



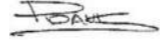








elliottwood

**3-5 Bedford Row and  
3-5 Jockey's Fields**

Flood Risk Assessment

engineering a better **society**

		Remarks:	Issued for Planning				
Revision:	P1	Prepared by:	Marco Tranchina MEng (Hons)	Checked by:	K Trimmer MEng (Hons) CEng MICE	Approved by:	Paul Davis BEng (Hons) MSc CEng MICE
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# One

## Executive summary

In accordance with the GOV.uk flood maps for planning, the Site is in Flood Zone 1 - land and property assessed as having less than a 0.1% chance of flooding from tidal sources in any given year.

As the development is located within Flood Zone 1, neither the Sequential nor Exception Test need to be applied.

Flood risk from fluvial and tidal sources, surface water, sewers, groundwater, and artificial waterbodies is considered to be low for this Site. Safe access and egress from the Site is maintained when considered alongside all sources of potential flooding.

The proposed development does not increase flood risk to the Site or surrounding area and is considered safe from the risk of flooding for its lifetime. The development is therefore considered to be in accordance with the requirements of NPPF, The London Plan and the London Borough of Camden policy.

Refer to separate Elliott Wood report for the proposed Drainage Strategy.

# Two

## Introduction

Elliott Wood Partnership Ltd has been commissioned to provide a Flood Risk Assessment (FRA) to support the planning application for the proposed extension and refurbishment works at 3-5 Bedford Row and 3-5 Jockey's Fields, London, WC1R 4BU.

This FRA will assess the risk of flooding to the site and review the impact the proposed development will have with regards to flood risk within the site and to surrounding properties, and where appropriate, propose suitable mitigation measures. This is in line with the requirements of the National Planning Policy Framework (NPPF).

The Flood Risk Mechanisms being considered as part of this Flood Risk Assessment (FRA) are as follows:

- Rivers and Sea
- Surface water / Overland Flow
- Flooding from Artificial Waterbodies
- Infrastructure Failure / Sewer Flooding
- Groundwater

# Three

## Site Context

### 3.1 Site Location

The existing site is located at 3 – 5 Bedford Row. It is bounded to the north and south by existing commercial properties. It is bounded to the west by Bedford Row and to the east by Jockey's Fields. The national grid reference for the site is 530862E, 181738 N.

The Lead Local Flood Authority (LLFA), responsible for approval of the Flood Risk Assessment is London Borough of Camden (LBC). The Statutory Sewerage Undertaker for the area is Thames Water (TW).



Figure 1: Site Location

### 3.2 Existing Development

The existing site consists of a 4-storey Georgian terrace building (Grade 2 listed) on the western side, and a 3-storey Victorian terrace building on the eastern side, joined by a more modern 2-storey internal structure. There is a single storey basement across the entire Site, with a ramp access from Jockey's field down to basement level.

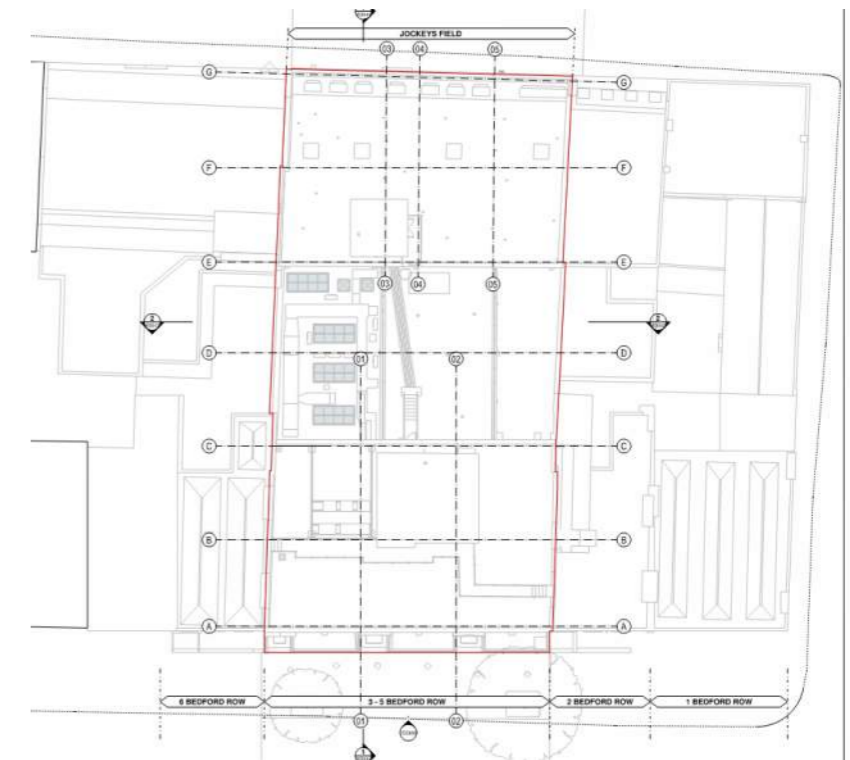


Figure 2: Existing Roof Plan (HUT Architects)

### 3.3 Existing Building Survey & Ground Conditions

An existing building survey was undertaken by PointBIM in 2021; this can be found in Appendix A.

The survey shows that the ground floor levels on the Site fall from approximately 25.170 on the western (Bedford Row) side of the Site to approximately 23.709 on the eastern (Jockey's Field) side of the Site. The basement levels fall from approximately 22.000 on the western (Bedford Row) side of the Site to approximately 21.530 on the eastern (Jockey's Field) side of the Site.

Review of the BGS maps show the Site is situated on a bedrock of London Clay Formation with superficial deposits of Lynch Hill Gravel Member, a sedimentary sand and gravel deposit.

### 3.4 Proposed Development

The proposed development includes the vertical extension of all three areas of the existing building, to achieve the following:

- Bedford Row Building (5 storeys + basement)
- Link Building (3 Storeys + basement)
- Jockeys Fields Building (4 storeys + basement)

A new core area is being proposed, as well as relocation and amendments of the existing core areas.

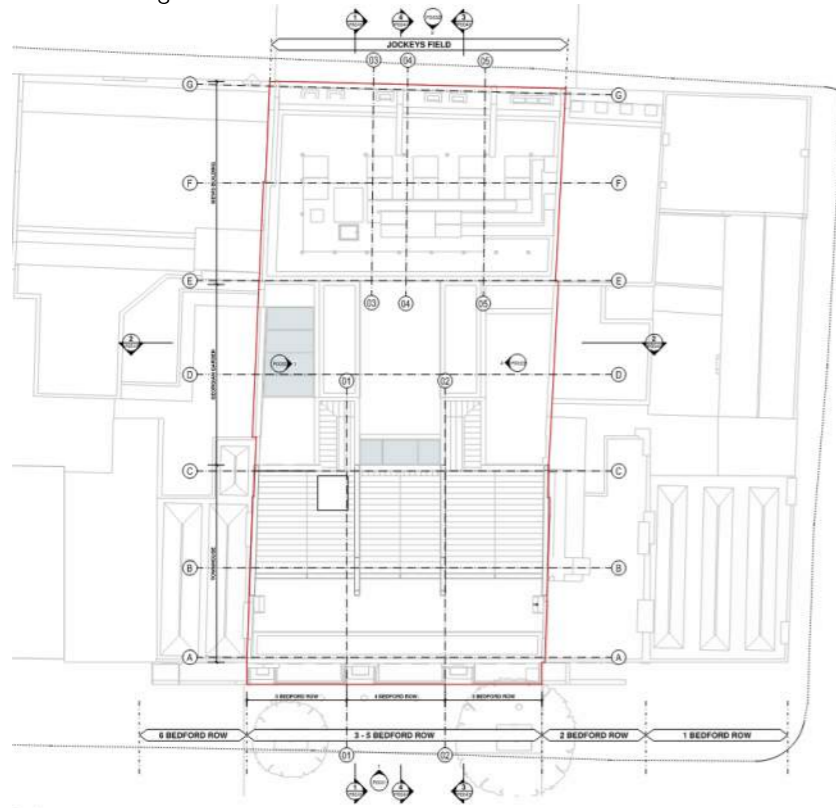


Figure 3: Proposed Site Layout (HUT Architects)

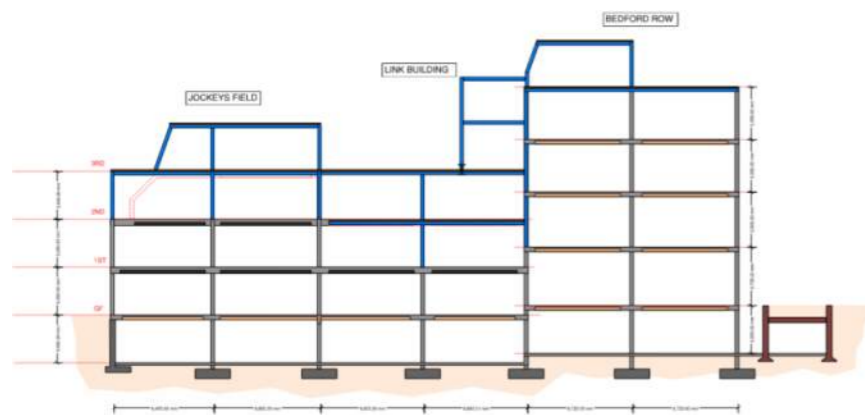


Figure 4: Proposed Section (Elliott Wood)

## Four

### Planning and Flood Risk Policy

#### 4.1 Policy Summary

This Flood Risk Assessment has been written in accordance with the NPPF (Planning and flood risk paragraphs 155 – 165) and the government Planning Practice Guidance (PPG) on flood risk and coastal change.

Flood risk will be assessed for the following flood risk mechanisms:

- Rivers and Seas
- Overground Surface Water Flows
- Sewer Flooding / Infrastructure Failure
- Groundwater
- Artificial Waterbodies

The following documents have been reviewed in preparation of this flood risk assessment:

- London Borough of Camden Flood Risk Management Strategy (FRMS) 2013
- London Borough of Camden Strategic Flood Risk Assessment (SFRA) 2014
- London Borough of Camden Preliminary Flood Risk Assessment (SFRA) 2011
- London Borough of Camden Surface Water Management Plan (SWMP)
- Thames Basin Flood Risk Management Plans (FRMP)
- London Borough of Camden Water and Flooding Planning Guidance 2019
- GOV.uk flood risk maps

#### 4.2 Sequential and Exception Test

##### 4.2.1 Sequential Test

As stated within the PPG for flood risk and coastal change, the aim of the Sequential Test is to steer new development to areas with the lowest probability of flooding. Where there are no reasonably available Sites in Flood Zone 1, local planning authorities in their decision making should take into account the flood risk vulnerability of land uses and consider reasonably available sites in Flood Zone 2 & 3 (areas with a medium or high probability of river or sea flooding), applying the Exception Test if required.

Based on data from GOV.UK the Site is considered to be in Flood Zone 1. Flood Zone 1 comprises land assessed as having a less than 1 in 1000 annual probability of river or tidal flooding in any year. All uses of land for development are considered appropriate in this zone.

In accordance with Annex 3: Flood risk vulnerability classification of the "Flood risk and coastal change" PPG, the proposed development is classified as "less vulnerable" due to the building being proposed as office use.

In accordance with Table 2 of the Planning Practice Guidance: Flood Risk and Coastal Change, the sequential test is passed, as the exception test is **not** required for "more vulnerable" developments within Flood Zone 1.

# Five

## Sources of Potential Flooding

### 5.1 Flooding from Rivers and Sea

Based on data from GOV.UK the Site is considered to be in Flood Zone 1.

