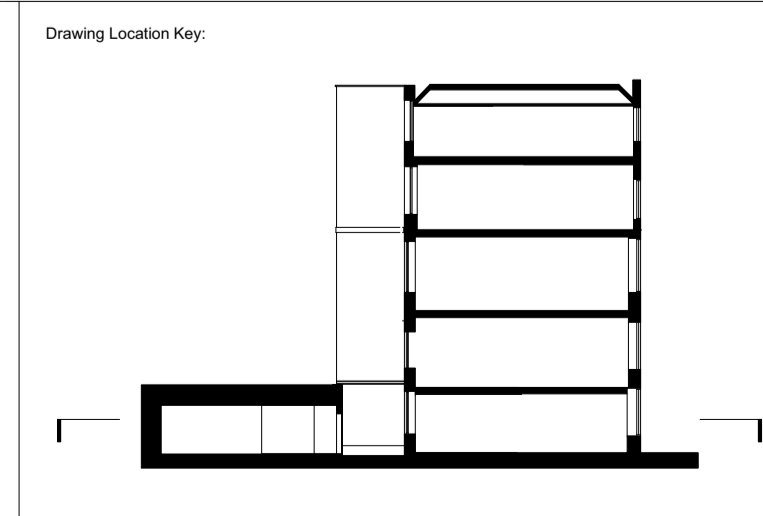


29 Great James Street

REV	DATE (dd.mm.yy)	DESCRIPTION
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B	18.10.21	Design Team Update
C	26.10.21	Design Team Update
D	03.11.21	Planning
E	22.06.22	Planning Update

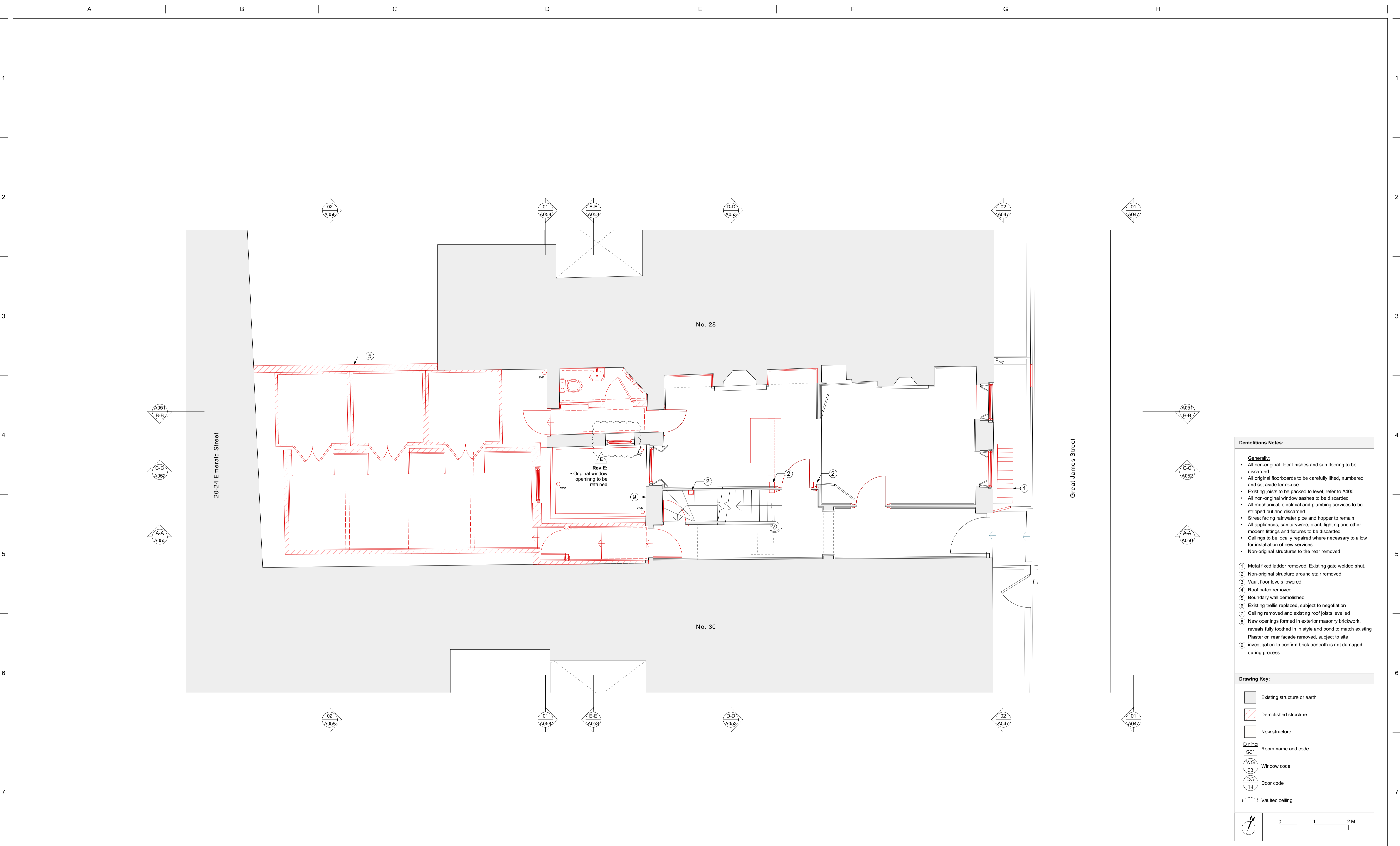
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DRAWING TITLE	
Proposed Demolitions Lower Ground Floor	
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IM	CE
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PLANNING	

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PROJECT PHASE	SCALE
PLANNING	1:50 @ A1 / 1:100 @ A3
PROJECT NO.	DRAWING NO.
QA202	A040
REV.	
E	



Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
- All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded
- Ceilings to be locally repaired where necessary to allow for installation of new services
- Non-original structures to the rear removed

① Metal fixed ladder removed. Existing gate welded shut.
 ② Non-original structure around stair removed
 ③ Vault floor levels lowered
 ④ Roof hatch removed
 ⑤ Boundary wall demolished
 ⑥ Existing trellis replaced, subject to negotiation
 ⑦ Ceiling removed and existing roof joists levelled
 ⑧ New openings formed in exterior masonry brickwork, reveals fully toothed in in style and bond to match existing. Plaster on rear facade removed, subject to site
 ⑨ investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Dining
 G01 Room name and code

WG 03 Window code

DC 14 Door code

V Vaulted ceiling

N

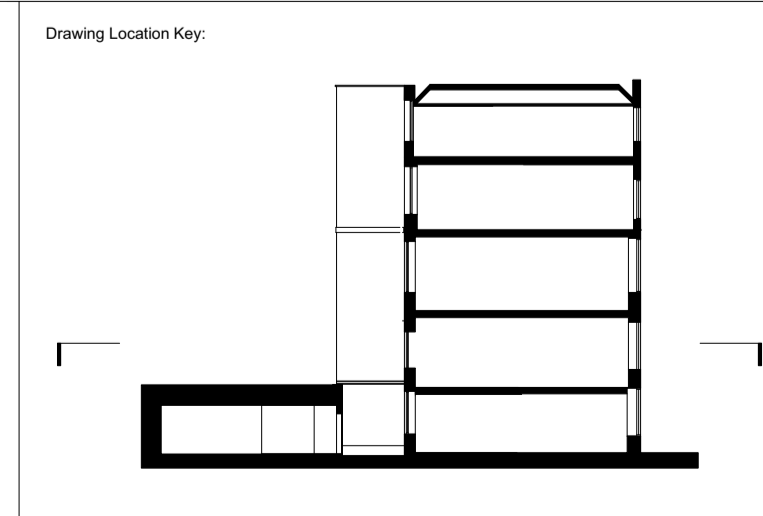
0 1 2 M

29 Great James Street

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Drawing Location Key:



