29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	<div>Drawing Location Key:</div> <div></div>			DRAWING TITLE <b>Proposed General Arrangement Section CC</b>		<div>Quinn Architects</div> <div>Rochele School Arnold Circus London E2 7ES +44 (0)20 7613 3843 <a href="http://www.quinnuk.com">www.quinnuk.com</a></div>		
	A	01.10.21	Design Team Brief								
	B	18.10.21	Design Team Update								
	C	26.10.21	Design Team Update								
	D	03.11.21	Planning								
	E	10.11.21	Planning								
	F	22.06.22	Planning Update								
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING							DRAWN BY IM	CHECKED BY CE	PROJECT PHASE PLANNING	SCALE 1:50 @ A1 / 1:100 @ A3	REV <b>F</b>
							DRAWING STATUS <b>PLANNING</b>		PROJECT NO. <b>QA202</b>	DRAWING NO. <b>A205</b>	



Proposed Works Notes:		
<b>Generally</b>		
<ul style="list-style-type: none"><li>Existing brickwork to be locally re-pointed and repaired where required.</li><li>Window boxes, architraves and shutters to be refurbished and redecorated. Sashes to be replaced with new, with window bars to replicate original detailing. Refer to the window drawing and schedule provided with this application.</li><li>New mechanical, electrical and plumbing services installed throughout.</li><li>Joists to be inspected by structural engineer, and where required strengthened by doubling up of joists. Sound joists to be levelled with plywood wedges fixed to tops of joists.</li><li>All skirtings to be carefully removed, refurbished and re-installed after floors are levelled. Where new skirtings are required, they are to be made to match existing profiles.</li><li>Existing panelling and mouldings to be stripped of paint with poultice paint removal system, then locally repaired and decorated.</li><li>Any new panelled partitions or mouldings are to match those adjacent and be carefully pieced in.</li><li>Lath and plaster ceilings to be coated with specialist intumescent coating prior to redecoration.</li><li>Water Mist system installed throughout for fire safety</li><li>All walls and ceilings to be redecorated. Plaster surfaces to be locally re-skimmed or repaired where required.</li><li>Local repairs undertaken to roof and flashings.</li></ul> All internal doors replaced. Refer to submitted schedule. Works to fireplaces vary. Refer to submitted schedule.		
<b>Proposed Flooring Types</b>		
<ul style="list-style-type: none"><li>FT-01: Timber plank flooring over water fed underfloor heating. Laid over existing structure.</li><li>FT-02: Stone finishes over electric underfloor heating. Laid over existing slab.</li><li>FT-03: Timber plank flooring over water fed underfloor heating. Laid over new slab.</li><li>FT-04: Tile finishes, over water fed underfloor heating. Laid over cavity drainage membrane and new slab.</li><li>FT-05: Mosaic tile, over plywood and levelled floor joists. Insulation fitted between joists.</li><li>FT-06: Reclaimed pine floorboards, over levelled floor joists. Insulation fitted between joists.</li><li>FT-07: Timber block flooring over water fed underfloor heating. Laid over existing slab.</li><li>FT-08: External stone slab pavers over existing slab.</li><li>FT-09: External slab pavers on pedestals over new slab.</li><li>FT-10: Stone finishes, over plywood and levelled floor joists. Insulation fitted between joists.</li></ul>		
<b>Proposed Notes</b>		
<div><div>1</div>New partition wall.</div> <div><div>2</div>Existing stair and balustrade strengthened, refurbished and redecorated</div> <div><div>3</div>Proposed built in joinery.</div> <div><div>4</div>New slim framed aluminium doors</div> <div><div>5</div>Cavity drainage membrane and plasterboard linings in vaults</div> <div><div>6</div>New black metal stair and handrail. New gate formed in existing railing and old gate welded shut.</div> <div><div>7</div>Existing metal railing refurbished and painted</div> <div><div>8</div>New column radiator, freestanding. Non-original radiator boxes removed.</div> <div><div>9</div>Existing fireplace surround and hearth refurbished. Flue lined and made operable for new fire basket.</div> <div><div>10</div>Masonry infill in matching brick, bond and pointing. New brick toothed into existing.</div> <div><div>11</div>Clear glass balustrade.</div> <div><div>12</div>In-situ cast concrete wall</div> <div><div>13</div>New fairfaced brick wall</div> <div><div>14</div>New metal stair</div> <div><div>15</div>Panelled wall extended to create double door opening</div> <div><div>16</div>Trellis clad with hit and miss timber</div> <div><div>17</div>New panelling to match existing details, spaced away from the wall with battens to house SVP.</div> <div><div>18</div>New service riser</div> <div><div>19</div>Item omitted</div> <div><div>20</div>New rooflight</div> <div><div>21</div>SVP connected to in-line slate vent, colour to match roof tiles</div> <div><div>22</div>Front door refurbished and ironmongery replaced. Fanlight replaced with decorative glazing bar design.</div> <div><div>23</div>Bowing ceilings over rooms 302, 305, 308 and 309 removed. Roof joists levelled and new lath and plaster ceilings installed.</div> <div><div>24</div>Shower and WC enclosure tiled and bonded to plywood and spaced away from the wall panelling with battens. Any new joinery to be scribed around existing retained panelling or coricing where necessary</div> <div><div>25</div>Retractable handrail</div> <div><div>26</div>New cornice</div>		
<b>Drawing Key:</b>		
<div><div></div>Existing structure or earth</div>	<div><div>WG03</div>Window code</div>	<div><div></div>Vaulted ceiling</div>
<div><div></div>Demolished structure</div>	<div><div>DG14</div>Door code</div>	
<div><div></div>New structure</div>	<div><div>DiningG01</div>Room name and code</div>	
<div><div><div>DiningG01</div></div></div>		
<div><div>01234</div>M</div>		