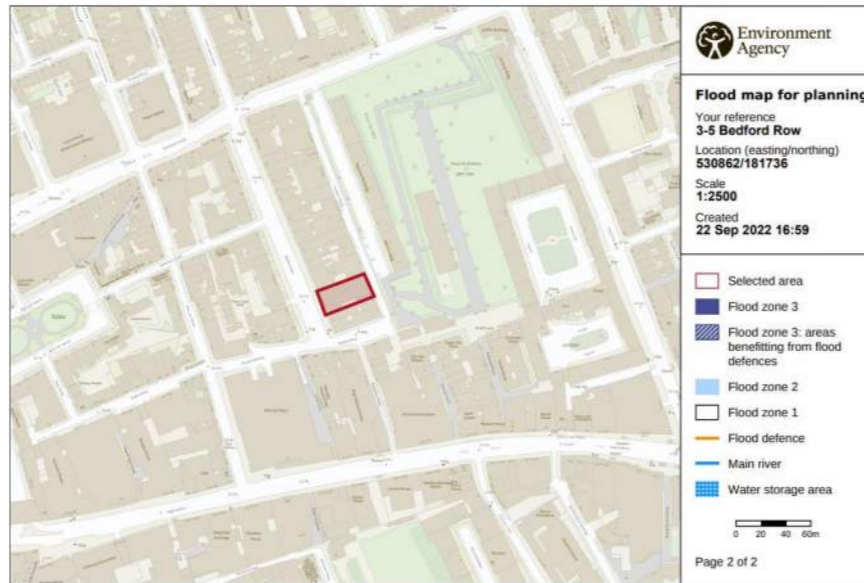


Figure 5: GOV.UK Flood Map for Planning – Flood risk from rivers or the sea

Flood Zone 1 comprises land assessed as having a less than 1 in 1000 annual probability of river or tidal flooding in any year. All uses of land for development are considered appropriate in this zone.

The nearest watercourse to the development is the buried 'New River' watercourse runs north to south, approximately 250m to the east of the Site. The River Thames is approximately 1km south of the Site.

As the Site is located in Flood Zone 1, the risk of flooding from rivers and sea is therefore considered to be **low**.

### 5.2 Flooding from Surface Water

Overland rainwater flows occur when the infiltration capacity of land or the drainage capacity of a local sewer network is exceeded. The extents of overland flooding will depend upon the rainfall event, the degree of saturation of the soil, the permeability of soils and the topography of the Site.

The Camden Council Critical Drainage Areas map indicates that the Site is located within a critical drainage area, defined as a discrete geographic area where multiple and interlinked sources of flood risk (surface water, groundwater, sewer, main river and/or tidal) cause flooding during severe weather, affecting people, property, or local infrastructure. Refer to **Appendix B** for Flood Risk Maps.

Review of the GOV.uk flood risk from surface water map indicates that the Site is at 'very low' risk of surface water flooding.



Figure 6: GOV.UK Flood Map for Planning – Flood risk from surface water

Review of the LBC SFRA Updated Flood Map for Surface Water also suggests the Site is not at risk of flooding, even in the 1 in 1000 year event.



Figure 7: LBC SFRA Updated Flood Map for Surface Water

Any change in levels on Site will be designed to ensure route surface water away from building edges. This will increase the buildings resilience to flooding from overland flow. Refer to **Appendix D** for Proposed Development Plans.

After review of the relevant information, the risk of flooding from overland surface water flow is considered to be **low**.

### 5.3 Flooding from Groundwater

Groundwater flooding can occur following an extended prolonged period of low intensity rainfall. The future risk from this source is more uncertain than surface water as the climate change predictions indicate that although sea levels will rise, thus possibly raising groundwater levels, overall summer rainfall will decrease, therefore having a long-term effect of lowering the groundwater levels. However, long periods of wet weather are predicted to increase, and these are the type of weather patterns that can cause groundwater flooding to occur.

Review of the BGS maps show the Site is situated on a bedrock London Clay Formation, a clay and silt formation, with no superficial deposits identified.

The Increased Susceptibility to Elevated Groundwater Map within the LBC SFRA, shown in **Appendix B**, indicates that the Site is not in an area at risk of groundwater flooding.

It is proposed to retain the existing basement and extend it to include the area beneath the existing access ramp. The basement construction will utilise appropriate waterproofing measures (to Grade 3), in line with NHBC Standards, Chapter 5.4.

After review of the relevant information, the risk of flooding from groundwater is considered to be **low**.

### 5.4 Flooding from Artificial Water Bodies

Following review of the Risk of Flooding from Reservoirs map located on the GOV.UK website, the Site is not located within the maximum extent of flooding area associated with local reservoirs.



Figure 8: GOV.UK Flood Map for Planning – Flood risk from reservoirs

Based on the above mapping, the Site is considered to be a **low risk** of flooding from reservoirs.

## 5.5 Flooding from Infrastructure / Sewer Failure

Sewer records have been obtained from Thames Water to confirm the location, size and depth of the surrounding sewer network.

The records indicate that the area is served by a combined sewer network. There is a 1143 x 762mm sewer and a 1219 x 813 trunk sewer, running north, within Bedford Row. There is also a 381mm diameter sewer, running north, within Jockey's Fields.

The records also indicate 3no. public manholes within the site, although a connection to the main sewer is not shown.

An extract of the Thames Water sewer records is presented below and in full within **Appendix C**.

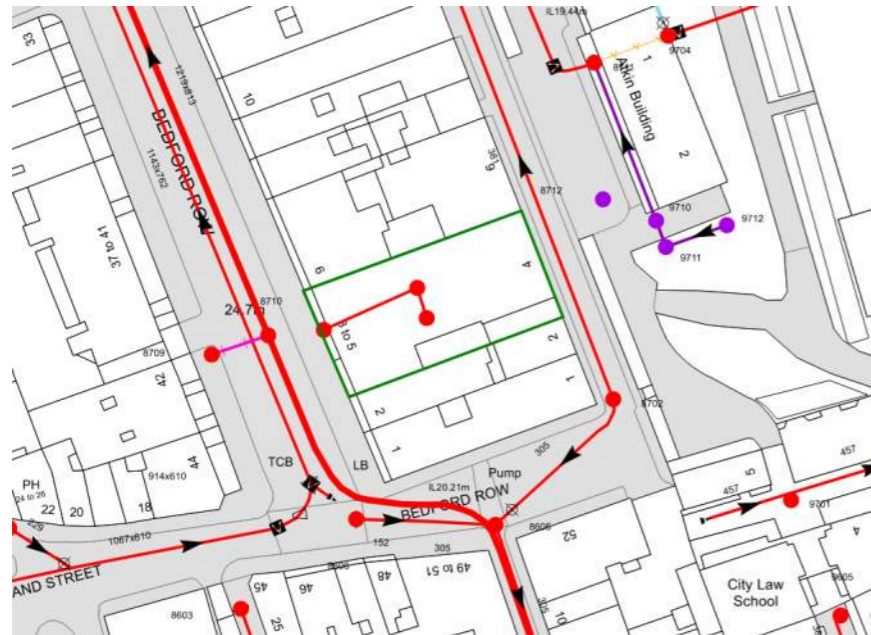


Figure 9: Thames Water Asset Records Extract

A sewer flooding history enquiry was also submitted to Thames Water which confirms that there have been no incidents of flooding in the area. See **Appendix C** for the Thames Water response.

Both the Internal and External Sewer Flooding maps from the LBC SFRA indicate that the Site is within an area with no recorded incidents of sewer flooding.

Thames Water are responsible for operating and maintaining their sewer infrastructure, therefore the likelihood of surcharge due to blockages is expected to be low.

A Thames Water pre-planning enquiry has been submitted to confirm that there is sufficient capacity within the local network to serve the proposed development. Due to the low number of historical sewer flooding events in the vicinity, there is no indication of any underlying sewer capacity issues.

As a result, the risk of flooding from infrastructure and sewer failure is considered to be **low**.

# Six

## Conclusion

In accordance with the GOV.uk flood maps for planning, the Site is in Flood Zone 1 - land and property assessed as having less than a 0.1% chance of flooding from tidal sources in any given year.

As the development is located within Flood Zone 1, neither the Sequential nor Exception Test need to be applied.

Flood risk from fluvial and tidal sources, surface water, sewers, groundwater, and artificial waterbodies is considered to be low for this Site. Safe access and egress from the Site is maintained when considered alongside all sources of potential flooding.

The proposed development does not increase flood risk to the Site or surrounding area and is considered safe from the risk of flooding for its lifetime. The development is therefore considered to be in accordance with the requirements of NPPF, The London Plan and the London Borough of Camden policy.

Refer to separate Elliott Wood report for the proposed drainage strategy.



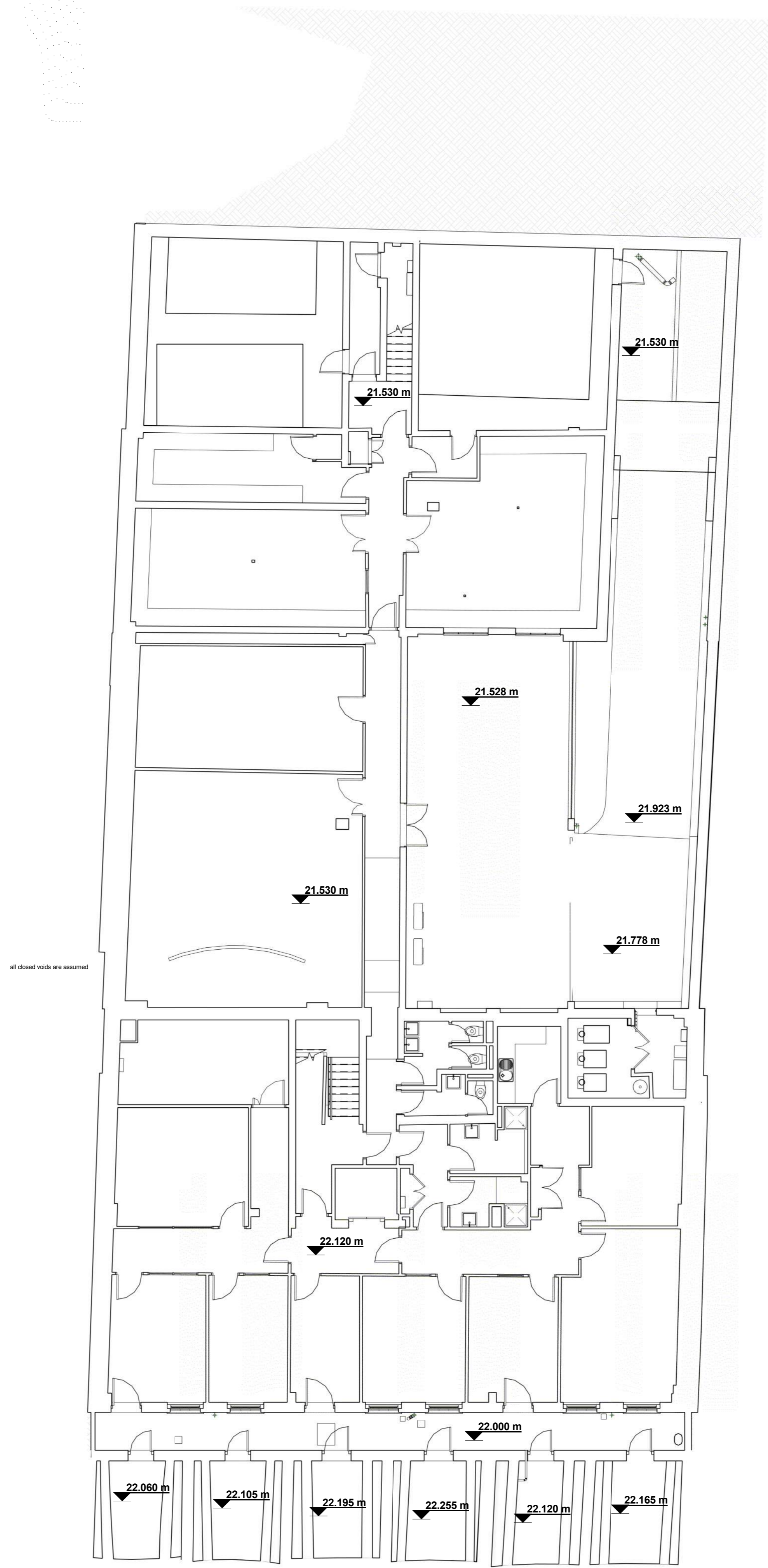
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## **Appendices**