DRAWING TITLE
 Proposed Demolitions
 Ground Floor

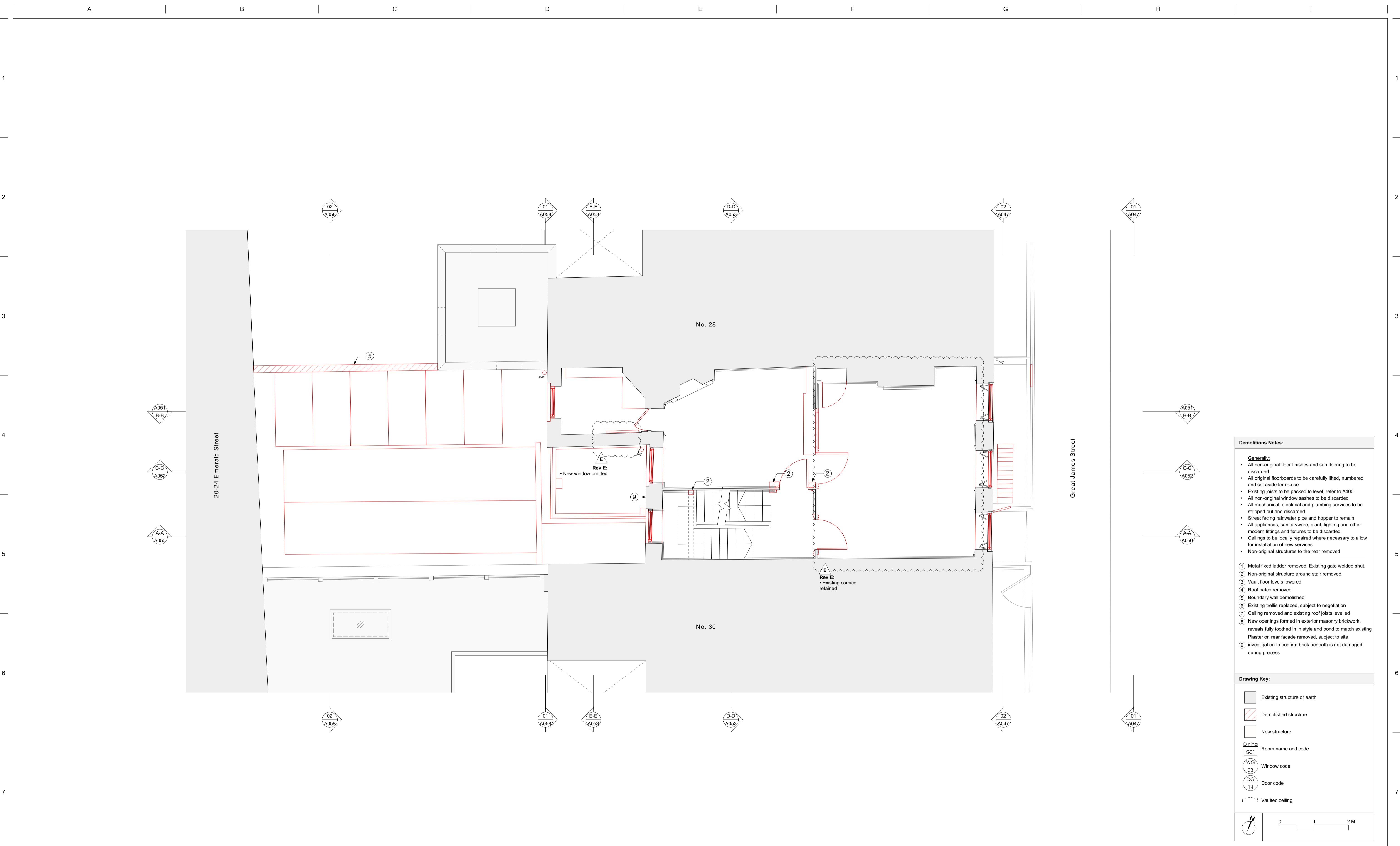
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PROJECT PHASE: PLANNING
 SCALE: 1:50 @ A1 / 1:100 @ A3

PROJECT NO.: QA202
 DRAWING NO.: A041
 REV: E



Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
- All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded
- Ceilings to be locally repaired where necessary to allow for installation of new services
- Non-original structures to the rear removed

① Metal fixed ladder removed. Existing gate welded shut.
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 ③ Vault floor levels lowered
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 ⑤ Boundary wall demolished
 ⑥ Existing trellis replaced, subject to negotiation
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 ⑨ investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Dining
 G01 Room name and code

WG 03 Window code

DC 14 Door code

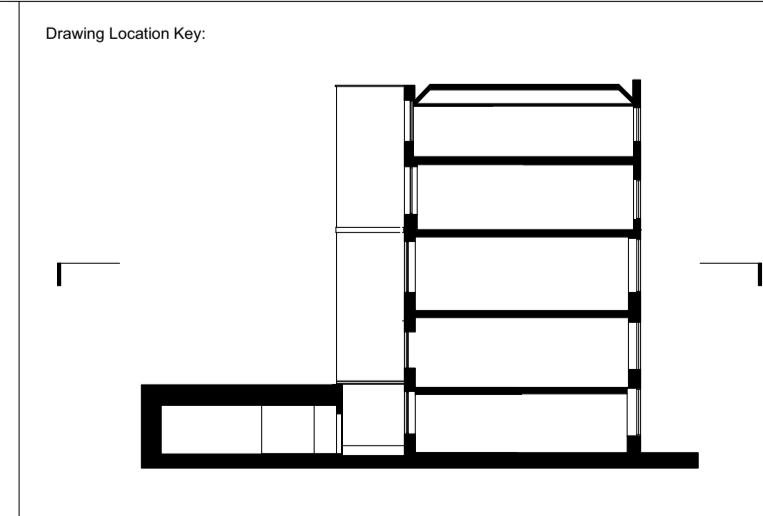
V Vaulted ceiling

0 1 2 M

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DRAWING TITLE
 Proposed Demolitions
 First Floor