29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION
	A	01.10.21	Design Team Brief
	B	18.10.21	Design Team Update
	C	26.10.21	Design Team Update
	D	03.11.21	Planning
	E	10.11.21	Planning
	F	22.06.22	Planning Update
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING			

Drawing Location Key:

DRAWING TITLE		Quinn Architects	
Proposed General Arrangement Section DD Section EE		Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 www.quinnuk.com	
DRAWN BY IM	CHECKED BY CE	PROJECT PHASE PLANNING	SCALE 1:50 @ A1 / 1:100 @ A3
DRAWING STATUS PLANNING	PROJECT NO. QA202	DRAWING NO. A206	REV. F





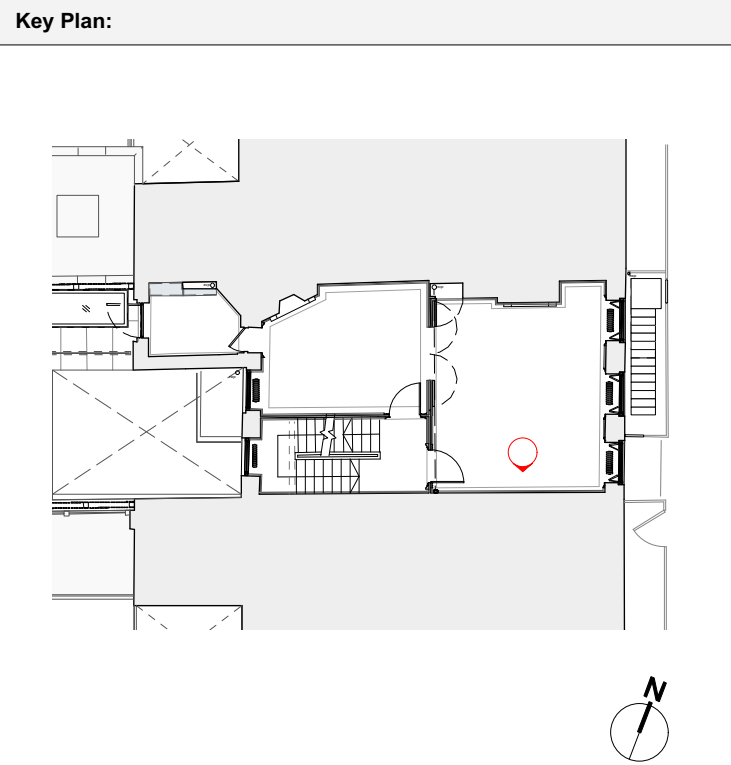
PROJECT NO. <b>QA202</b>	DRAWING NO. <b>A300</b>	REV. <b>C</b>
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29 Great James Street

REV	DATE (dd.mm.yy)	DESCRIPTION
A	24.03.22	Planning Update
B	06.04.22	Planning Update
C	22.06.22	Planning Update

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Drawing Key:	
<div></div>	Existing
<div></div>	Existing to be stripped out
<div></div>	Proposed



