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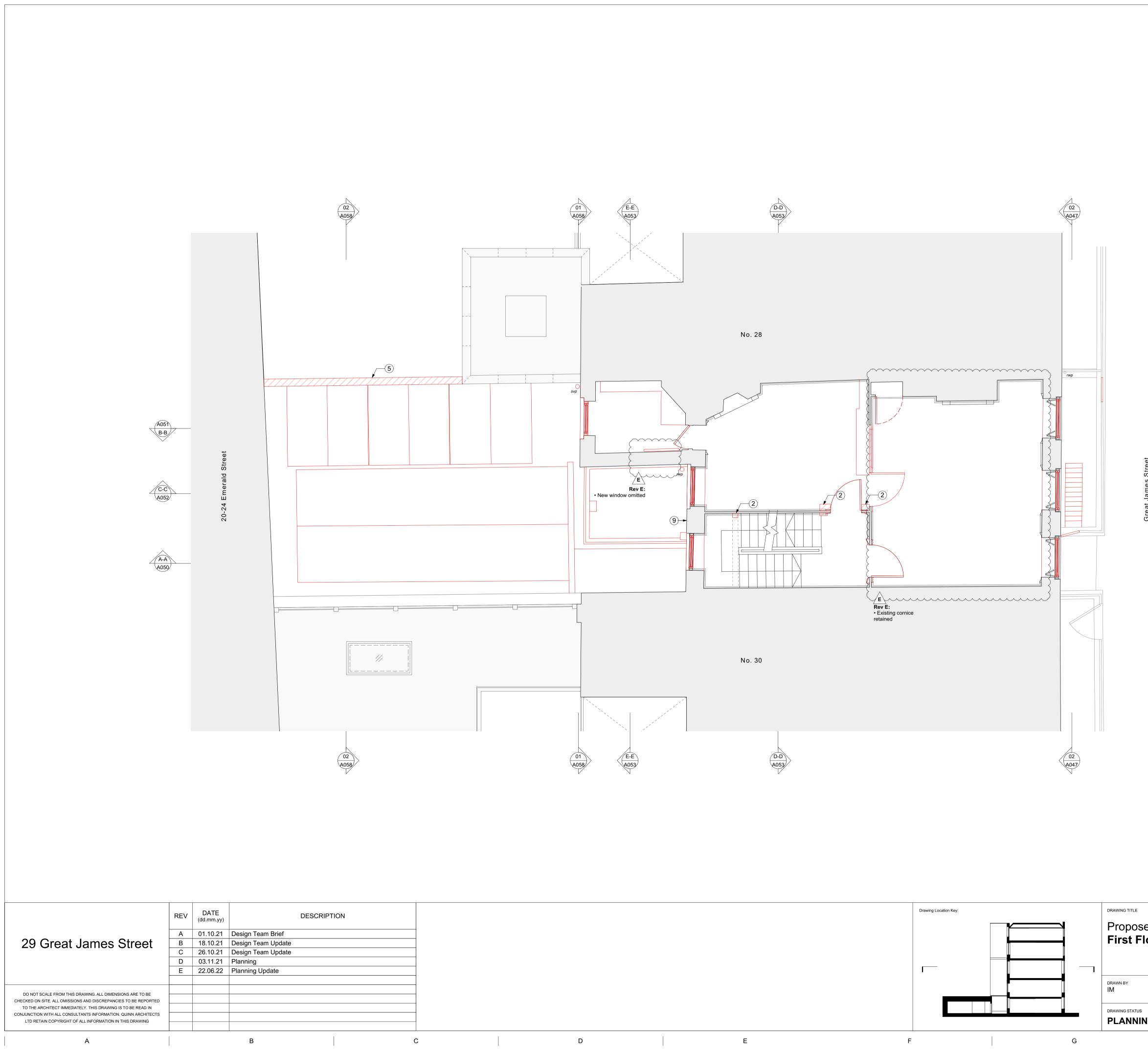
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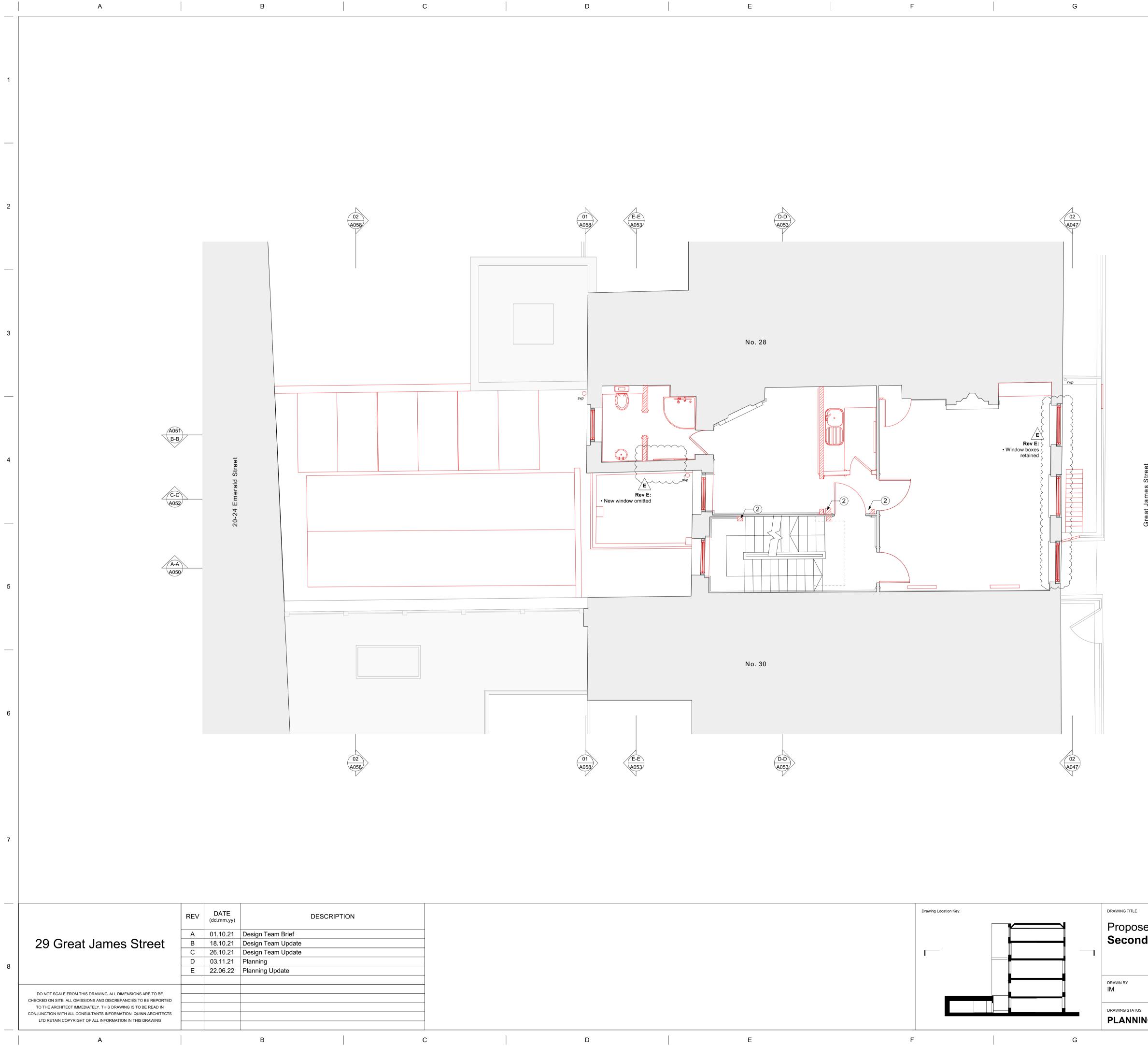
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B-B         C-C- A052         A-A         A-A         A-A         A050           C-C- A052           Demolitions Notes: <ul> <li>Generally:</li> <li>All non-original floor finishes and sub flooring to be