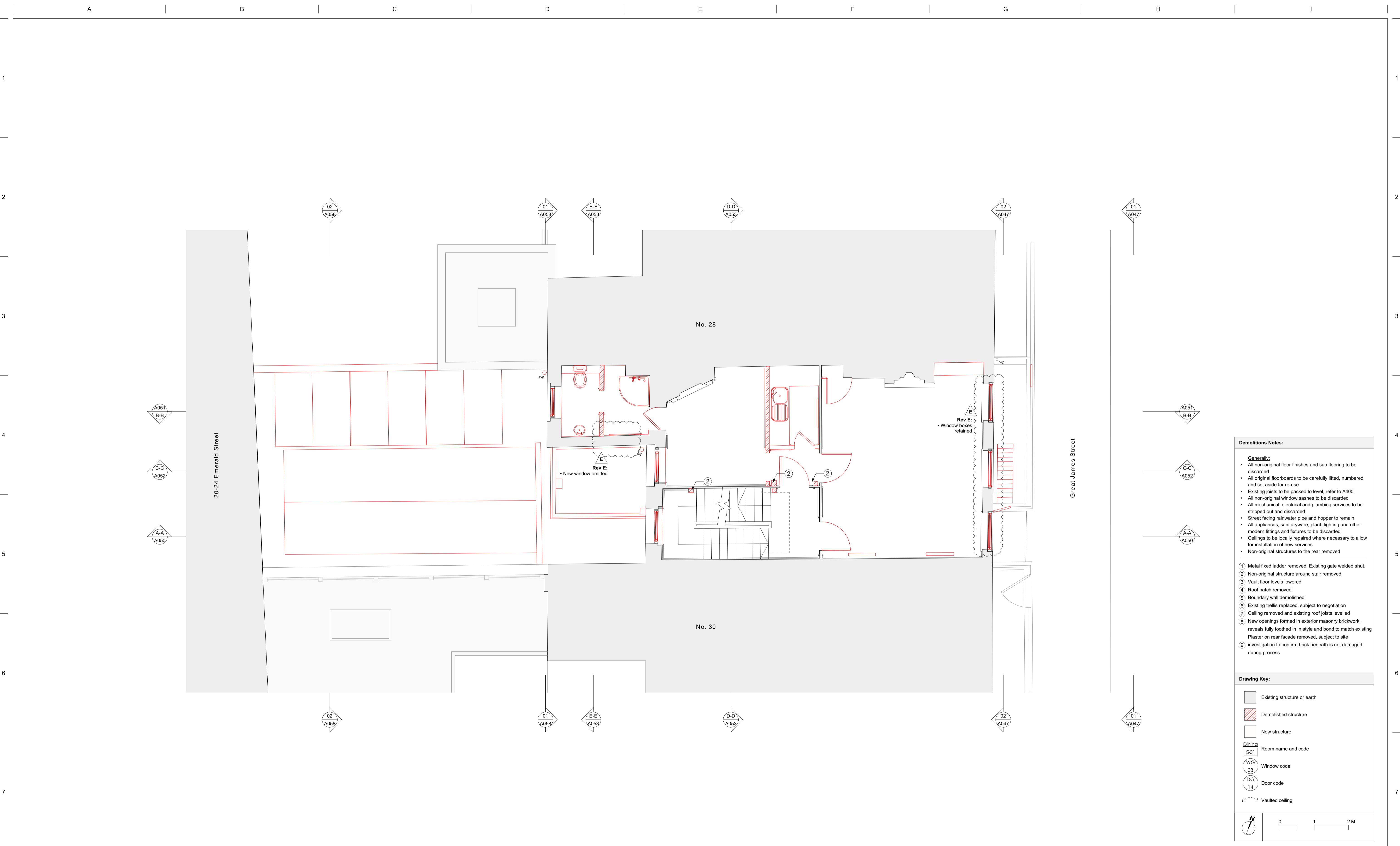
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PROJECT PHASE: PLANNING
 SCALE: 1:50 @ A1 / 1:100 @ A3

PROJECT NO.: QA202
 DRAWING NO.: A042
 REV: E



Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
- All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded
- Ceilings to be locally repaired where necessary to allow for installation of new services
- Non-original structures to the rear removed

- Metal fixed ladder removed. Existing gate welded shut.
- Non-original structure around stair removed
- Vault floor levels lowered
- Roof hatch removed
- Boundary wall demolished
- Existing trellis replaced, subject to negotiation
- Ceiling removed and existing roof joists levelled
- New openings formed in exterior masonry brickwork, reveals fully toothed in in style and bond to match existing. Plaster on rear facade removed, subject to site
- investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Drawing Location Key:

- Dining G01: Room name and code
- WG 03: Window code
- DC 14: Door code
- Vaulted ceiling symbol

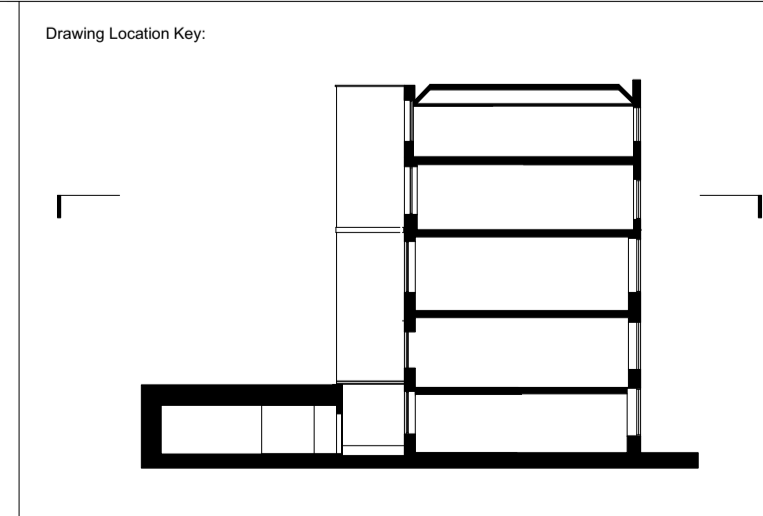
Scale: 0 1 2 M

29 Great James Street

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Drawing Location Key:



DRAWING TITLE
Proposed Demolitions
Second Floor

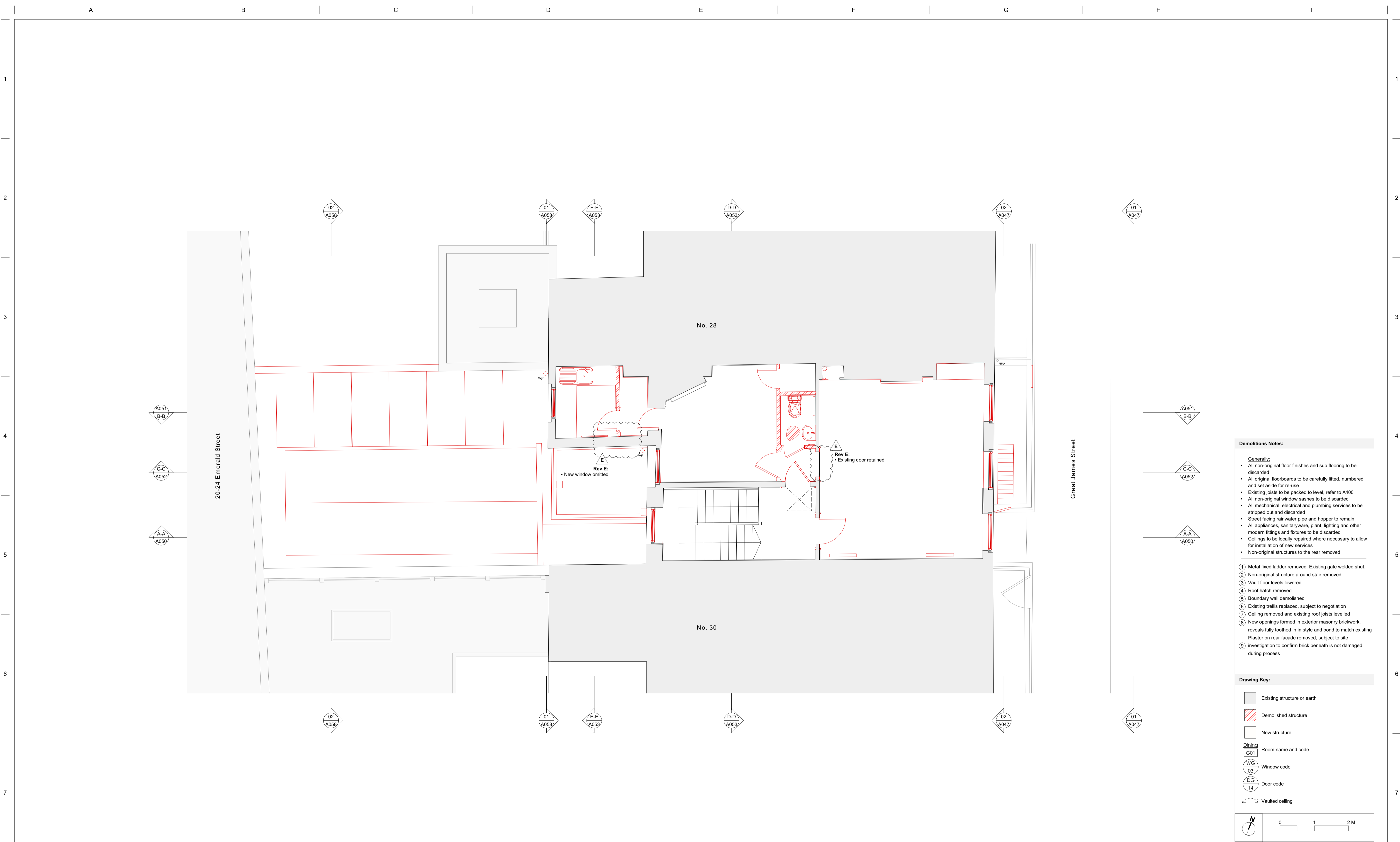
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PROJECT PHASE: PLANNING
SCALE: 1:50 @ A1 / 1:100 @ A3