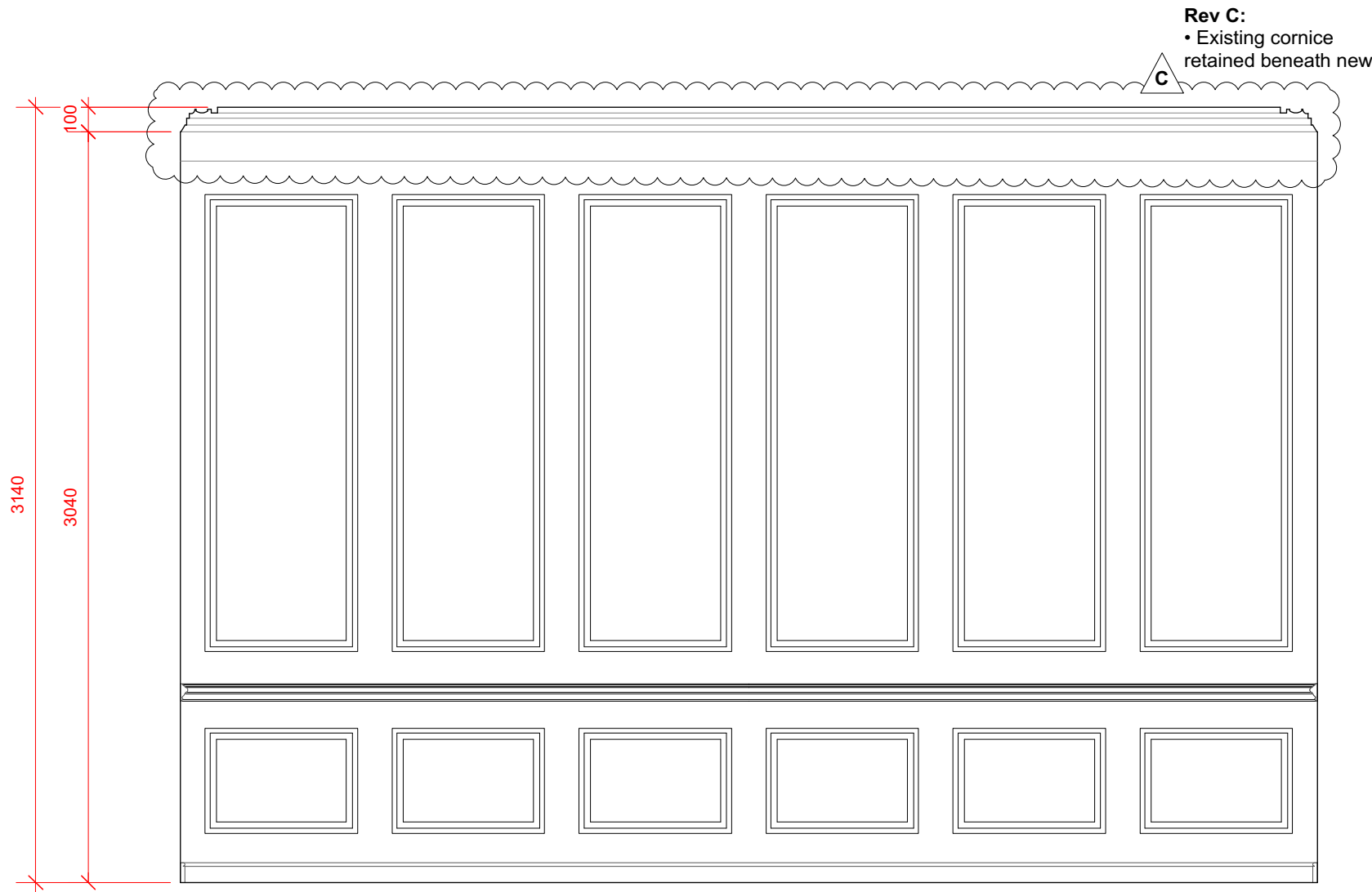
# Quinn Architects

Rochelle School Arnold Circus London E2 7ES  
+44 (0)20 7613 5843 [www.quinnuk.com](http://www.quinnuk.com)