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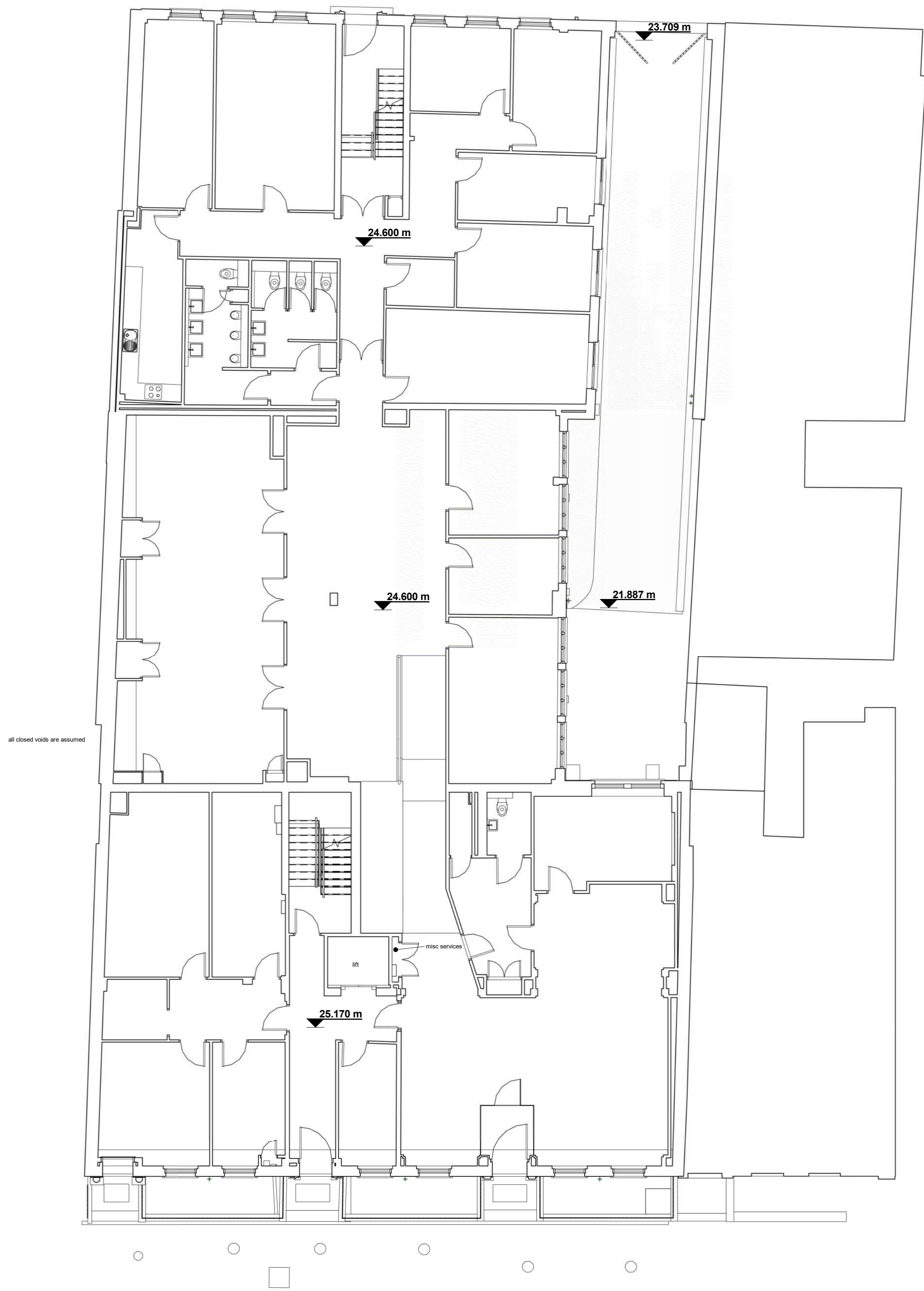
A Existing Building Survey





**-1 E008 Existing Basement**  
 Scale - 1 : 100

<b>E008</b>	Project number	20.044	<b>3-5 Bedford Row</b>	
	Date	17/02/2021		
Scale @ A1 1 : 100	Drawn by	FA		
	Checked by	FA		



**0 E010 Existing Ground**  
Scale - 1 : 100

<b>E010</b>	Project number	20.044	-	<b>PointBIM</b> 3D Surveying
	Date	17/02/2021		
Scale @ A1 1 : 100	Drawn by	FA	<b>3-5 Bedford Row</b>	
	Checked by	FA		

## B Flood Risk Maps

# Flood map for planning

Your reference  
**3-5 Bedford Row**

Location (easting/northing)  
**530862/181736**

Created  
**22 Sep 2022 16:59**

**Your selected location is in flood zone 1, an area with a low probability of flooding.**

You will need to do a flood risk assessment if your site is **any of the following:**

- bigger than 1 hectare (ha)
- In an area with critical drainage problems as notified by the Environment Agency
- identified as being at increased flood risk in future by the local authority's strategic flood risk assessment
- at risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use (such as constructing an office on an undeveloped site or converting a shop to a dwelling)

## Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence **which** sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2021 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>

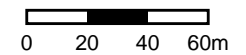


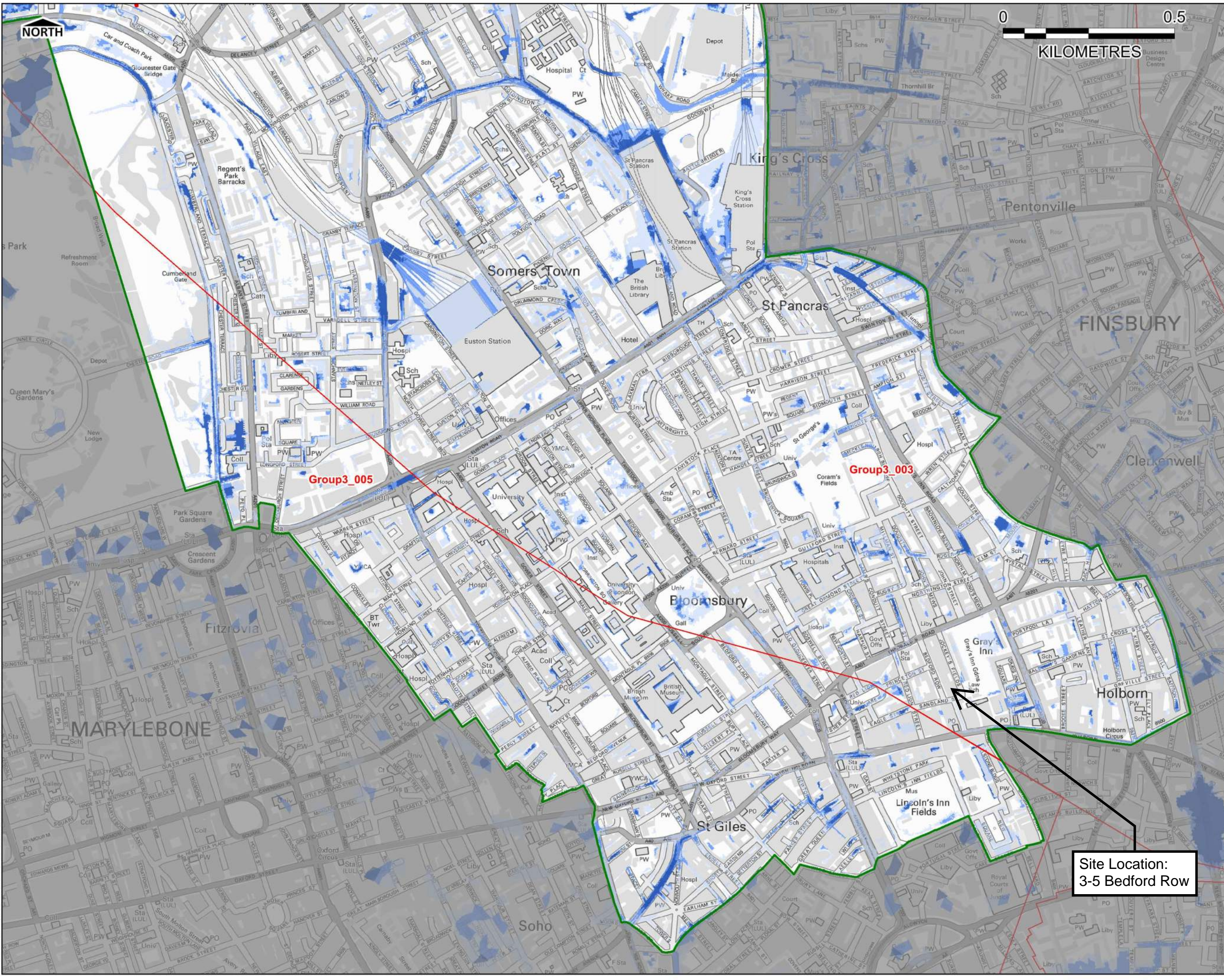
**3-5 Bedford Row**

**530862/181736**

**1:2500**

**22 Sep 2022 16:59**





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**LEGEND**

- London Borough Camden Boundary
- Critical Drainage Area

**Risk of Flooding from Surface Water**

- High (1 in 30 year)
- Medium (1 in 100 year)
- Low (1 in 1000 year)
- Very Low (<1 in 1000 year)

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Revision Details	By	Check	Date	Suffix

Purpose of Issue: **FINAL**

Client: **Camden**

Project Title: **LONDON BOROUGH OF CAMDEN STRATEGIC FLOOD RISK ASSESSMENT**

Drawing Title: **Updated Flood Maps for Surface Water Flooding (uFMSW)**

Drawn	Checked	Approved	Date
CB	JS	MT	03/07/2014

URS Internal Project No. **47070547** Scale at A3 **1:15,000**

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Drawing Number: **FIGURE 3 i** Rev **1**

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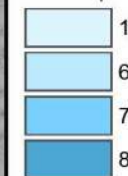


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LEGEND

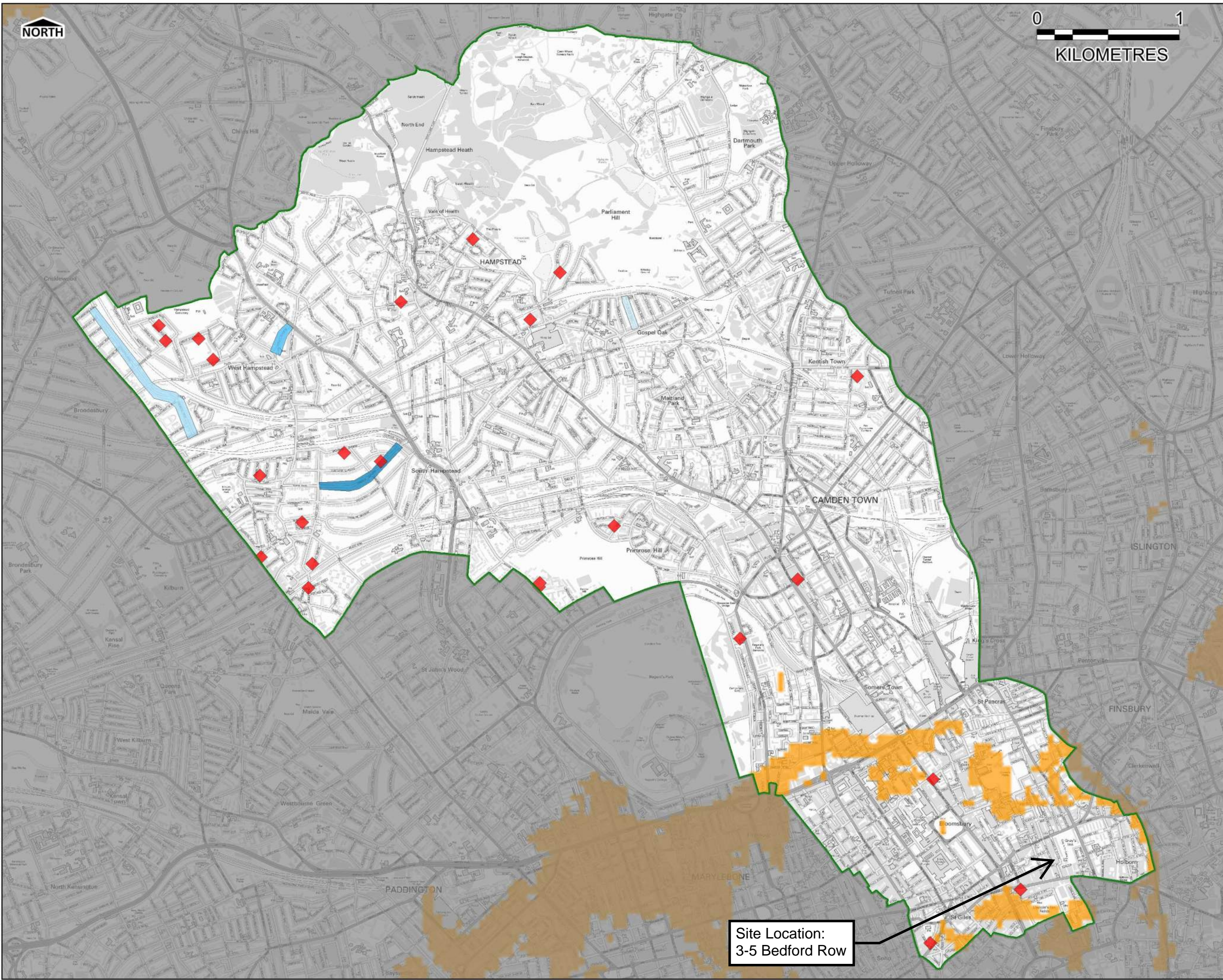
London Borough Camden Boundary

LBC Historic GW Flooding Record No. Properties affected



Increased Susceptibility to Elevated Groundwater

Environment Agency groundwater flood incidents



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Revision Details	By	Check	Date	Suffix