PROJECT NO: QA202
DRAWING NO: A043
REV: E



Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
- All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded
- Ceilings to be locally repaired where necessary to allow for installation of new services
- Non-original structures to the rear removed

- Metal fixed ladder removed. Existing gate welded shut.
- Non-original structure around stair removed
- Vault floor levels lowered
- Roof hatch removed
- Boundary wall demolished
- Existing trellis replaced, subject to negotiation
- Ceiling removed and existing roof joists levelled
- New openings formed in exterior masonry brickwork, reveals fully toothed in in style and bond to match existing. Plaster on rear facade removed, subject to site
- Investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Drawing Location Key:

- Dining G01 Room name and code
- WG 03 Window code
- DC 14 Door code
- V Vaulted ceiling

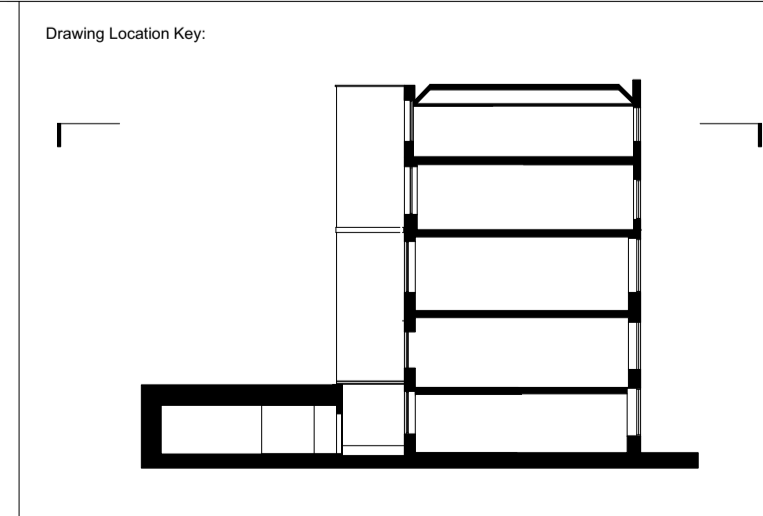
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Drawing Location Key:



Proposed Demolitions Third Floor

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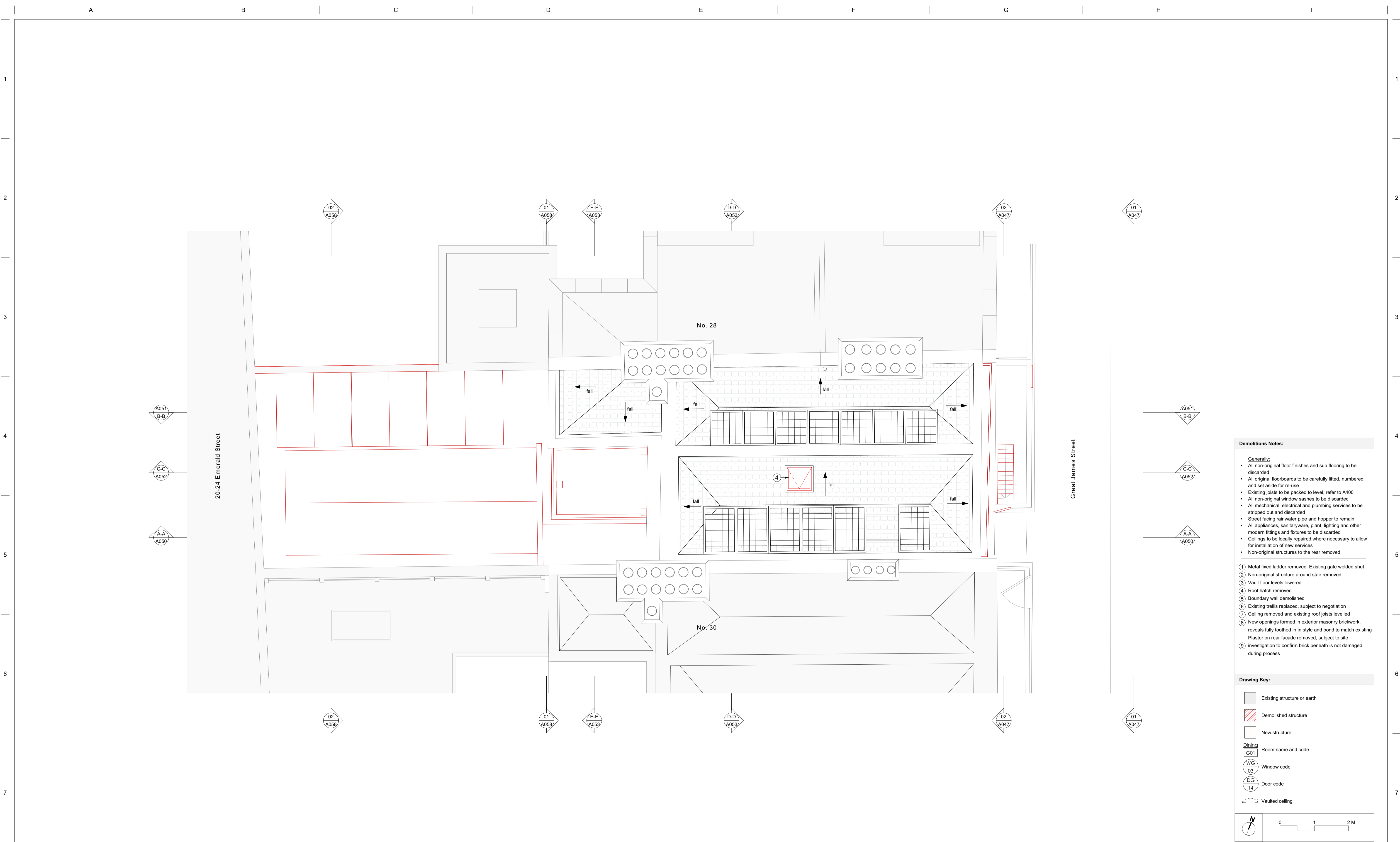
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PROJECT PHASE: **PLANNING**
SCALE: 1:50 @ A1 / 1:100 @ A3