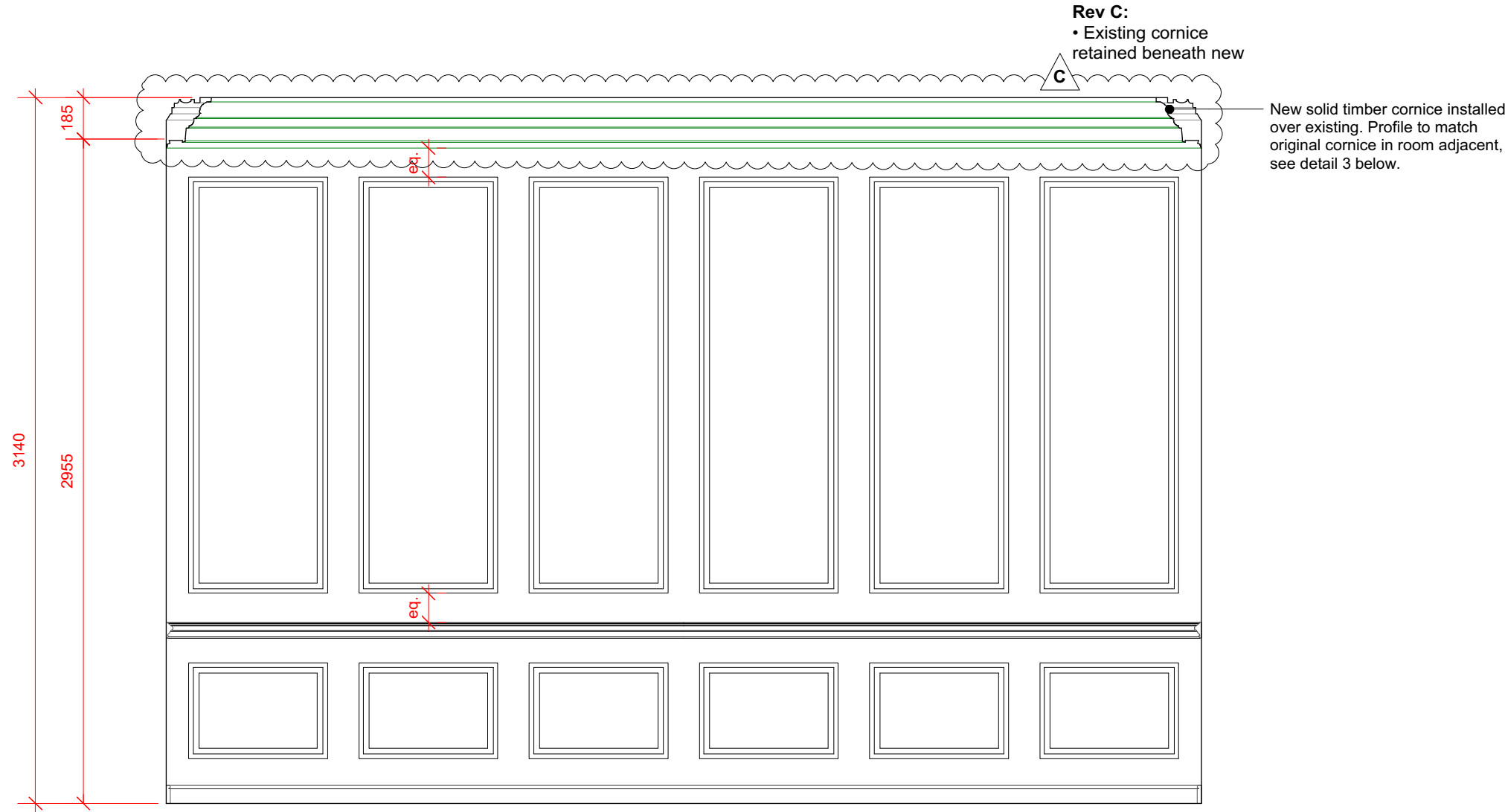
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## Internal Elevations First Floor New Cornice