Purpose of Issue: FINAL

Client: Camden

Project Title: LONDON BOROUGH OF CAMDEN STRATEGIC FLOOD RISK ASSESSMENT

Drawing Title: Increased Susceptibility to Elevated Groundwater

Drawn	Checked	Approved	Date
CB	JS	MT	03/07/2014

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Drawing Number: FIGURE 4e Rev 1

Site Location:  
3-5 Bedford Row

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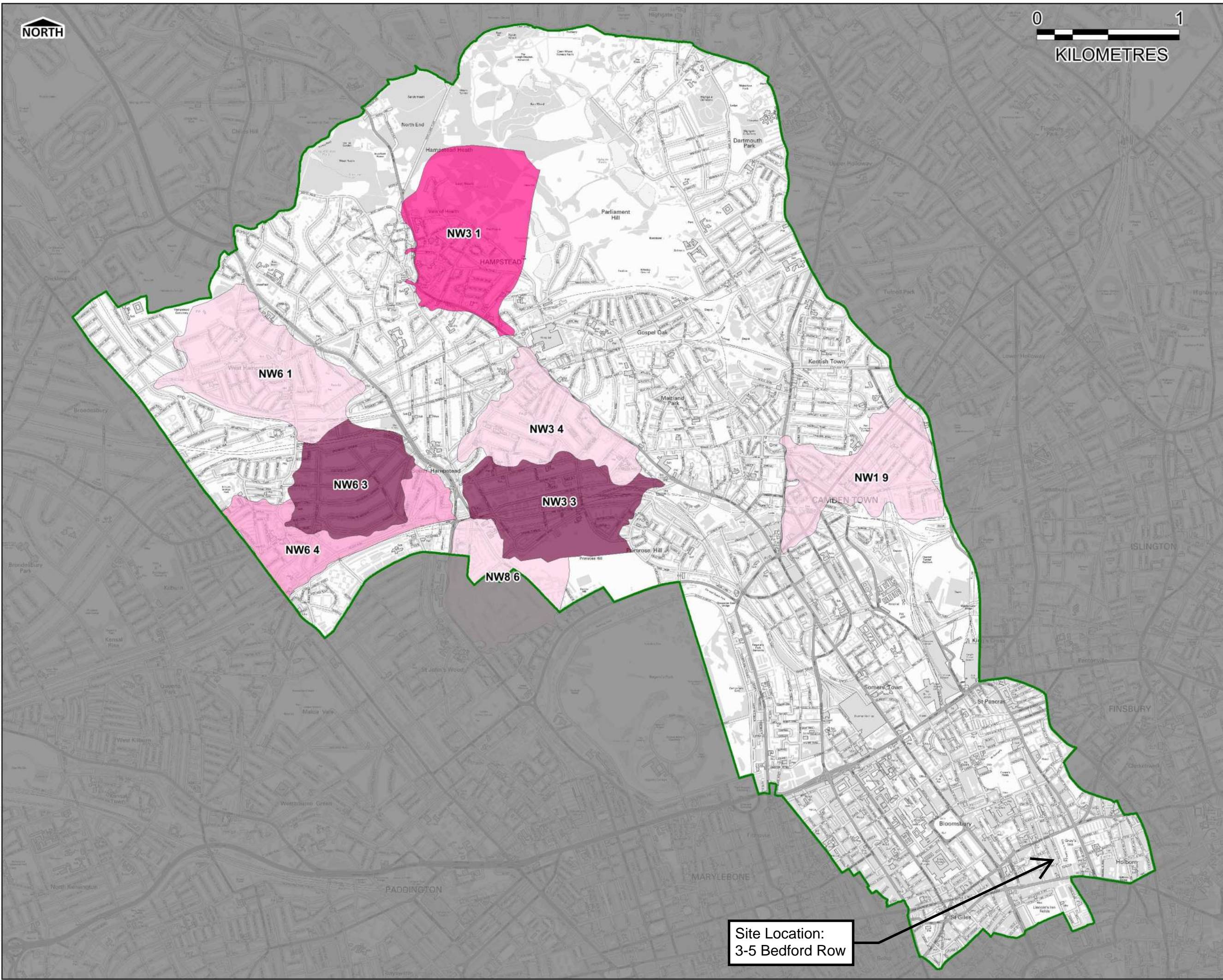
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**LEGEND**

London Borough Camden Boundary

**Internal Sewer Flooding**  
No. of Properties affected

- 1
- 2
- 4
- 8



Site Location:  
3-5 Bedford Row

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Revision Details	By	Check	Date	Suffix

Purpose of Issue: **FINAL**

Client:

Project Title: **LONDON BOROUGH OF CAMDEN STRATEGIC FLOOD RISK ASSESSMENT**

Drawing Title: **DG5 Internal Sewer Flooding**

Drawn: CB	Checked: JS	Approved: MT	Date: 03/07/2014
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Drawing Number: **FIGURE 5a** Rev: **Rev 1**

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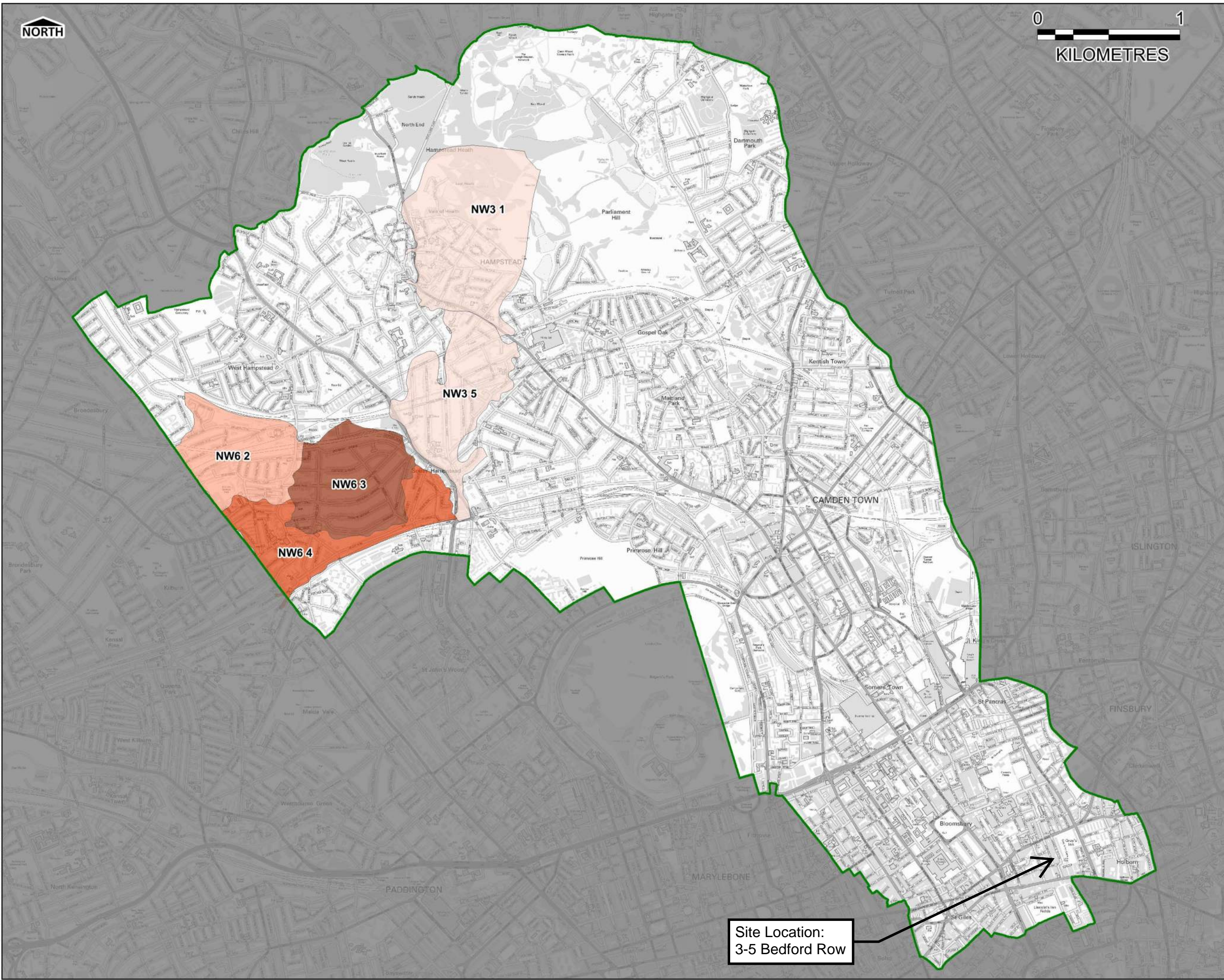
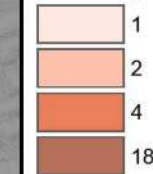


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**LEGEND**

London Borough Camden Boundary

**Exterior Sewer Flooding  
No. of Properties affected**



Site Location:  
3-5 Bedford Row

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Revision Details	By	Check	Date	Suffix

Purpose of Issue: **FINAL**

Client:

Project Title: **LONDON BOROUGH OF CAMDEN STRATEGIC FLOOD RISK ASSESSMENT**

Drawing Title: **DG5 External Sewer Flooding**

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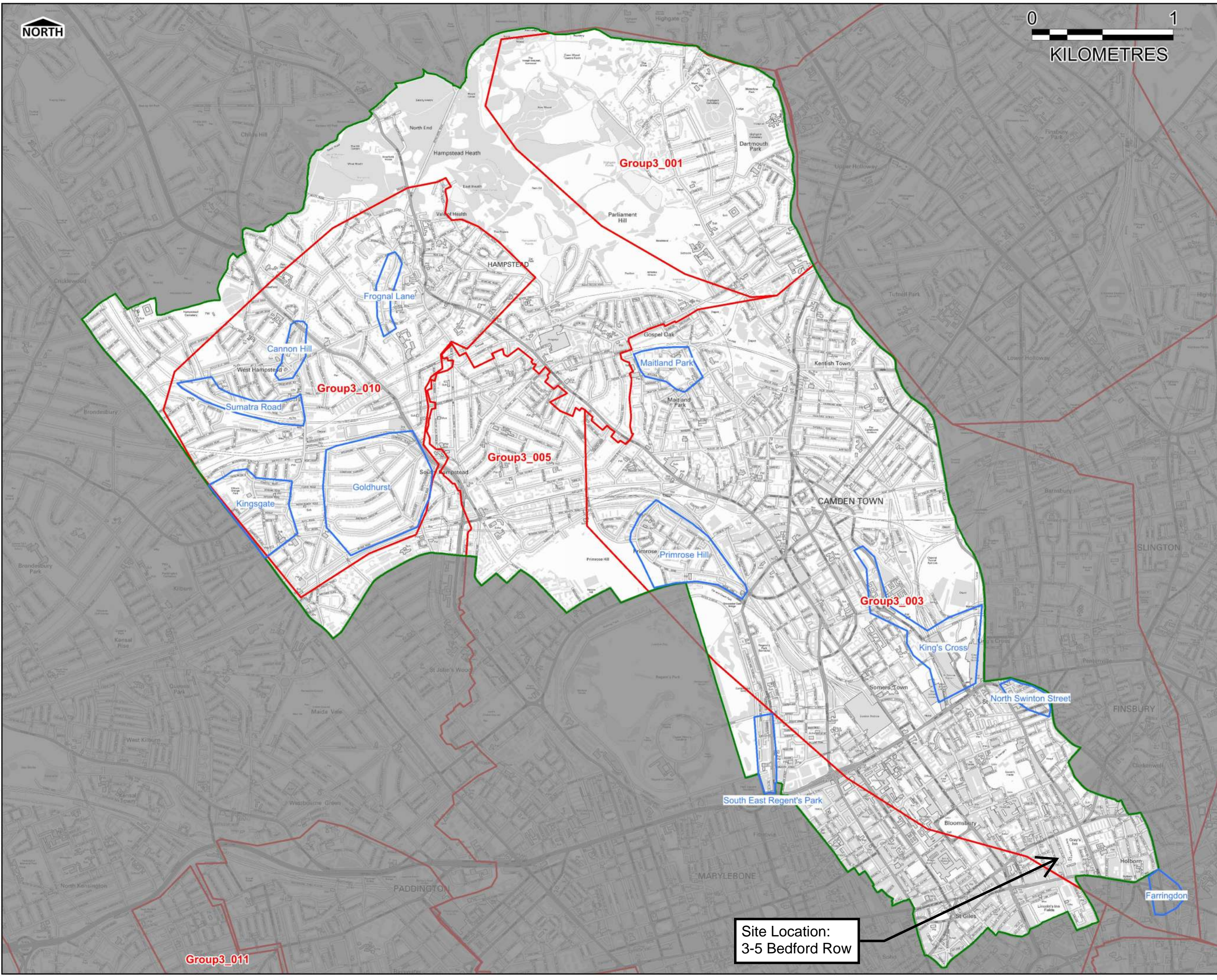
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LEGEND