PROJECT NO: **QA202**
DRAWING NO: **A044**
REV: **E**



Demotions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
- All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded
- Ceilings to be locally repaired where necessary to allow for installation of new services
- Non-original structures to the rear removed

- Metal fixed ladder removed. Existing gate welded shut.
- Non-original structure around stair removed
- Vault floor levels lowered
- Roof hatch removed
- Boundary wall demolished
- Existing trellis replaced, subject to negotiation
- Ceiling removed and existing roof joists levelled
- New openings formed in exterior masonry brickwork, reveals fully toothed in in style and bond to match existing. Plaster on rear facade removed, subject to site
- Investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Dining
G01 Room name and code

WG 03 Window code

DC 14 Door code

V Vaulted ceiling

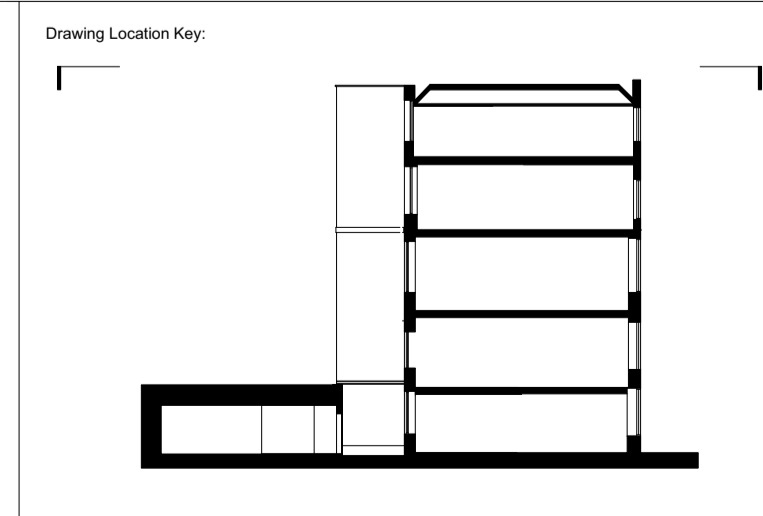
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0 1 2 M

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Proposed Demolitions Roof Plan

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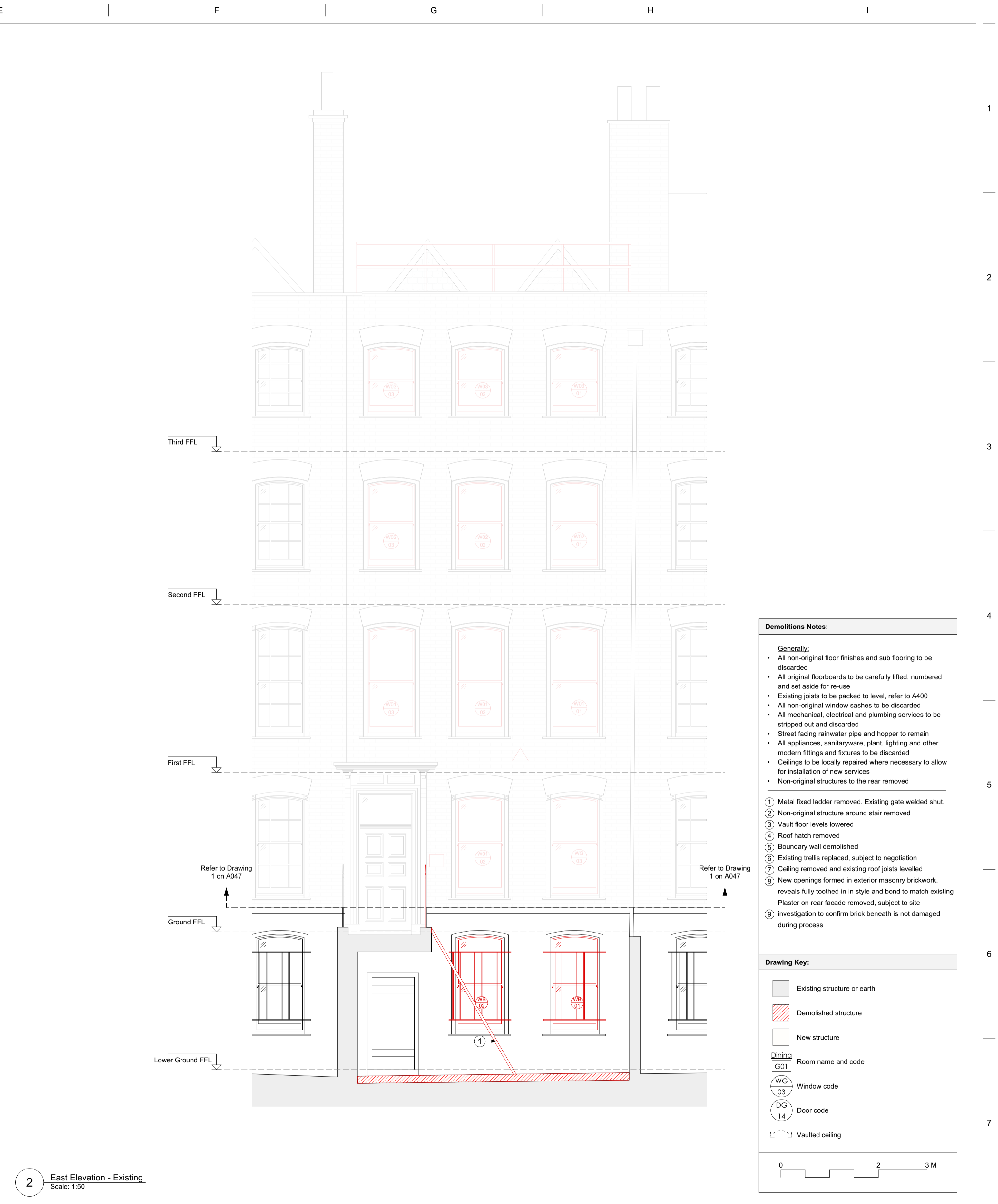
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SCALE: 1:50 @ A1 / 1:100 @ A3

PROJECT NO: **QA202**
DRAWING NO: **A045**
REV: **D**



1 East Elevation - Existing
Scale: 1:50



2 East Elevation - Existing
Scale: 1:50

Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
- All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded
- Ceilings to be locally repaired where necessary to allow for installation of new services
- Non-original structures to the rear removed

- Metal fixed ladder removed. Existing gate welded shut.
- Non-original structure around stair removed
- Vault floor levels lowered
- Roof hatch removed
- Boundary wall demolished
- Existing trellis replaced, subject to negotiation
- Ceiling removed and existing roof joists levelled
- New openings formed in exterior masonry brickwork, reveals fully toothed in style and bond to match existing Plaster on rear facade removed, subject to site
- Investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Dining
G01 Room name and code