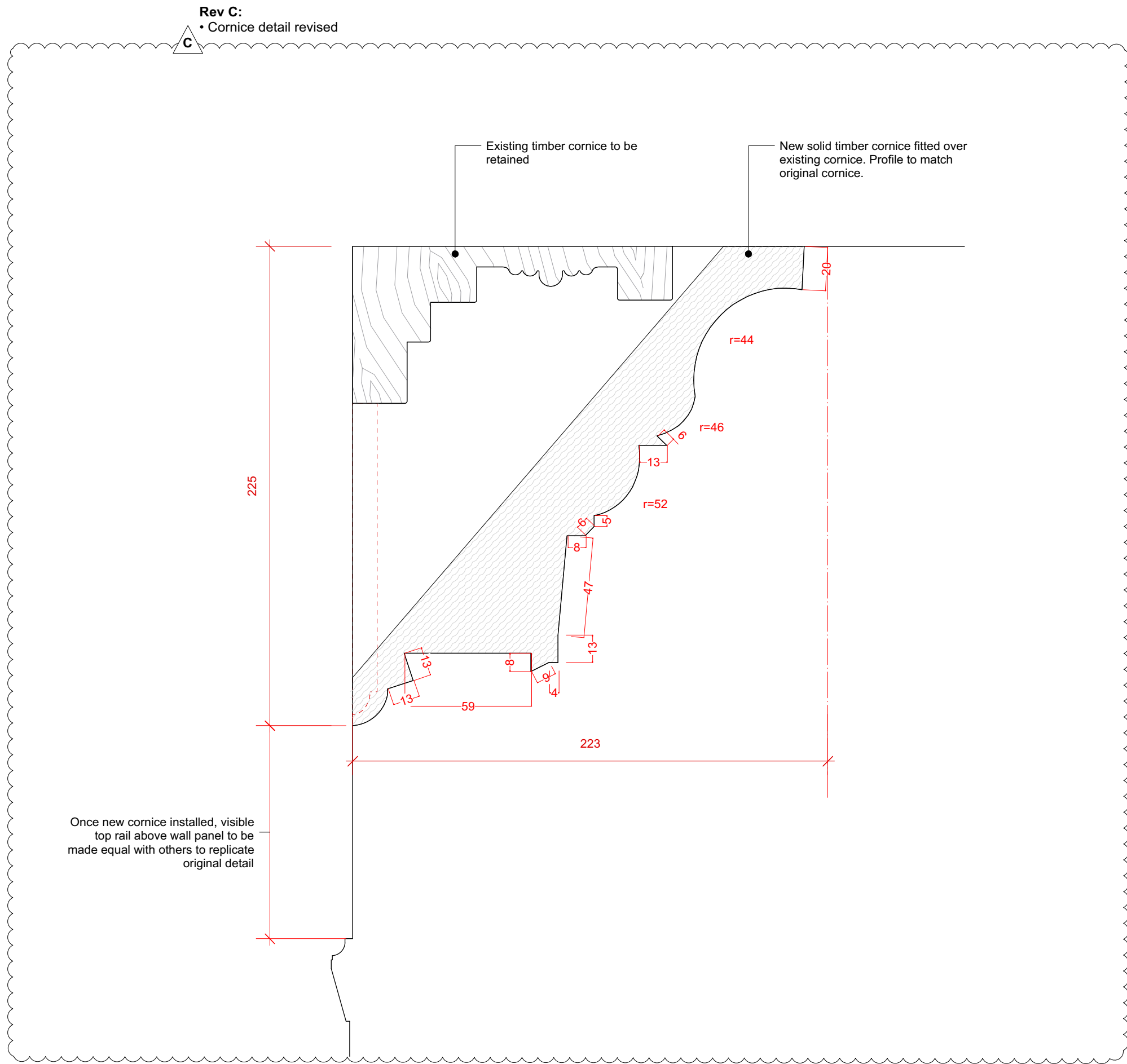
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PROJECT PHASE PLANNING	CHECKED BY CE	
DRAWING STATUS <b>PLANNING</b>		
PROJECT NO. <b>QA202</b>	DRAWING NO. <b>A301</b>	REV. <b>C</b>