- London Borough Camden Boundary
- Critical Drainage Area
- Local Flood Risk Zone



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Revision Details	By	Check	Date	Suffix

Purpose of Issue: FINAL

Client: Camden

Project Title: LONDON BOROUGH OF CAMDEN STRATEGIC FLOOD RISK ASSESSMENT

Drawing Title: Critical Drainage Areas / Local Flood Risk Zones

Drawn	Checked	Approved	Date
CB/EB	EY	MT	04/06/2014

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Drawing Number: FIGURE 6 Rev: Rev 2

Site Location:  
3-5 Bedford Row

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C Thames Water Records

# Sewer Flooding

History Enquiry



Property Searches

Elliott Wood Partnership Limited

Foley Street

**Search address supplied**      Chambers Of Simeon Maskrey Q C  
6-7  
Bedford Row  
London  
WC1R 4BS

**Your reference**                      Bedford Row

**Our reference**                        SFH/SFH Standard/2022\_4644587

**Received date**                        **16 May 2022**

**Search date**                            **16 May 2022**



Thames Water Utilities Ltd  
Property Searches, PO Box 3189, Slough SL1 4WW  
DX 151280 Slough 13



[searches@thameswater.co.uk](mailto:searches@thameswater.co.uk)  
[www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)



0800 009 4540

# Sewer Flooding

History Enquiry



Property Searches

**Search address supplied:** Chambers Of Simeon Maskrey Q C,6-7, Bedford Row, London, WC1R 4BS

**This search is recommended to check for any sewer flooding in a specific address or area**

TWUL, trading as Property Searches, are responsible in respect of the following:-

- (i) any negligent or incorrect entry in the records searched;
- (ii) any negligent or incorrect interpretation of the records searched;
- (iii) and any negligent or incorrect recording of that interpretation in the search report
- (iv) compensation payments



Thames Water Utilities Ltd  
Property Searches, PO Box 3189, Slough SL1 4WW  
DX 151280 Slough 13



[searches@thameswater.co.uk](mailto:searches@thameswater.co.uk)  
[www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)



0800 009 4540

### History of Sewer Flooding

#### **Is the requested address or area at risk of flooding due to overloaded public sewers?**

The flooding records held by Thames Water indicate that there have been no incidents of flooding in the requested area as a result of surcharging public sewers.

For your guidance:

- A sewer is “overloaded” when the flow from a storm is unable to pass through it due to a permanent problem (e.g. flat gradient, small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded.
- “Internal flooding” from public sewers is defined as flooding, which enters a building or passes below a suspended floor. For reporting purposes, buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.
- “At Risk” properties are those that the water company is required to include in the Regulatory Register that is presented annually to the Director General of Water Services. These are defined as properties that have suffered, or are likely to suffer, internal flooding from public foul, combined or surface water sewers due to overloading of the sewerage system more frequently than the relevant reference period (either once or twice in ten years) as determined by the Company’s reporting procedure.
- Flooding as a result of storm events proven to be exceptional and beyond the reference period of one in ten years are not included on the At Risk Register.
- Properties may be at risk of flooding but not included on the Register where flooding incidents have not been reported to the Company.
- Public Sewers are defined as those for which the Company holds statutory responsibility under the Water Industry Act 1991.
- It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Company. This report excludes flooding from private sewers and drains and the Company makes no comment upon this matter.
- For further information please contact Thames Water on Tel: 0800 316 9800 or website [www.thameswater.co.uk](http://www.thameswater.co.uk)



Thames Water Utilities Ltd  
Property Searches, PO Box 3189, Slough SL1 4WW  
DX 151280 Slough 13



[searches@thameswater.co.uk](mailto:searches@thameswater.co.uk)  
[www.thameswater-propertysearches.co.uk](http://www.thameswater-propertysearches.co.uk)



0800 009 4540

Asset Location Search Sewer Map - ALS/ALS Standard/2022\_4618069



The width of the displayed area is 200 m and the centre of the map is located at OS coordinates 530844,181750

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.

Based on the Ordnance Survey Map (2020) with the Sanction of the controller of H.M. Stationery Office, License no. 100019345 Crown Copyright Reserved.

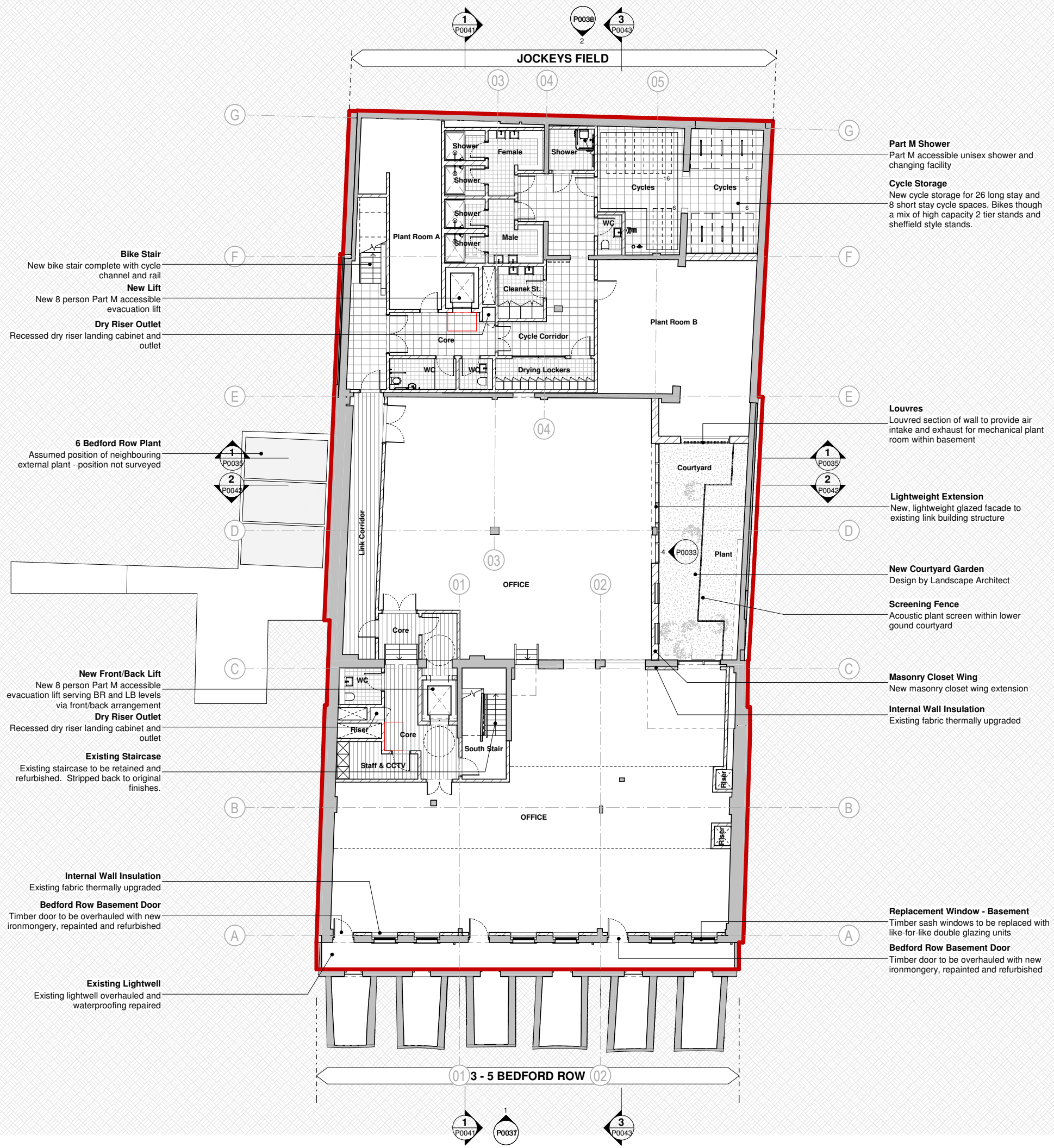
NB. Levels quoted in metres Ordnance Newlyn Datum. The value -9999.00 indicates that no survey information is available

Manhole Reference	Manhole Cover Level	Manhole Invert Level
8710	n/a	n/a
87BG	n/a	n/a
87BE	n/a	n/a
87BF	n/a	n/a
8802	23.59	18.77
7801	24.75	19.32
7822	24.5	n/a
8803	23.51	19.76
8711	n/a	n/a
8712	n/a	n/a
8702	23.78	20.87
9710	n/a	n/a
9711	n/a	n/a
9704	23.25	18.84
9712	n/a	n/a
9701	22.47	18.41
9605	n/a	n/a
9604	22.76	18.8
9603	22.96	18.33
761A	n/a	n/a
7603	24.91	20.92
8709	n/a	n/a
8603	24.68	21.15
8606	24.6	20.63
8605	23.87	19.98

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D Proposed Development Plans



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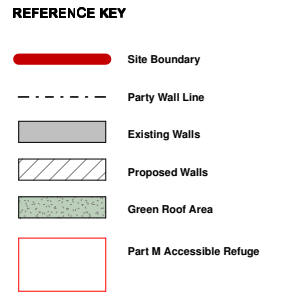
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D	13.10.2022	PLANNING - Issued for Planning Application	GJ	RD