WG 03 Window code

DC 14 Door code

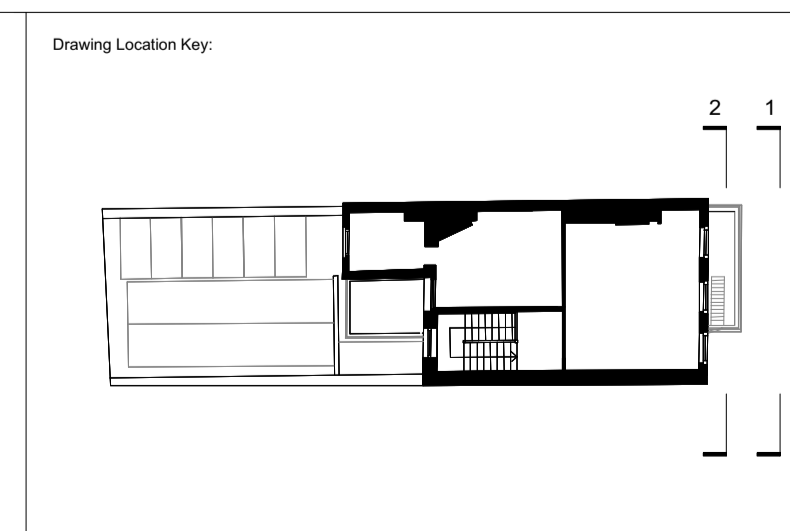
V Vaulted ceiling

0 2 3 M

29 Great James Street

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Proposed Demolitions East Elevations

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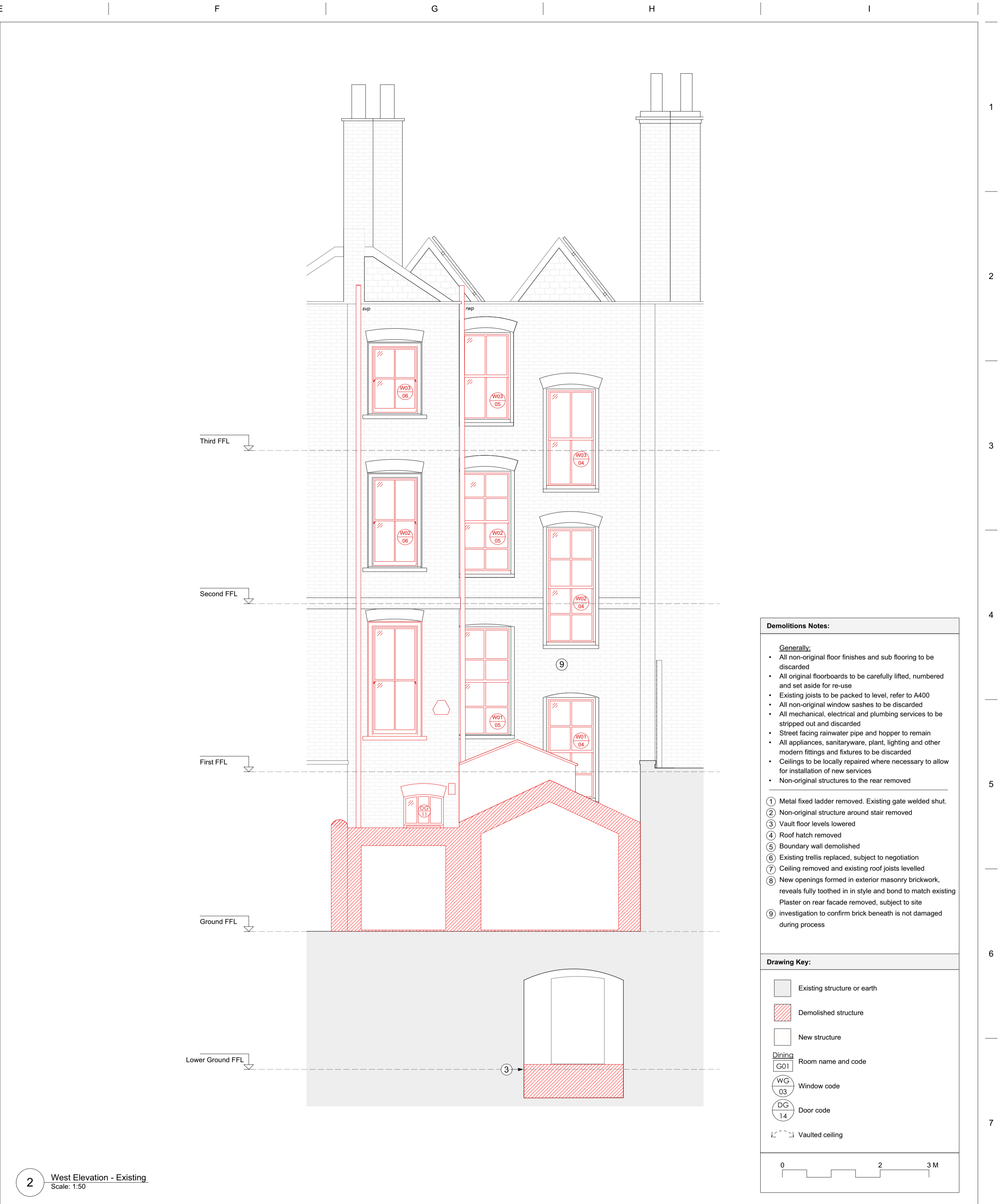
PROJECT NO: **QA202**

DRAWING NO: **A047**

REV: **E**



1 West Elevation - Existing
Scale: 1:50



2 West Elevation - Existing
Scale: 1:50

Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
- All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded
- Ceilings to be locally repaired where necessary to allow for installation of new services
- Non-original structures to the rear removed

- Metal fixed ladder removed. Existing gate welded shut.
- Non-original structure around stair removed
- Vault floor levels lowered
- Roof hatch removed
- Boundary wall demolished
- Existing trellis replaced, subject to negotiation
- Ceiling removed and existing roof joists levelled
- New openings formed in exterior masonry brickwork, reveals fully toothed in in style and bond to match existing. Plaster on rear facade removed, subject to site
- Investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Dining
G01 Room name and code

WG 03 Window code

DC 14 Door code

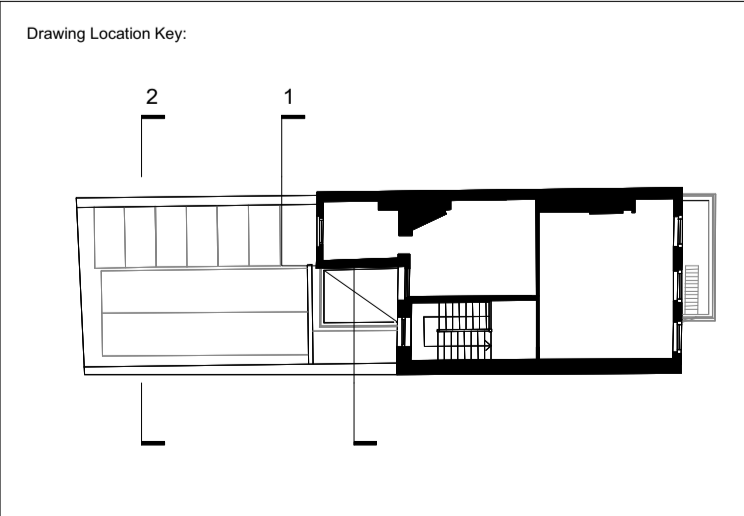
V Vaulted ceiling

0 2 3 M

29 Great James Street

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DRAWING TITLE
**Proposed Demolitions
West Elevations**