1 Living Room 101 Internal Elevation - Existing  
Scale: 1:25



2 Living Room 101 Internal Elevation - Proposed  
Scale: 1:25



3 Proposed Cornice Profile  
Scale: Half Actual Size



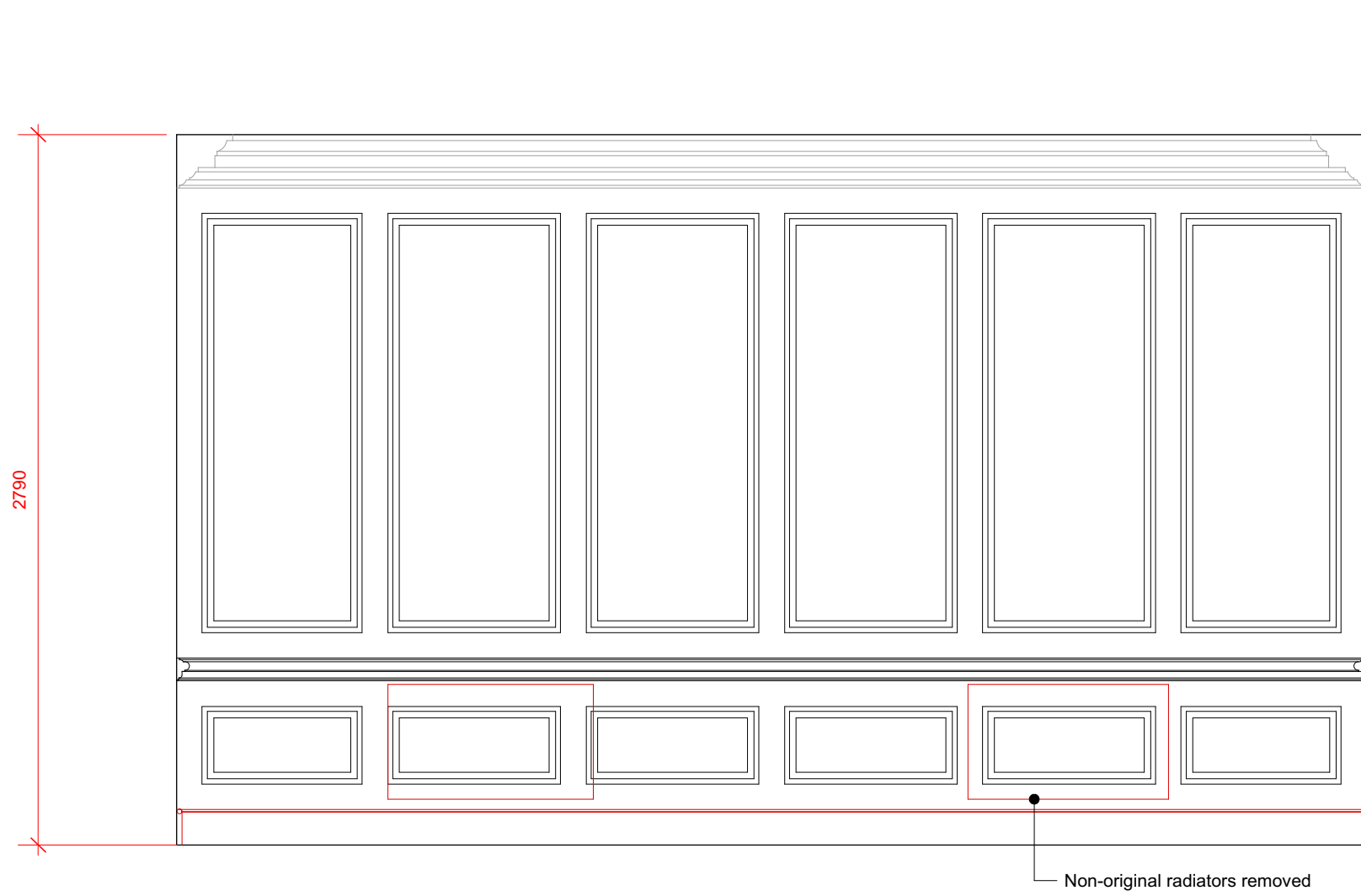
29 Great James Street

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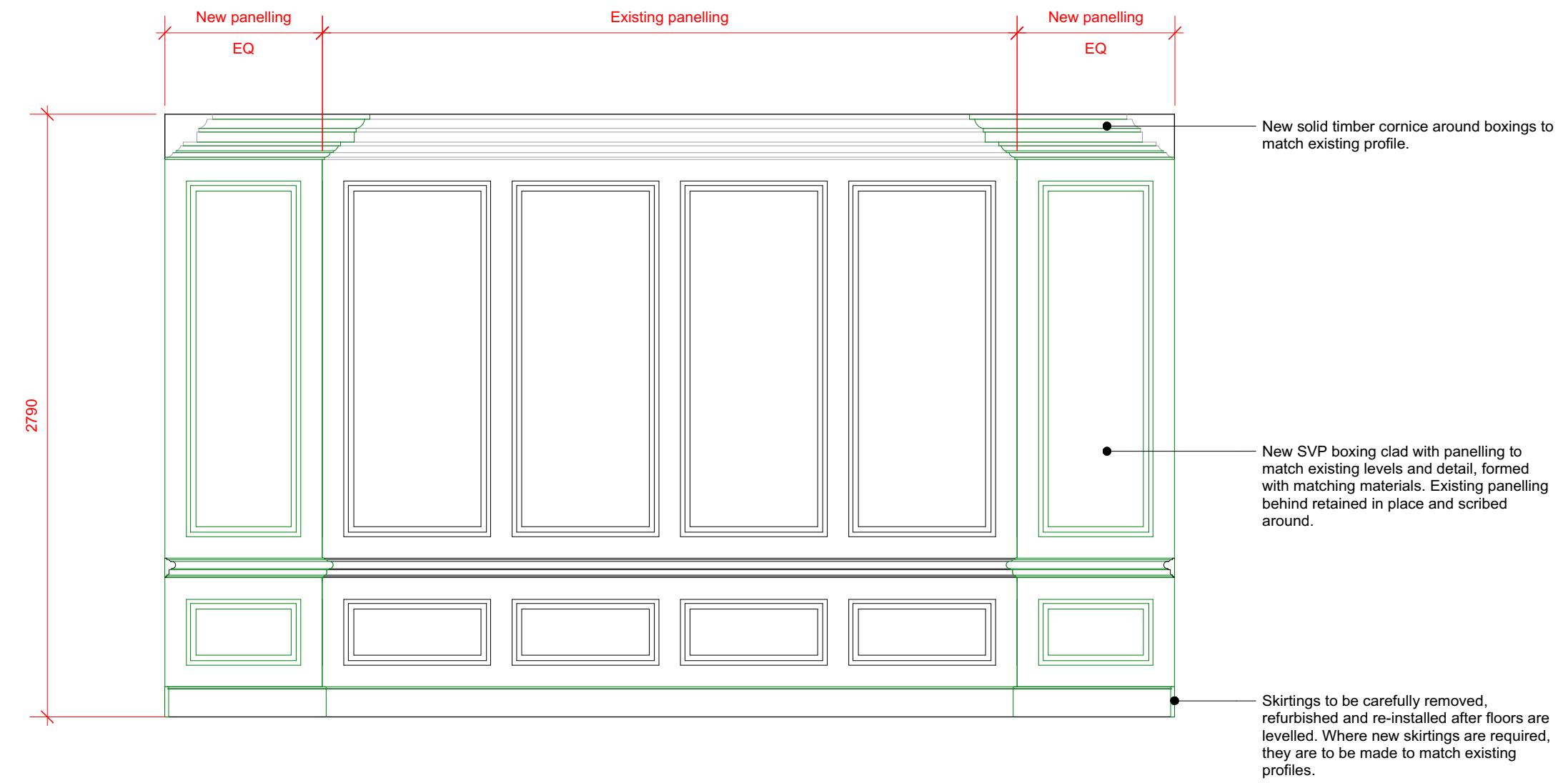
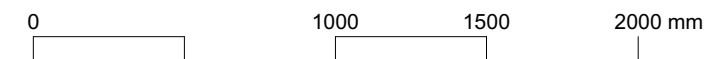
NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL  
MISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS  
DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION.  
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**Drawing Key:**