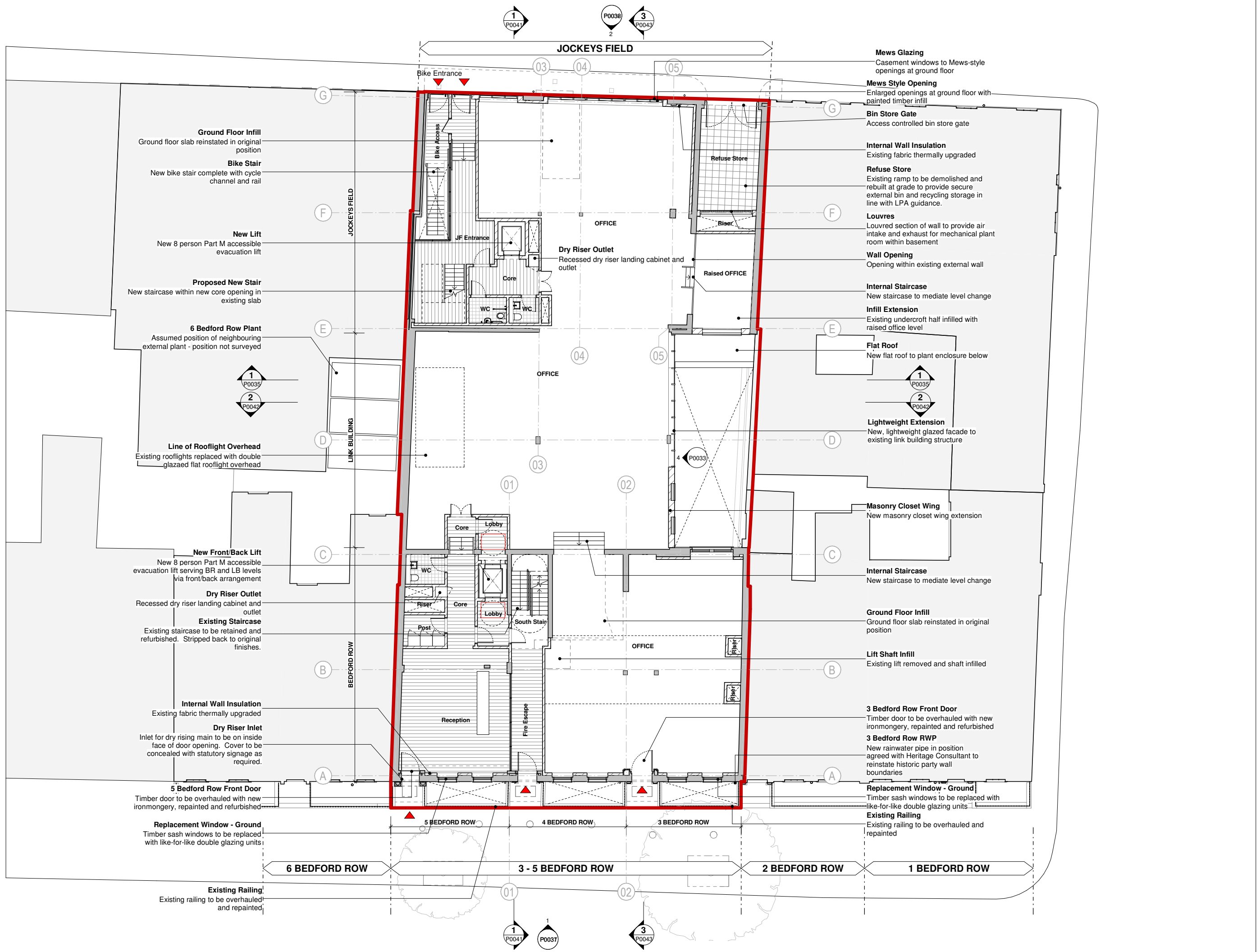
**PROPOSED**

Project Number: H571  
 Project Name: 3-5 Bedford Row

**Proposed Basement**

Scale at A1 / A3  
 1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - 09 - DR - A - P0009  
 Revision: - D



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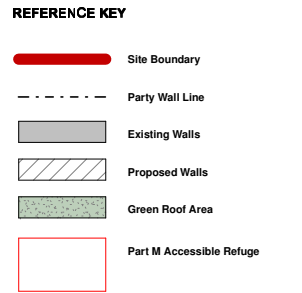
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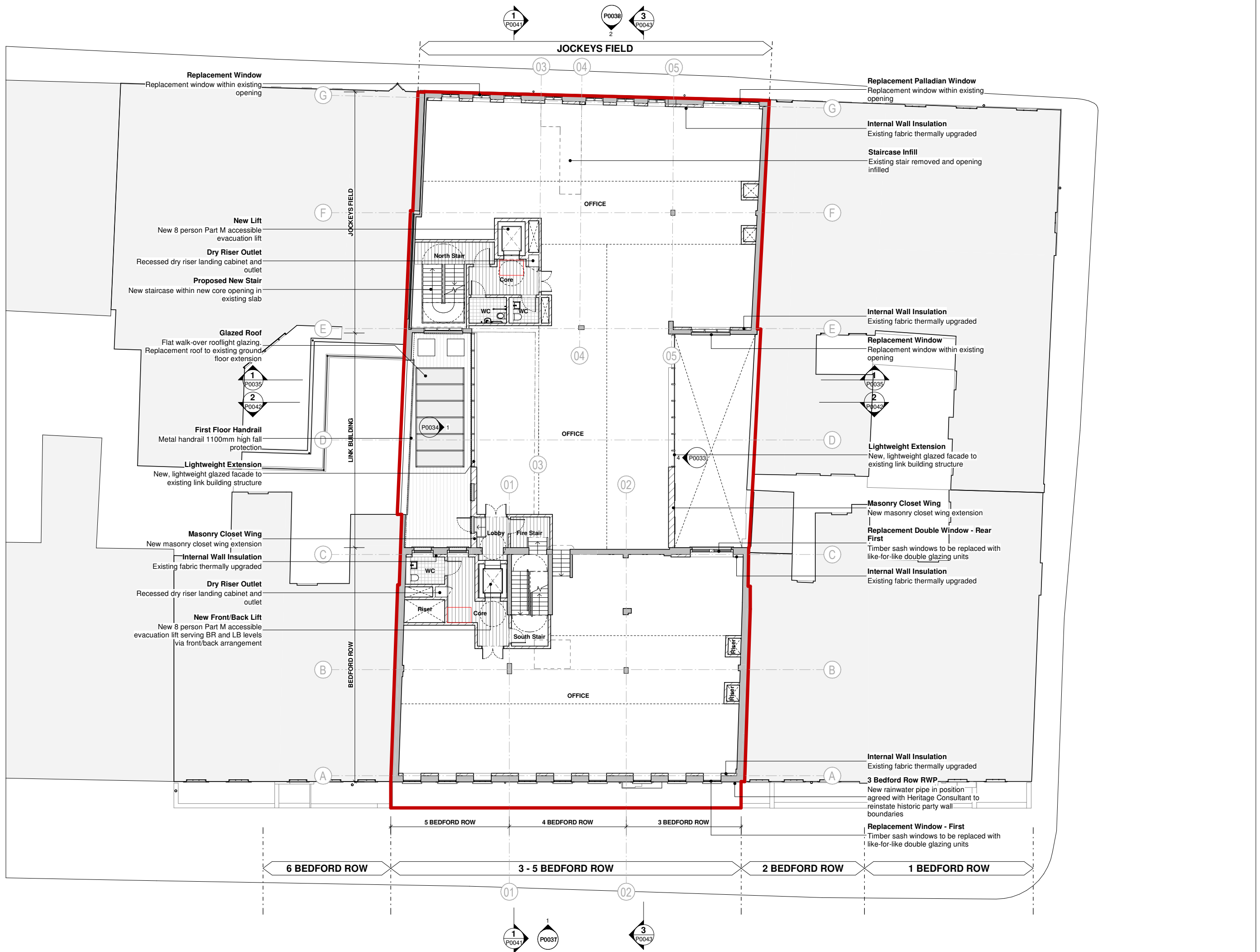
PROPOSED

Project Number: H571    Project Name: 3-5 Bedford Row

Drawing Name: **Proposed Ground Floor**

Scale at A1 / A3: 1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - 10 - DR - A - P0010    Revision: - D



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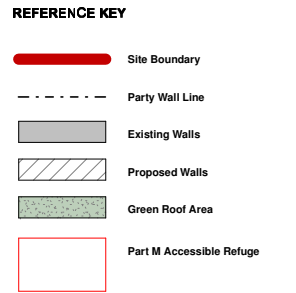
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**PROPOSED**

Project Number: H571  
 Project Name: 3-5 Bedford Row

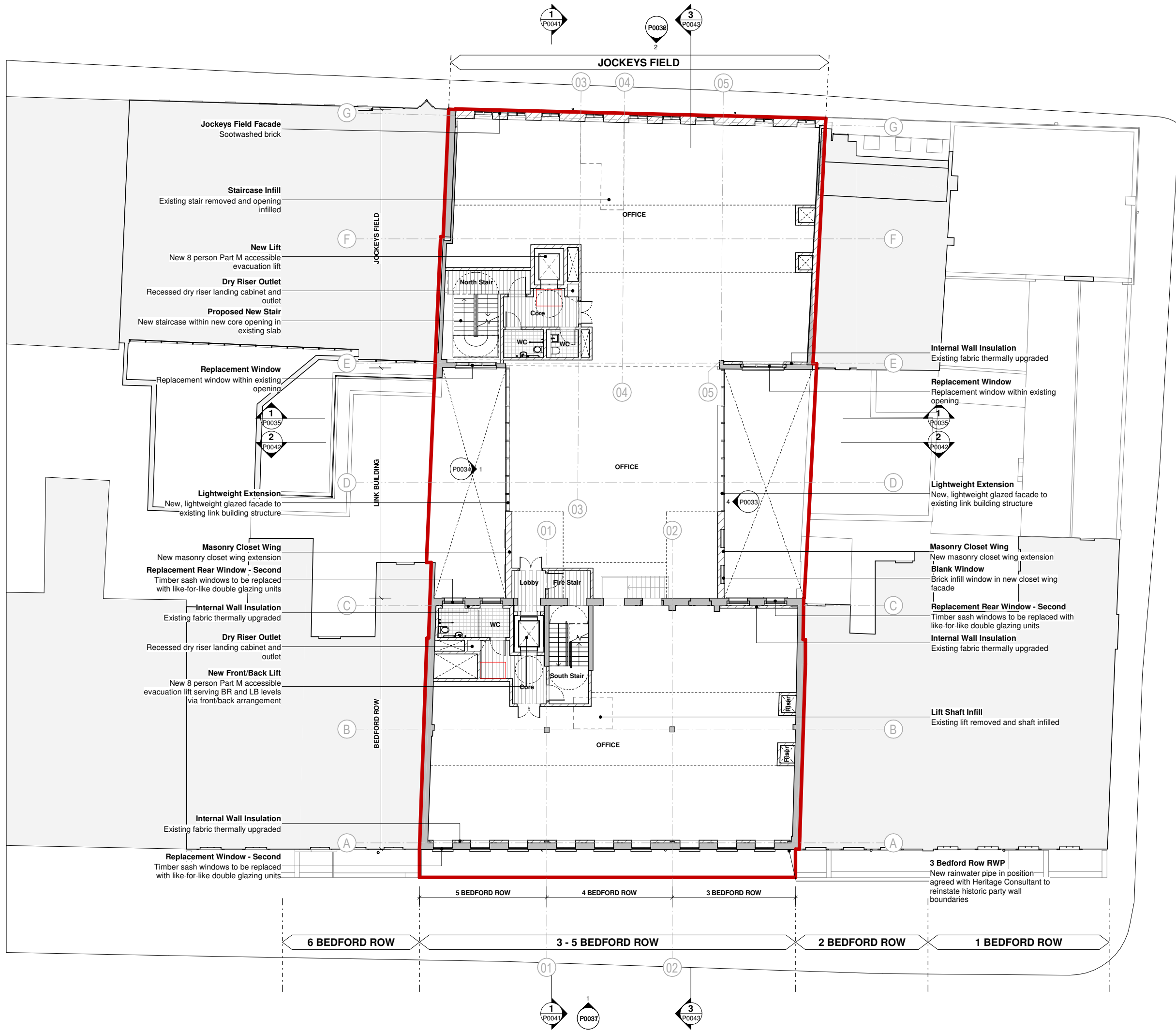
Drawing Name: **Proposed First Floor**

Scale at A1 / A3: 1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - 11 - DR - A - P0011  
 Revision: - D

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 info@hutararchitecture.com

P0011 - D - Proposed First Floor



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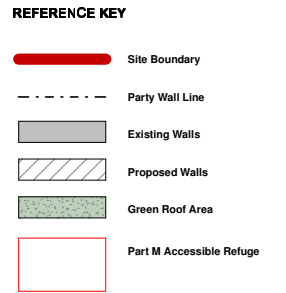
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**PROPOSED**