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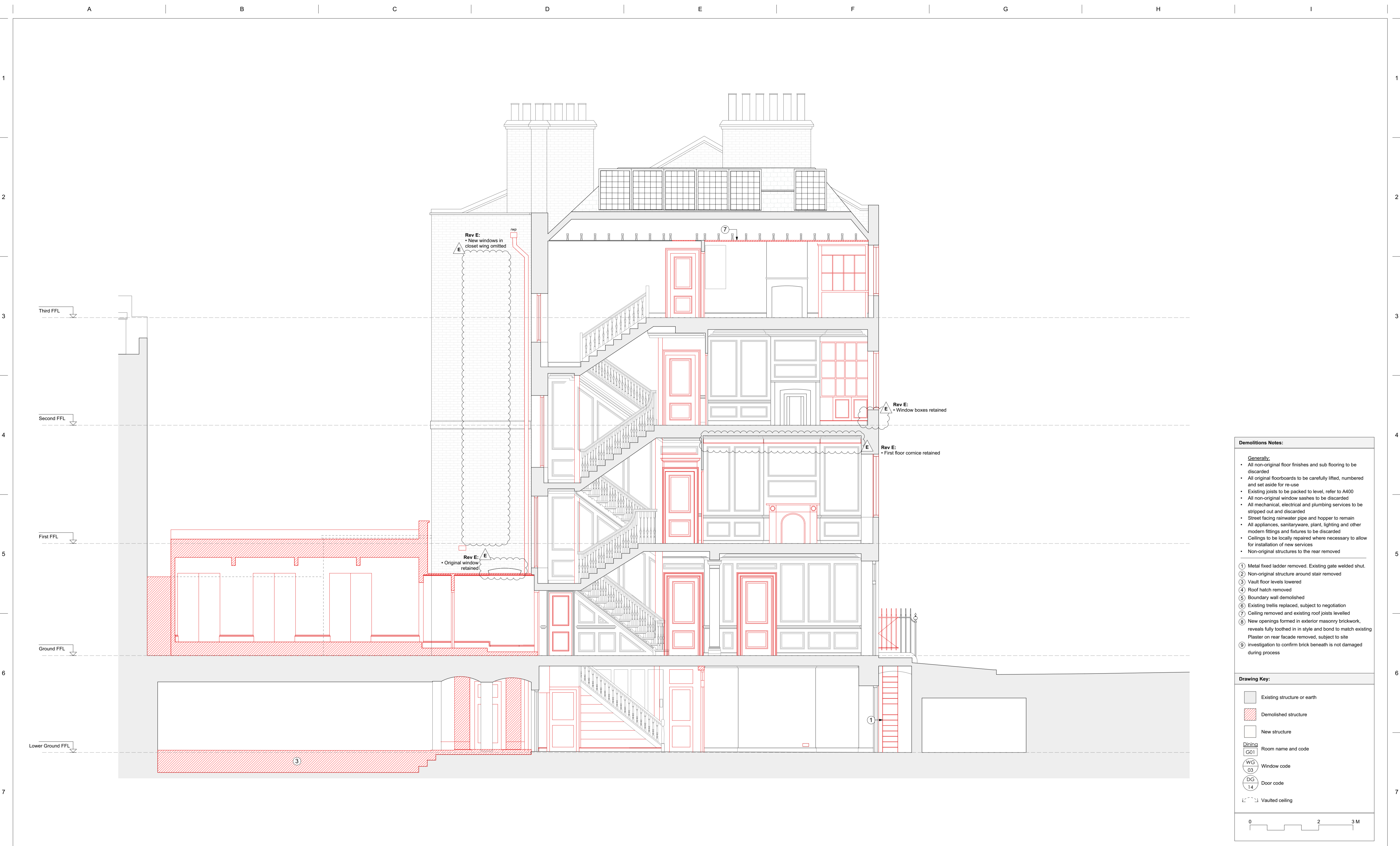
PROJECT PHASE
PLANNING

SCALE
1:50 @ A1 / 1:100 @ A3

PROJECT NO.
QA202

DRAWING NO.
A048

REV.
E



Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
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 ⑤ Boundary wall demolished
 ⑥ Existing trellis replaced, subject to negotiation
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 Plaster on rear facade removed, subject to site
 ⑨ investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Dining G01 Room name and code
 WC 03 Window code
 DC 14 Door code
 Vaulted ceiling

0 2 3 M

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Drawing Location Key:

DRAWING TITLE
Proposed Demolitions Section AA

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PLANNING

PROJECT PHASE
PLANNING

SCALE
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PROJECT NO.
QA202

DRAWING NO.
A050

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E

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Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
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 ⑨ investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

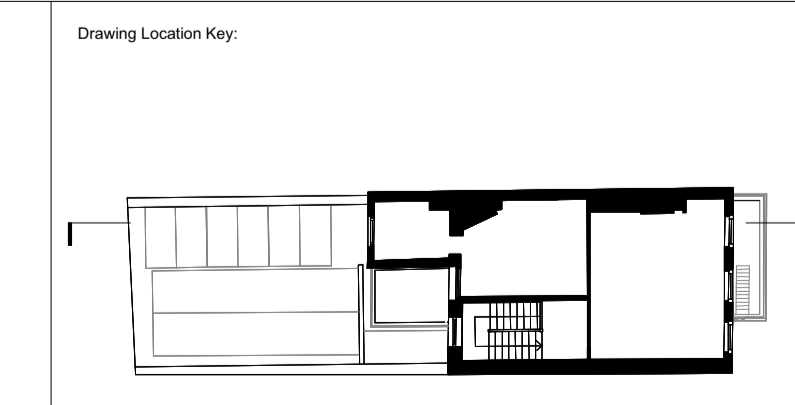
Dining G01 Room name and code
WG 03 Window code
DC 14 Door code
 Vaulted ceiling

0 2 3 M

29 Great James Street

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Proposed Demolitions Section BB