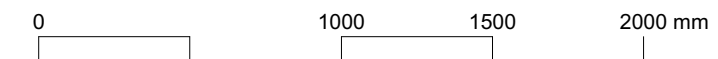
- ☐ Existing
- ☒ Existing to be stripped out
- ☐ Proposed



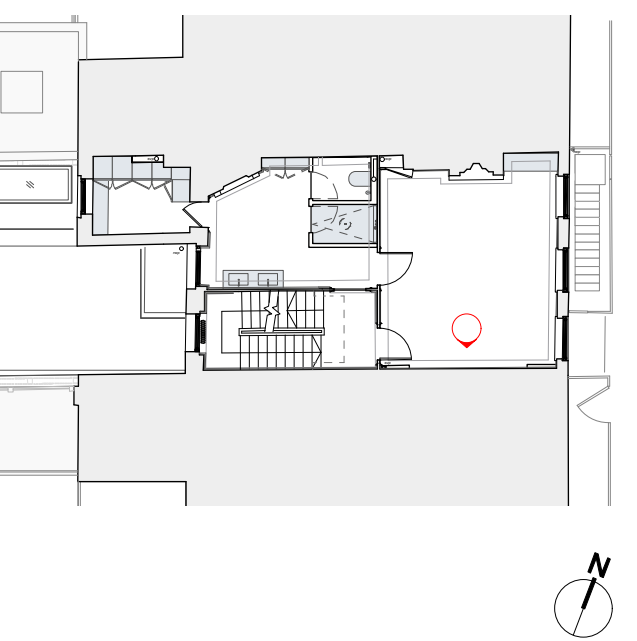
1 Master Bed 201 Internal Elevation - Existing/Demolitions  
A302 Scale: 1:25



3 Master Bed 201 Internal Elevation - Proposed  
A302 Scale: 1:25



**Key Plan:**



# Quinn Architects

Rochelle School Arnold Circus London E2 7ES  
+44 (0)20 7613 3843 [www.quinnuk.com](http://www.quinnuk.com)

DRAWING TITLE

## Internal Elevations

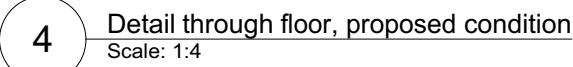
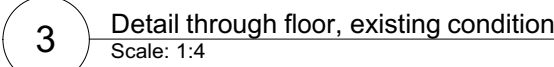
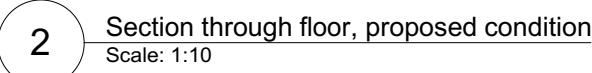
### Second Floor New Panelling