Project Number: H571  
Project Name: 3-5 Bedford Row

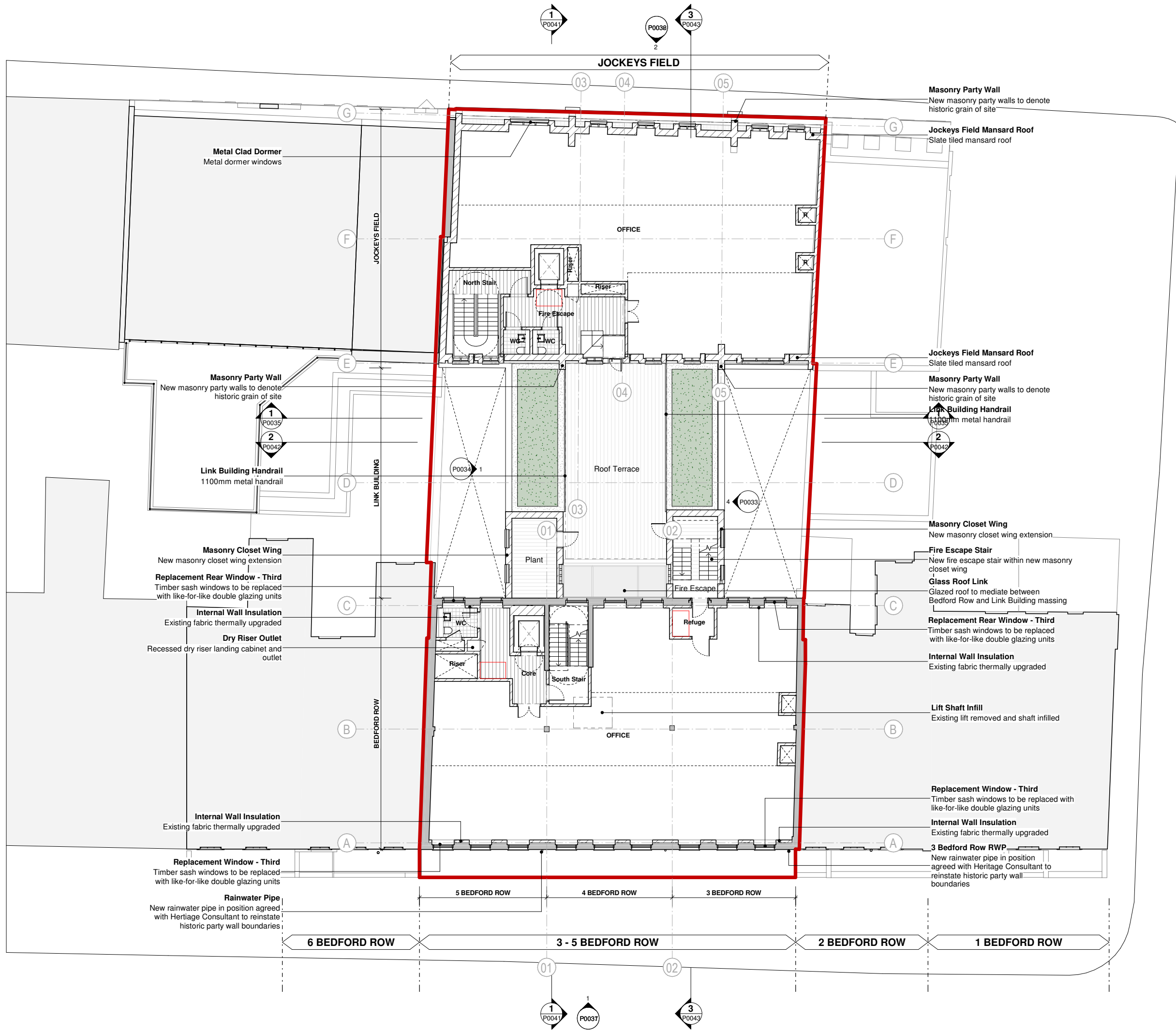
Drawing Name: **Proposed Second Floor**

Scale at A1 / A3: 1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - 12 - DR - A - P0012  
Revision: - D

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**P0012 - D - Proposed Second Floor**



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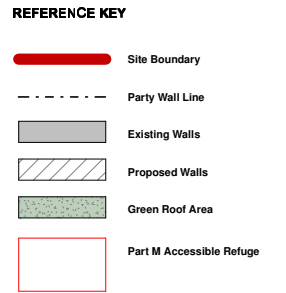
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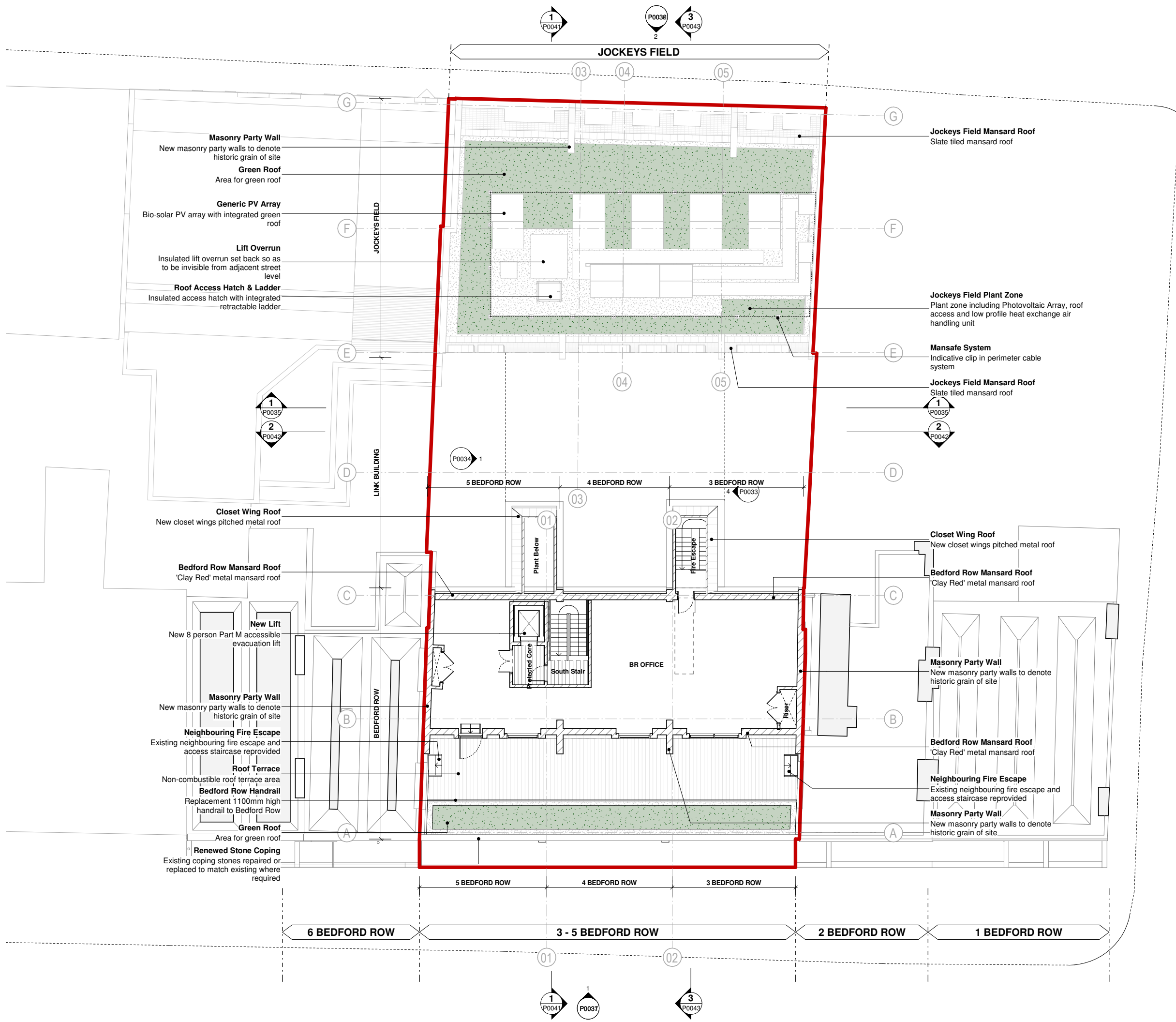
**PROPOSED**

Project Number: H571  
Project Name: 3-5 Bedford Row

**Proposed Third Floor**

Scale at A1 / A3  
1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - 13 - DR - A - P0013  
Revision: - D



P0014 - D - Proposed Fourth Floor

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**REFERENCE KEY**

- Site Boundary
- Party Wall Line
- Existing Walls
- Proposed Walls
- Green Roof Area
- Part M Accessible Refuge



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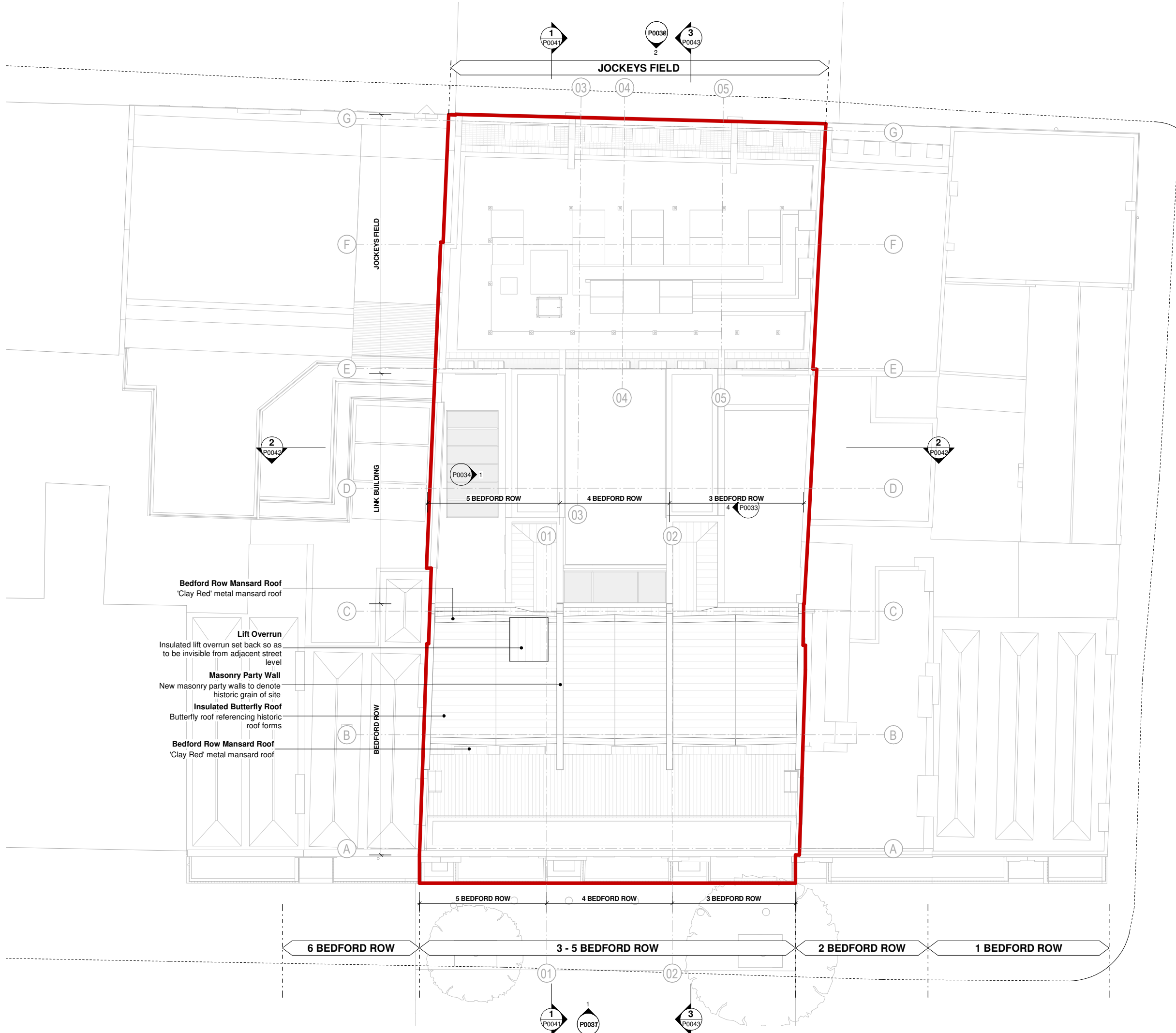
**PROPOSED**

Project Number: H571      Project Name: 3-5 Bedford Row

Drawing Name: **Proposed Fourth Floor**

Scale at A1 / A3: 1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - 14 - DR - A - P0014      Revision: - D



P0015 - D - Proposed Roof

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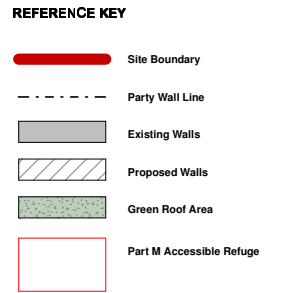
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**PROPOSED**

Project Number: H571  
 Project Name: 3-5 Bedford Row

**Proposed Roof**

Scale at A1 / A3  
 1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - 14 - DR - A - P0015  
 Revision: - D



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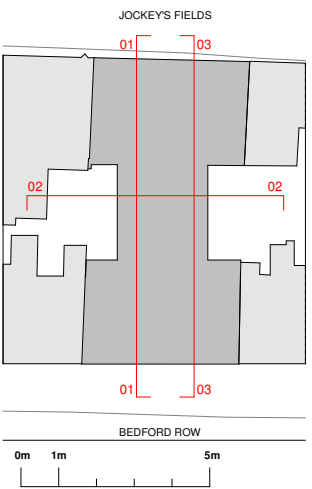
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- Green Roof Area
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Rev	Date	Description	Author	Checker
0	20.07.2022	Working Section Issue for Fire Engineer	GJ	GJ
A	18.08.2022	Second Draft GA Issue	GJ	RD
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**PROPOSED**