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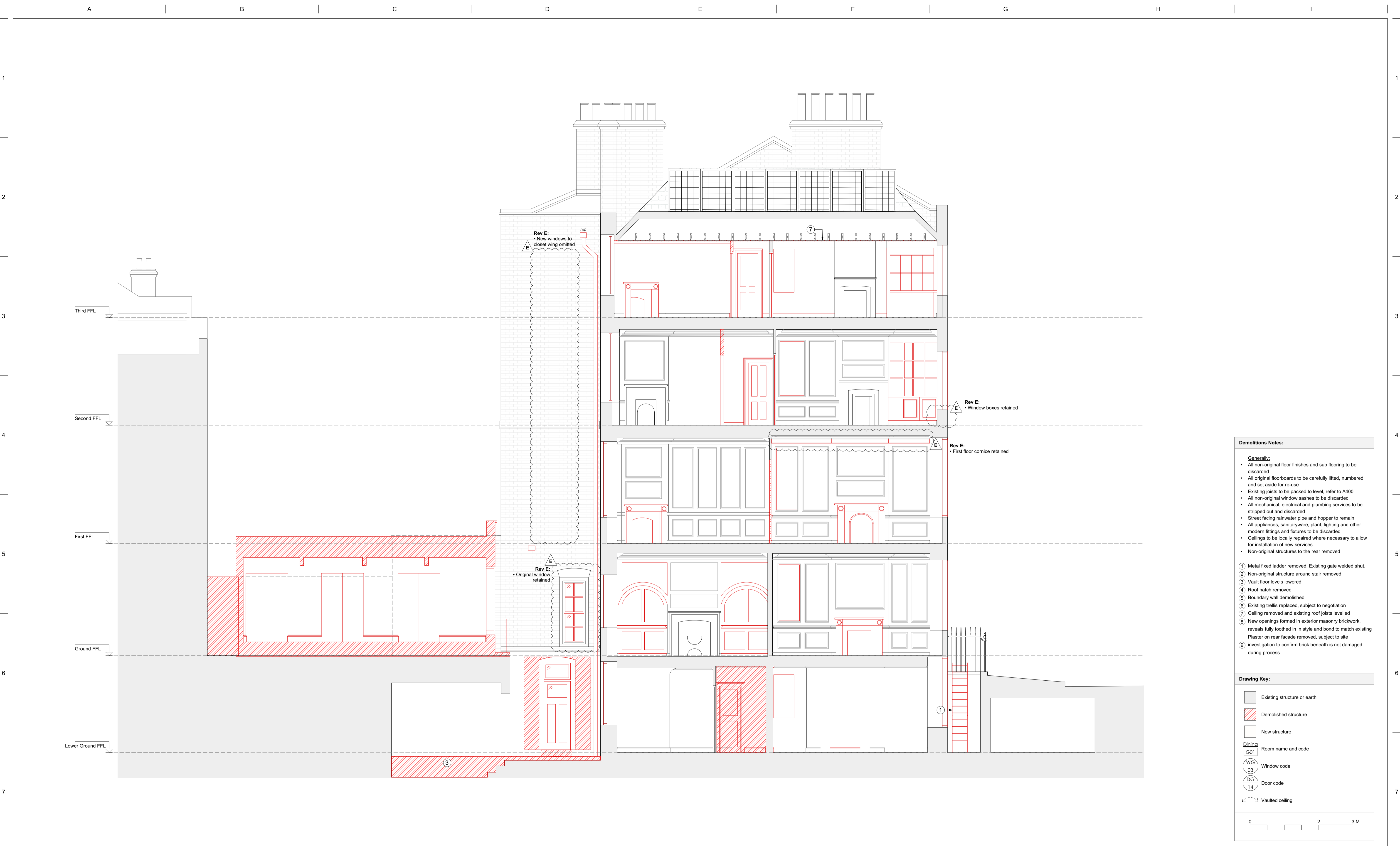
PROJECT PHASE
PLANNING

SCALE
 1:50 @ A1 / 1:100 @ A3

PROJECT NO.
QA202

DRAWING NO.
A051

REV.
E



Demolitions Notes:

Generally:

- All non-original floor finishes and sub flooring to be discarded
- All original floorboards to be carefully lifted, numbered and set aside for re-use
- Existing joists to be packed to level, refer to A400
- All non-original window sashes to be discarded
- All mechanical, electrical and plumbing services to be stripped out and discarded
- Street facing rainwater pipe and hopper to remain
- All appliances, sanitaryware, plant, lighting and other modern fittings and fixtures to be discarded
- Ceilings to be locally repaired where necessary to allow for installation of new services
- Non-original structures to the rear removed

① Metal fixed ladder removed. Existing gate welded shut.
 ② Non-original structure around stair removed
 ③ Vault floor levels lowered
 ④ Roof hatch removed
 ⑤ Boundary wall demolished
 ⑥ Existing trellis replaced, subject to negotiation
 ⑦ Ceiling removed and existing roof joists levelled
 ⑧ New openings formed in exterior masonry brickwork, reveals fully toothed in in style and bond to match existing Plaster on rear facade removed, subject to site
 ⑨ investigation to confirm brick beneath is not damaged during process

Drawing Key:

- Existing structure or earth
- Demolished structure
- New structure

Dining
 G01 Room name and code

WG 03 Window code
 DC 14 Door code

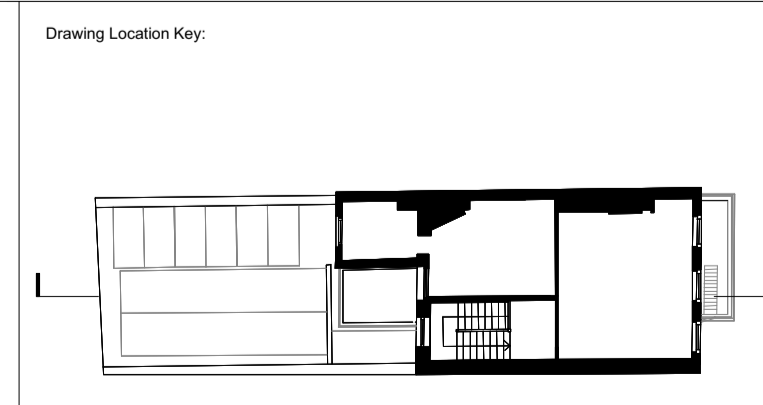
V Vaulted ceiling

0 2 3 M

29 Great James Street

REV	DATE (dd.mm.yy)	DESCRIPTION
A	01.10.21	Design Team Brief
B	18.10.21	Design Team Brief
C	26.10.21	Design Team Update
D	03.11.21	Planning
E	22.06.22	Planning Update

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DRAWING TITLE
 Proposed Demolitions
 Section CC

DRAWN BY: IM
 CHECKED BY: CE

DRAWING STATUS
 PLANNING

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PROJECT PHASE: PLANNING
 SCALE: 1:50 @ A1 / 1:100 @ A3

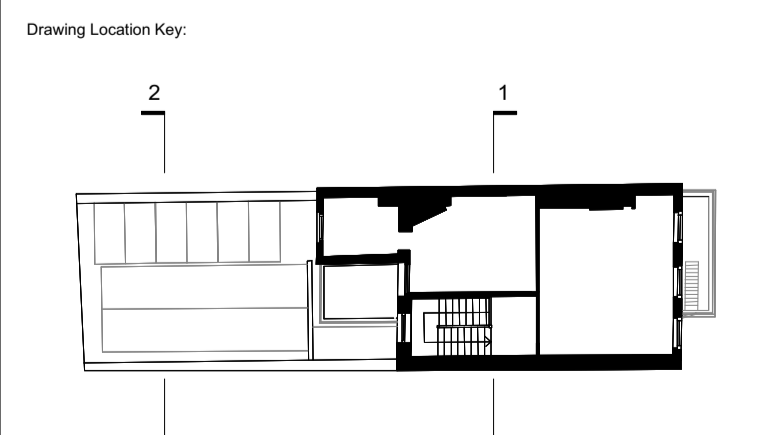
PROJECT NO.: QA202
 DRAWING NO.: A052
 REV: E



29 Great James Street

REV	DATE (dd.mm.yy)	DESCRIPTION
A	01.10.21	Design Team Brief
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Section EE

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PROJECT NO.
QA202

DRAWING NO.
A053

REV.
E