SCALE 1:25 / 1:2 @ A1    1:50 / 1:4 @ A3	DRAWN BY IM
PROJECT PHASE PLANNING	CHECKED BY CE

## DRAWING STATUS

## INFORMATION

PROJECT NO. <b>QA202</b>	DRAWING NO. <b>A302</b>	REV. <b>B</b>
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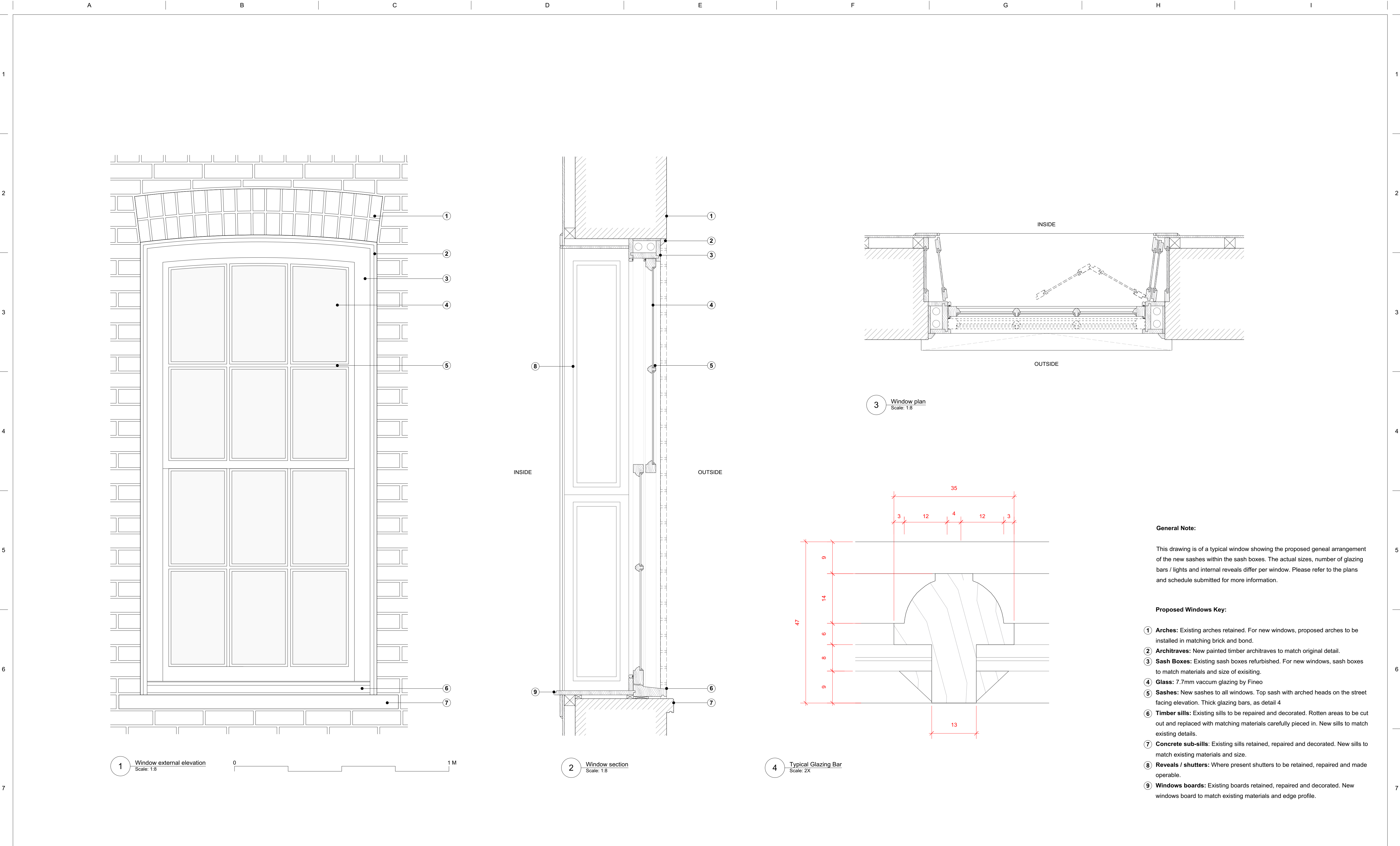
Photographs showing how floors have been previously significantly raised at 29 Great James Street. Skirtings have been raised, almost meeting the panels above them and obscuring the bottom rail.

29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION
	A	31.05.22	Planning
	B	22.06.22	Planning Update
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING			

Drawing Location Key:	
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DRAWING TITLE	
Proposed Details <b>Works to existing floors</b>	
DRAWN BY IM	CHECKED BY CE
PROJECT PHASE PLANNING	
SCALE VARIES	
DRAWING STATUS <b>PLANNING</b>	PROJECT NO. <b>QA202</b>
	DRAWING NO. <b>A400</b>
	REV. <b>B</b>





29 Great James Street	REV	DATE (dd.mm.yy)	DESCRIPTION	Drawing Location Key:	DRAWING TITLE  Proposed Details Typical Window	Quinn Architects  Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 www.quinnuk.com		
	A	26.10.21	Design Team Update					
	B	03.11.21	Planning					
	C	31.05.22	Planning Update - Glazing specification changed			DRAWN BY IM	CHECKED BY CE	PROJECT PHASE PLANNING
	D	13.06.22	Planning Update - Glazing details updated			SCALE 1:50 @ A1 / 1:100 @ A3		
	E	22.06.22	Planning Update					
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING				DRAWING STATUS PLANNING	PROJECT NO. QA202	DRAWING NO. A500	REV. E	