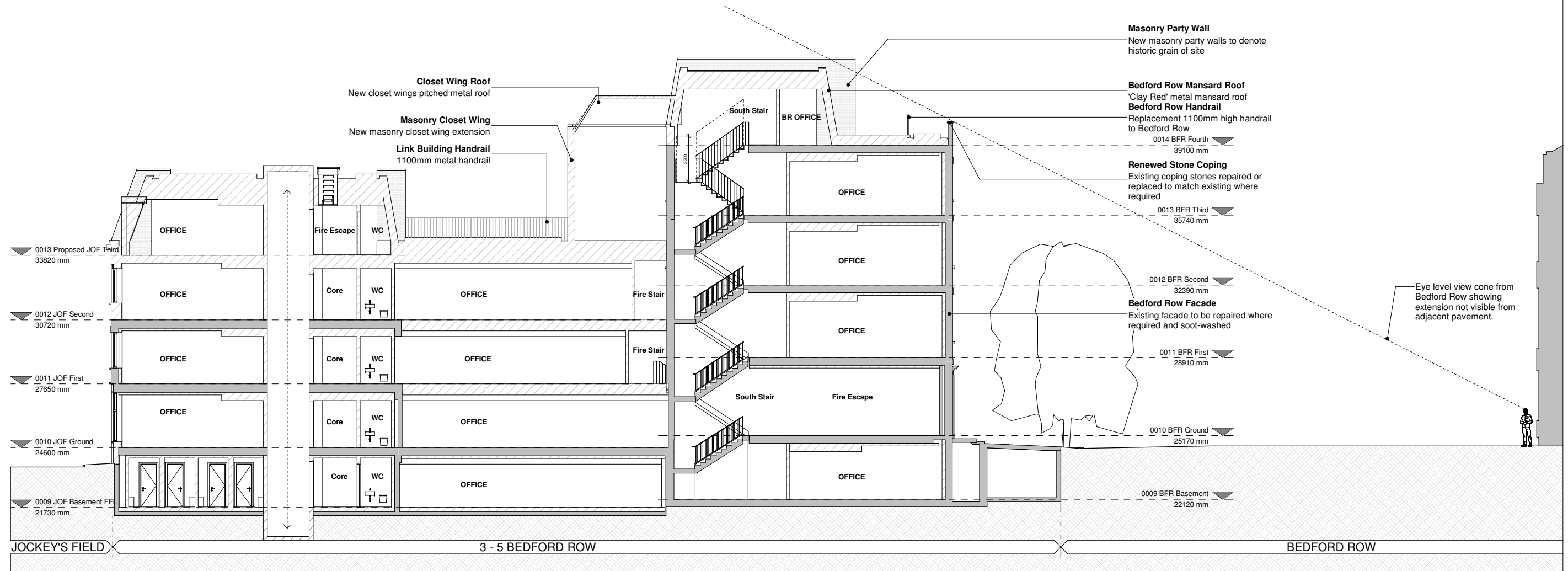
Project Number: H571  
Project Name: 3-5 Bedford Row

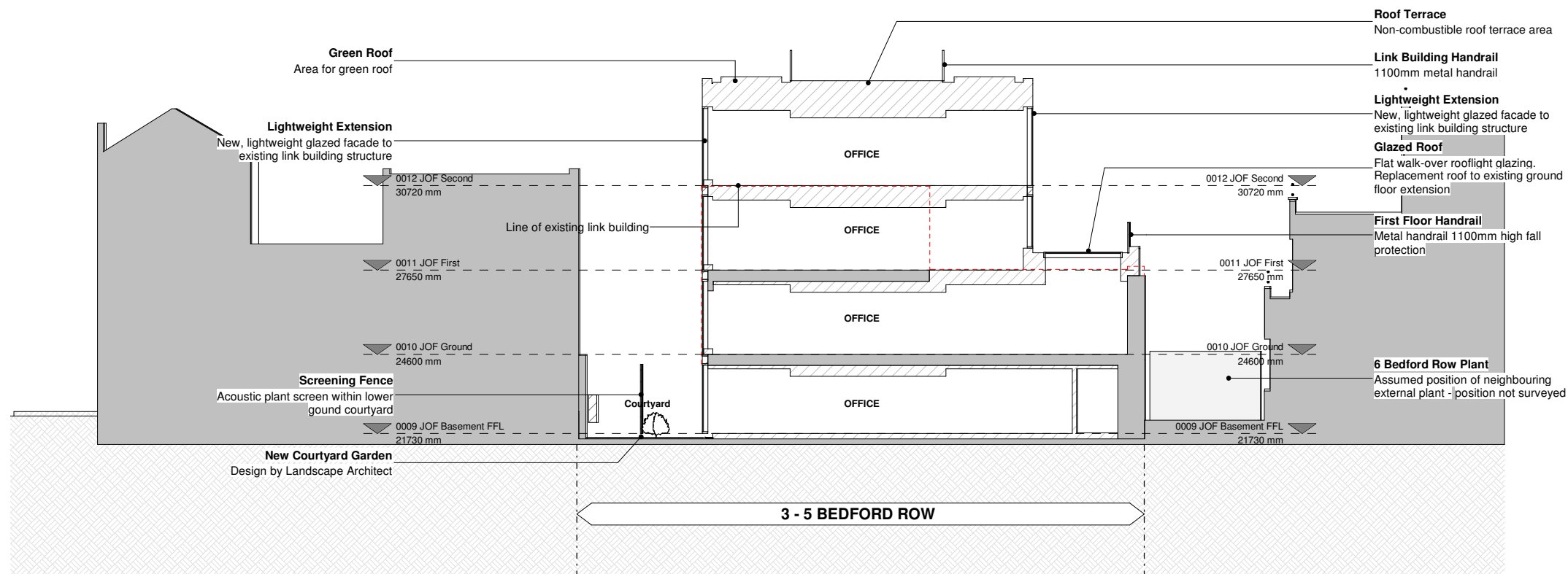
Drawing Name: Section 01

Scale at A1 / A3: 1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - ZZ - DR - A - P0041  
Revision: - D

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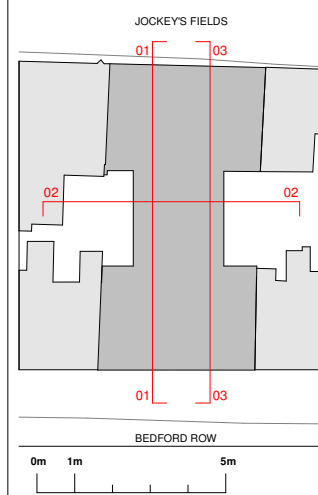
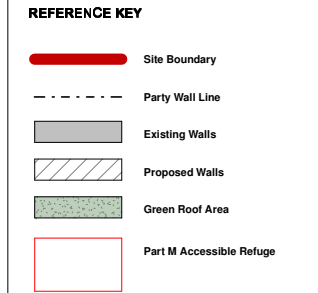
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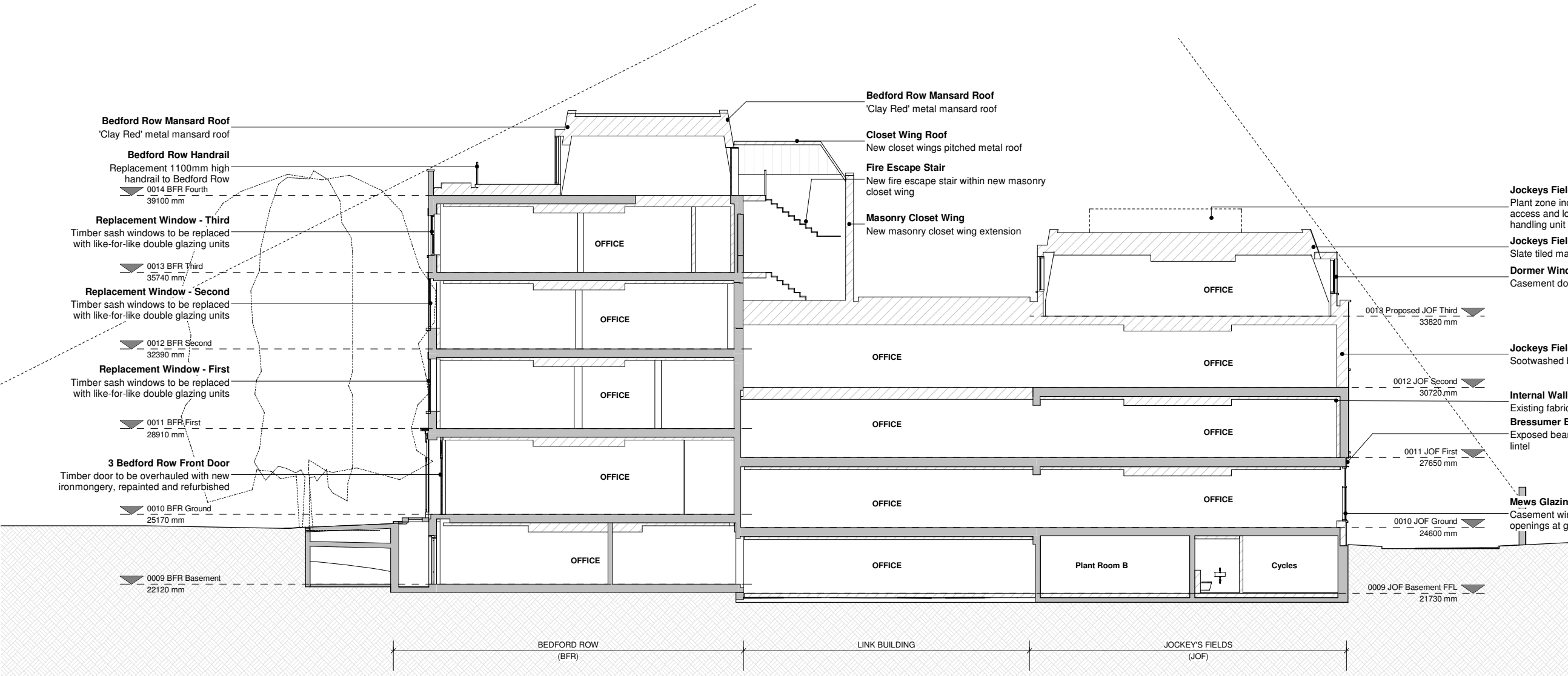
**PROPOSED**

Project Number: H571  
Project Name: 3-5 Bedford Row

Drawing Name: **Section 02**

Scale at A1 / A3: 1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - ZZ - DR - A - P0042  
Revision: - C



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Planning - the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Party Walls & Rights to Light - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

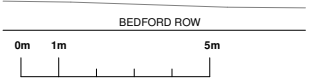
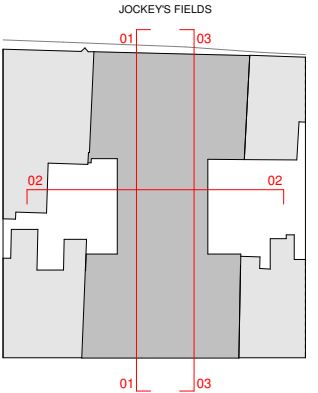
Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - the client / the contractor will ensure that any notices and consents required are obtained before work commences.

Areas - the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

**REFERENCE KEY**

- Site Boundary
- Party Wall Line
- Existing Walls
- Proposed Walls
- Green Roof Area
- Part M Accessible Refuge



Rev	Date	Description	Author	Checker
0	20.07.2022	Working Section Issue for Fire Engineer	GJ	GJ
A	18.08.2022	Second Draft GA Issue	GJ	RD
B	31.08.2022	Frozen Drawings for Planning	GJ	RD
C	23.09.2022	Frozen Envelope Design for Planning	GJ	RD
D	13.10.2022	PLANNING - Issued for Planning Application	GJ	RD

**PROPOSED**

Project Number: H571    Project Name: 3-5 Bedford Row

**Section 03**

Scale at A1 / A3  
1:100 / 1:200

Drawing Number: H571 - HUT - ZZ - ZZ - DR - A - P0043    - D

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