discarded</li> <li>All non-original floor thorboards to be carefully lifted, numbered and set aside for re-use</li> <li>Existing joists to be packed to level, refer to A400</li> <li>All mechanical, electrical and plumbing services to be stripped out and discarded</li> <li>All appliances, sanitaryware, plant, lighting and other modern fittings and futures to be discarded</li> <li>Ceilings to be locally repaired where necessary to allow for installation of new services</li> <li>Non-original structures to the rear removed</li> <li>Metal fixed ladder removed. Existing gate welded shut.</li> <li>Non-original structure around stair removed</li> <li>Sulta fixed lowered</li> <li>Boundary wall demolished</li> <li>Existing trellis replaced, subject to negotiation</li> <li>Ceiling removed and existing roof joists levelled</li> <li>New openings formed in exterior masony brickwork, reveals fully toothed in in style and bond to match existing Plaster on rear facade removed, subject to site</li> <li>investigation to confirm brick beneath is not damaged</li> </ul>			Drawing Key:		
B-B         C-C         A052         B-B         C-C         A052         C-C         All on-original floor finishes and sub flooring to be discarded         All original floorboards to be carefully lifted, numbered and set aside for re-use         Existing joists to be packed to level, refer to A400         All non-original window sashes to be discarded         All mechanical, electrical and plumbing services to be stripped out and discarded         Street facing rainwater pipe and hopper to remain         All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded         Ceilings to be locally repaired where necessary to allow for installation of new services         Non-original structures to the rear removed         Metal fixed ladder removed. Existing gate welded shut.         Non-original structure around stair removed			<ul> <li>5 Boundary w</li> <li>6 Existing trel</li> <li>7 Ceiling removed</li> <li>8 New opening reveals fully plaster on reveals fully</li> <li>9 investigation</li> </ul>	all demolished lis replaced, subject to negotia oved and existing roof joists le gs formed in exterior masonry r toothed in in style and bond t ear facade removed, subject t in to confirm brick beneath is n	velled / brickwork, o match existing o site
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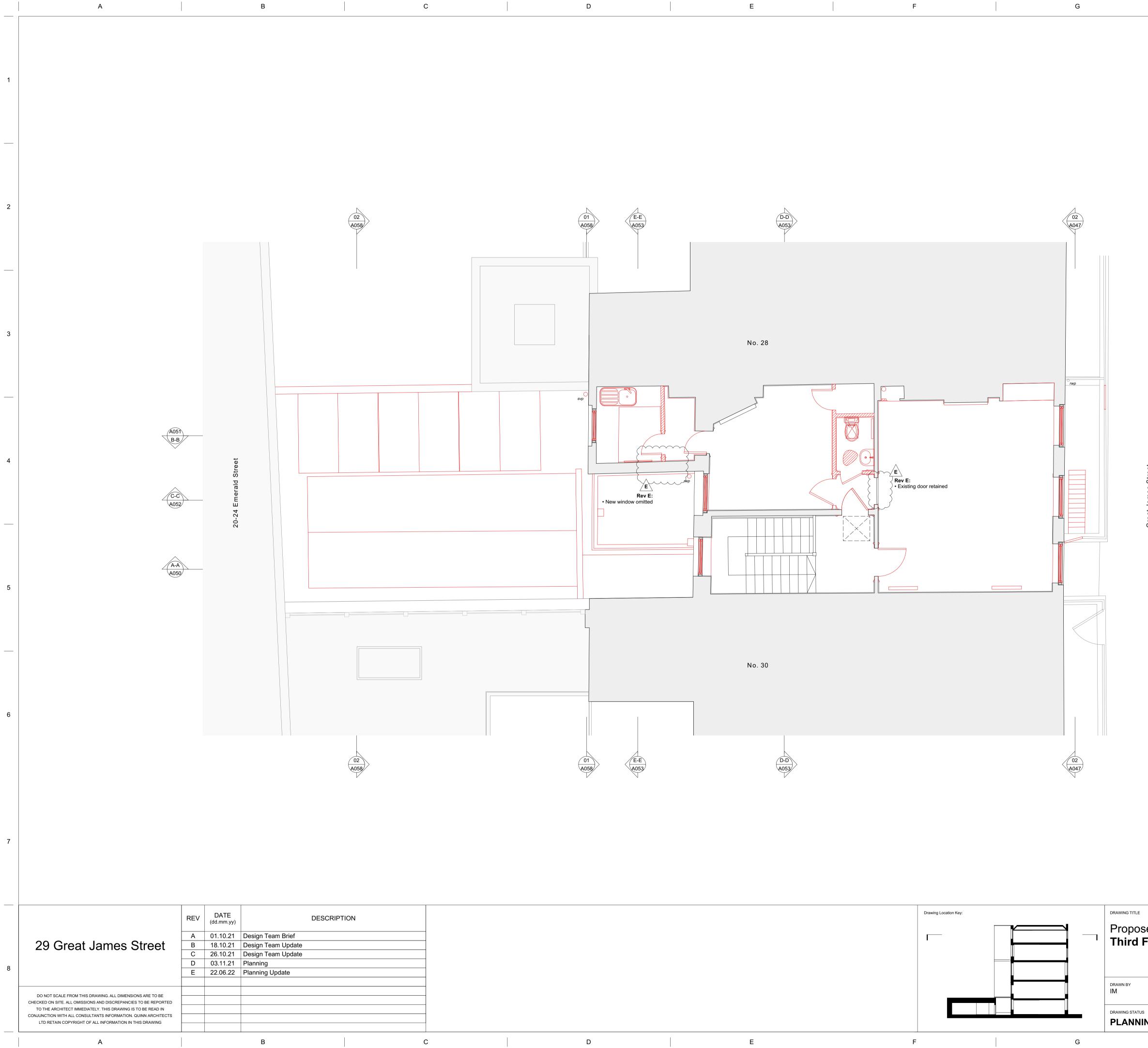
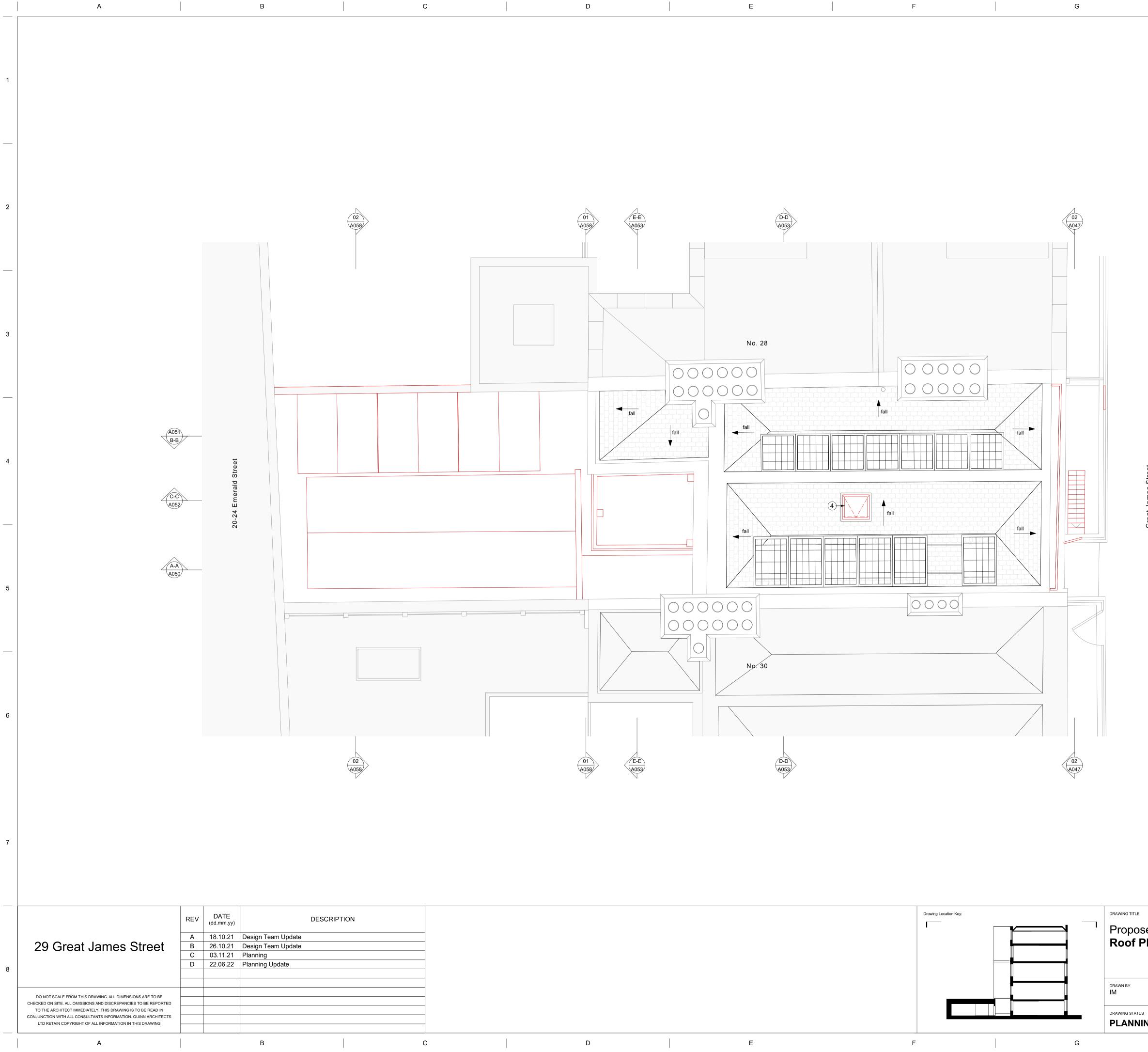


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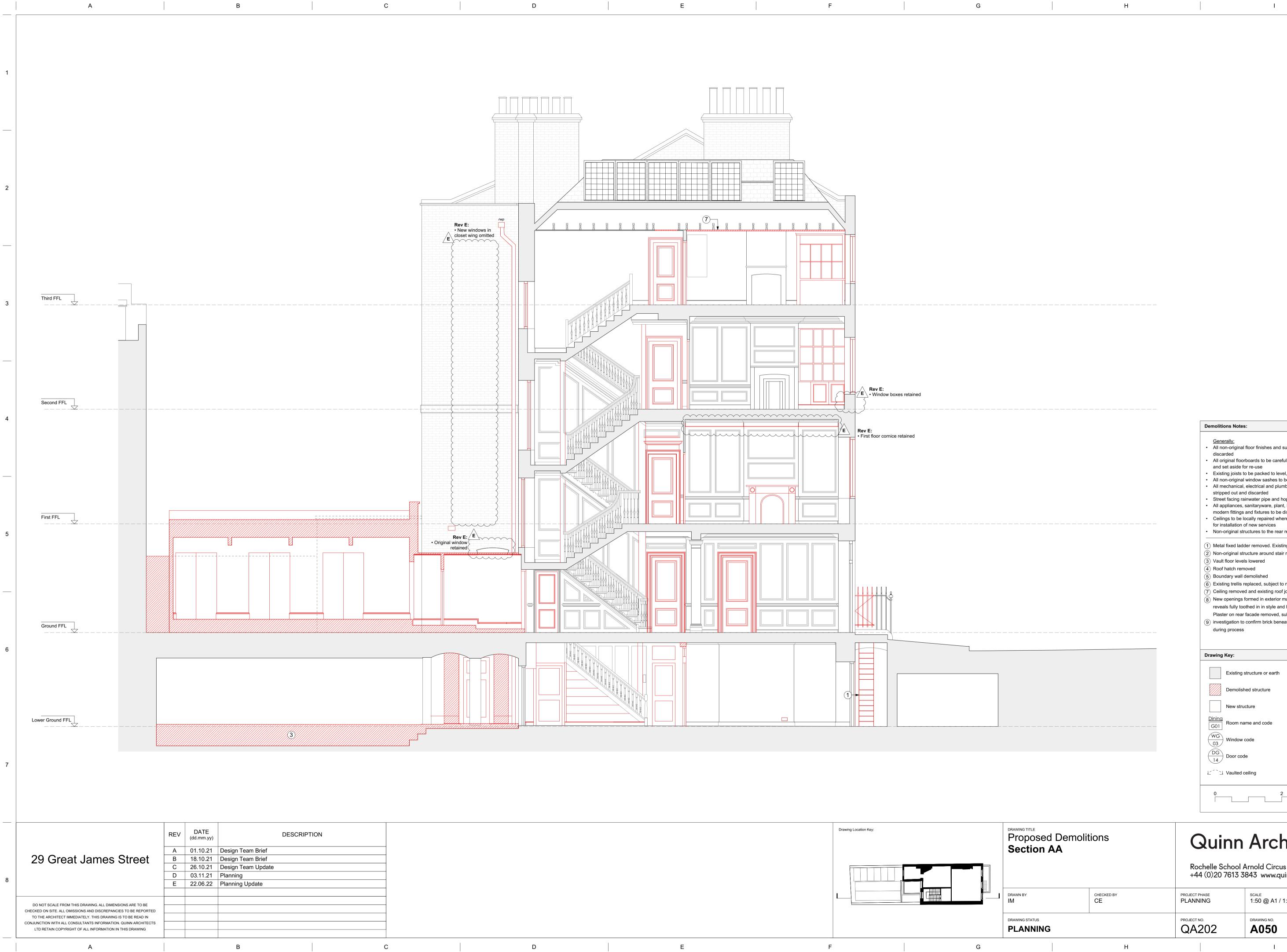
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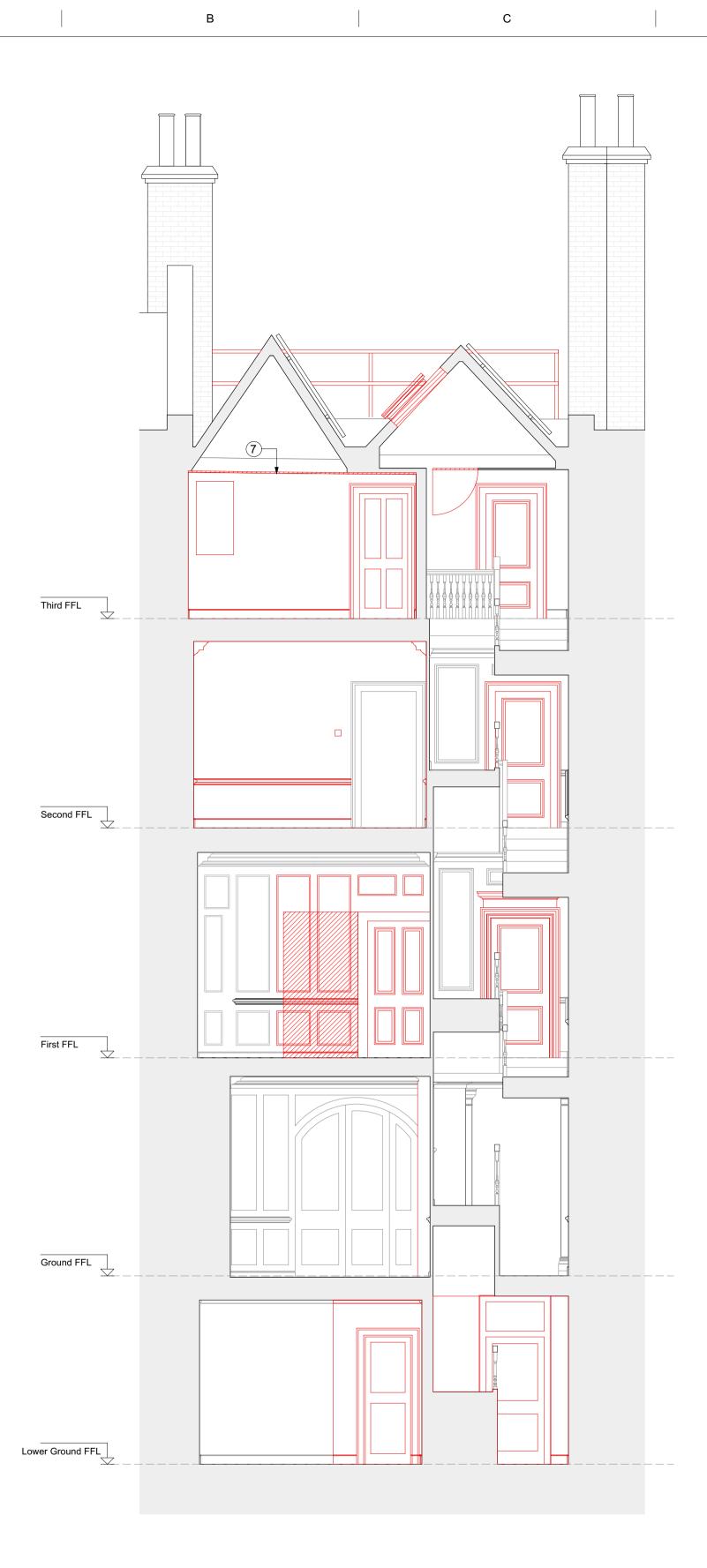
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	REV	DATE (dd.mm.yy)	DESCRIPTION
	Α	01.10.21	Design Team Brief
29 Great James Street	В	18.10.21	Design Team Brief
	С	26.10.21	Design Team Update
	D	03.11.21	Planning
	E	22.06.22	Planning Update
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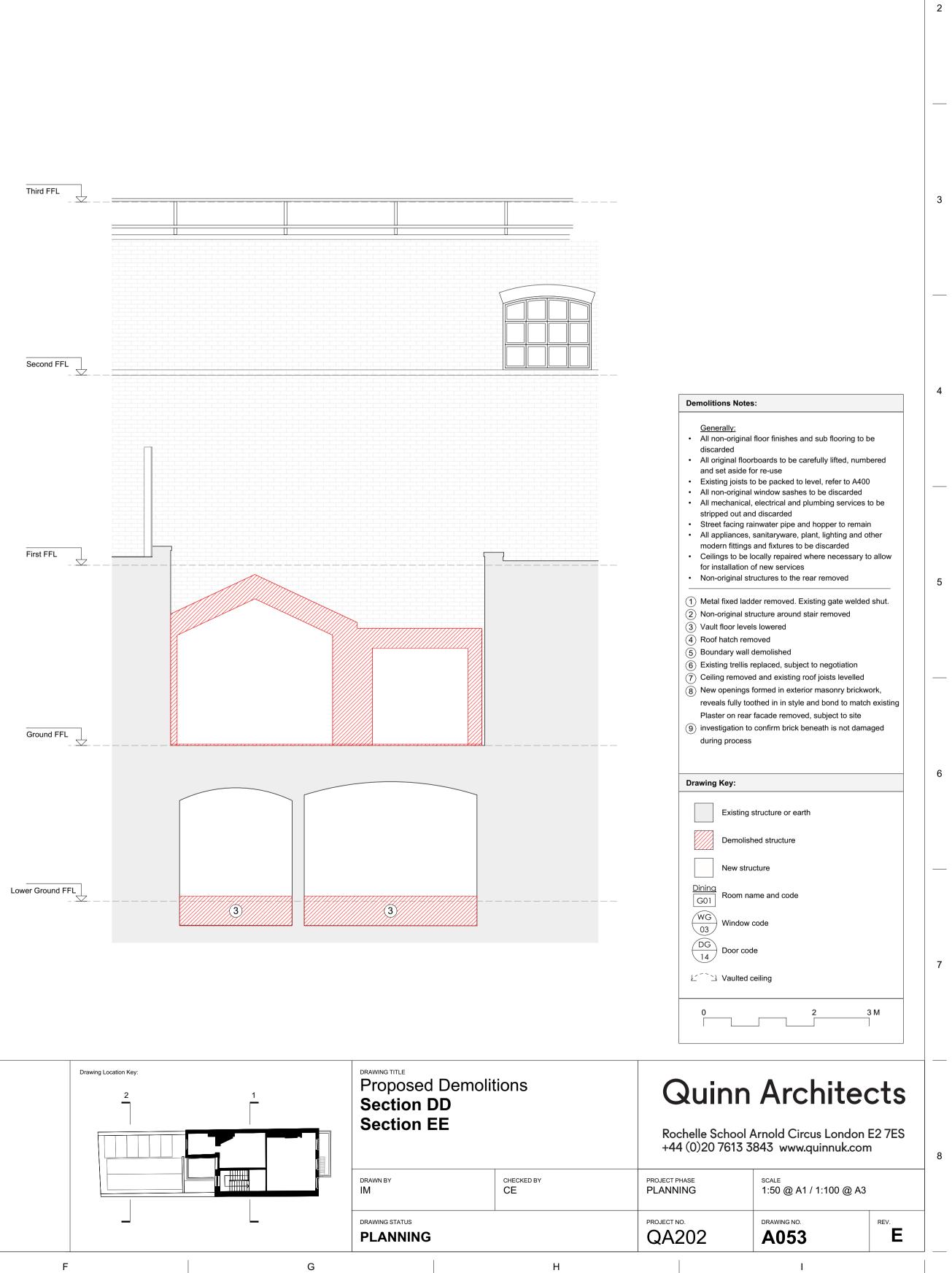
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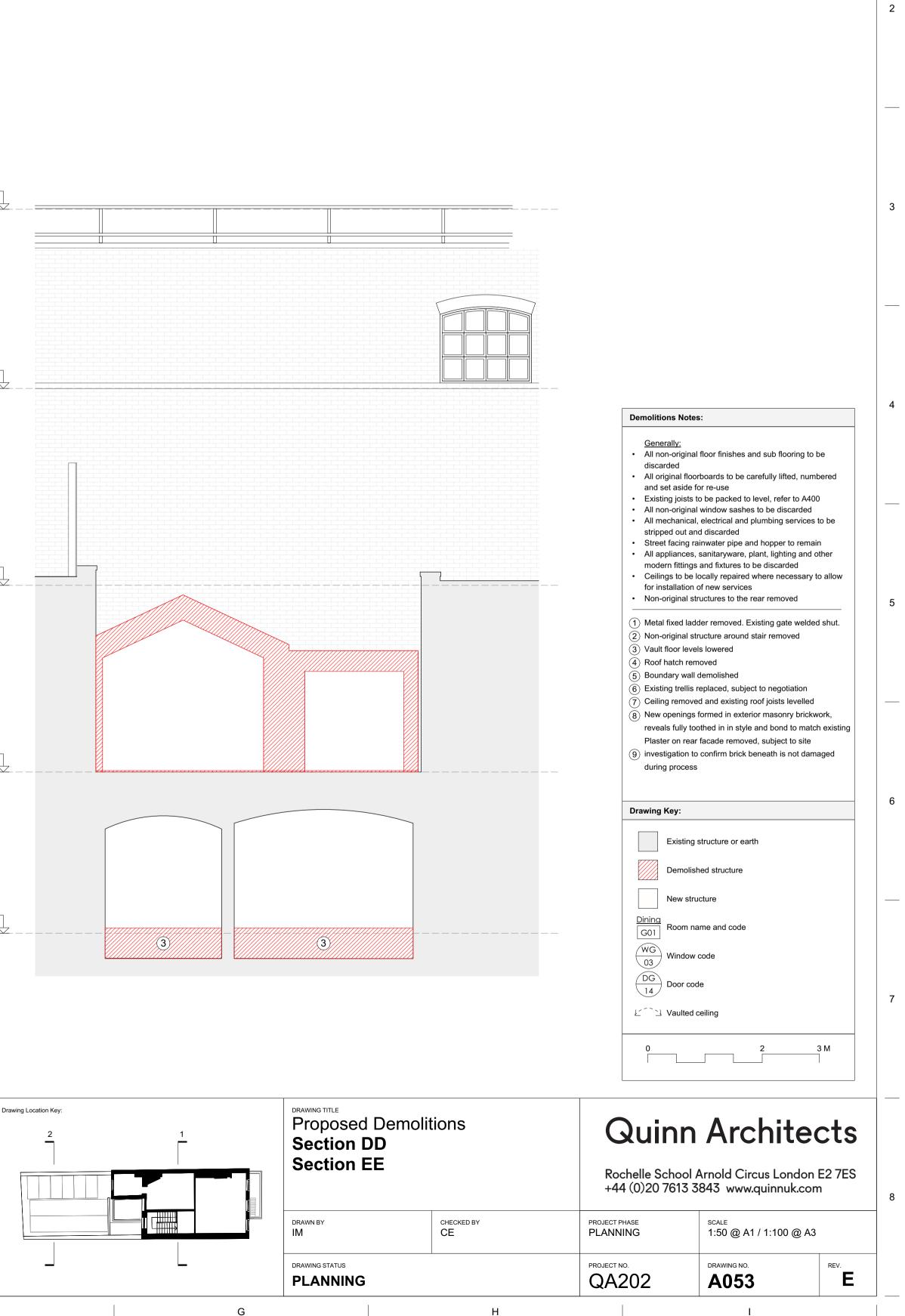
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