

Do not scale from this drawing.  
 Check drawing on receipt and immediately report any discrepancies to the architect.  
 Verify all dimensions and levels on site prior to construction.  
 The contents of this drawing are Stiff + Trevillion Architects Ltd. Copyright and shall not be re-used without their written permission.

- Notes:
- Retained Brick Facade
  - Retained Stonework
  - Retained Chimney Stack
  - Existing Metal Railing to be Repainted
  - Existing Louvres to UKPN
  - Existing Brick Detail
  - Existing Metal Stair to be Repainted
  - Existing Exposed RWP/Hopper to be Retained/Made Good
  - Faux Chimney Stack Replaced with Brick Slip to Complement Retained Brick
  - Existing Dormer to be replaced
  - New Dormer
  - Existing Slate Roof to be Reused/Replaced
  - Timber Balustrade to be Repainted
  - Existing Metal Window to be Replaced
  - Timber Sash Window
  - Timber Casement Window
  - Metal Window Frame with Perforated Panel Behind
  - Existing Aluminium Frame Window to be Replaced
  - Existing Brick Wall
  - Existing Revolving Door & Pass Door to be Replaced
  - Existing External Balustrade to be Replaced
  - Existing Dry Riser Inlet to be Replaced/Relocated
  - 
  - New Core Extension + Lift Overrun in Brick
  - New Metal Gate
  - Existing Fire Egress Door to be Replaced
  - Existing Accessible Entrance Door to be Replaced
  - 
  - 
  - Existing Metal Roof to be Replaced
  - 
  - Existing Vaults to be Made Good
  - Existing Roof Ridge Cap to be Replaced
  - 
  - Existing External Stone Paving to be Cleaned/Refurbished
  - Existing Asphalt Paving to be Replaced
  - Existing Metal Door to be Refurbished
  - Existing External Stone Paving to be Replaced
  - New Brick Cavity Wall
  - New Insulated Metal Rainscreen Panel Cladding
  - New Louvres in PPC Finish to Match Brick
  - New Louvres in PPC Finish to Match Slate Roof Finish
  - New Glazing
  - New Glass Balustrade
  - New AOV in PPC Finish
  - New Access Hatch in PPC Finish
  - New PPC Metal Brise Soleil
  - New Smoke Fans
  - New Metal Canopy
  - New Trough Planters and Trellis with Climbing Plants
  - New External Metal Stair
  - New Glazed External Door in PPC Frame
  - New Water Attenuation Tank
  - Back Illuminated Bronze Signage with Architectural Metalwork
  - Back Illuminated Bronze Signage
  - Existing Metal Door to be Repainted
  - New Metal Balustrade
  - New Metal Door in PPC Finish
  - New Satellite Dishes
  - New Exposed RWP/Hopper in PPC Finish to Match Brick

NB: All existing retained elements to be cleaned and made good.

Rev	Date	Description
P01	21/09/22	Planning Issue

**Stiff + Trevillion**  
 Stiff + Trevillion Architects Ltd  
 16 Woodfield Road  
 London W9 2BE  
 T +44(0)20 8960 5550  
 mail@stiffandtrevillion.com  
 www.stiffandtrevillion.com

Client  
**Capital 38**

Project  
**21 Bloomsbury Street**

Drawing Title  
**Proposed East Elevation  
 (Bloomsbury Street)**

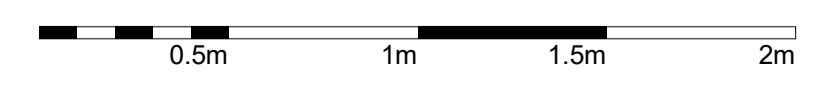
Drawing Status  
**PLANNING**

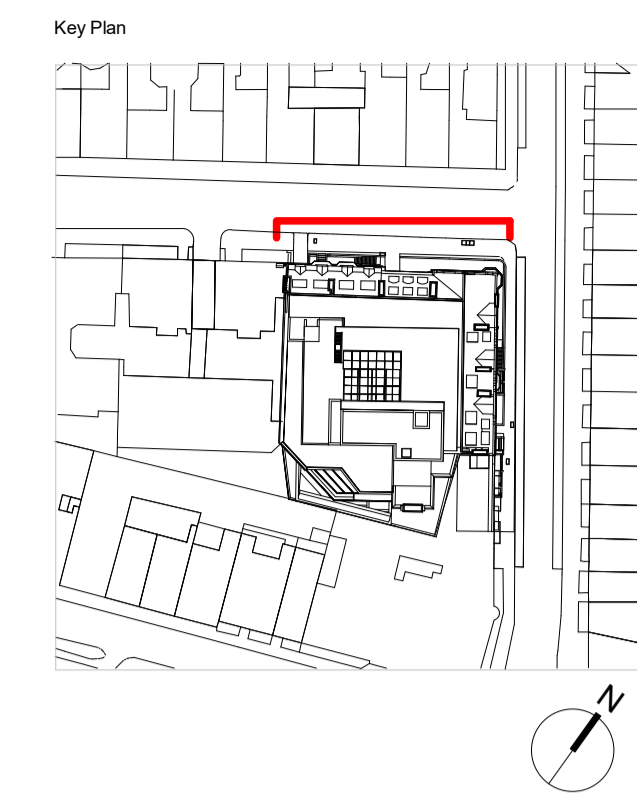
Suitability Code	Drawn	Checked	Revision
	EH	ND	P01

ST Project No.	Date	Scale @ A1
4677	21/09/22	1 : 100

Project Code	Orig	Zone	Level	Type	Role	Number
4677	ST	XX	XX	PL	A	03-100PL

1 Proposed East Elevation  
 1 : 100





Do not scale from this drawing.  
 Check drawing on receipt and immediately report any discrepancies to the Architect.  
 Verify all dimensions and levels on site prior to construction.  
 The contents of this drawing are Stiff + Trevillion Architects Ltd. Copyright and shall not be re-used without their written permission.

- Notes:
1. Retained Brick Facade
  2. Retained Stonework
  3. Retained Chimney Stack
  4. Existing Metal Railing to be Repainted
  5. Existing Louvres to UKPN
  6. Existing Brick Detail
  7. Existing Metal Stair to be Repainted
  8. Existing Exposed RWP/Hopper to be Retained/Made Good
  9. Faux Chimney Stack Replaced with Brick Slip to Complement Retained Brick
  10. Existing Dormer to be replaced
  - 10A. New Dormer
  11. Existing Slate Roof to be Reused/Replaced
  12. Timber Balustrade to be Repainted
  13. Existing Metal Window to be Replaced
  - 13A. Timber Sash Window
  - 13B. Timber Casement Window
  - 13C. Metal Window Frame with Perforated Panel Behind
  14. Existing Aluminium Frame Window to be Replaced
  15. Existing Brick Wall
  16. Existing Revolving Door & Pass Door to be Replaced
  17. -
  18. Existing External Balustrade to be Replaced
  19. Existing Dry Riser Inlet to be Replaced/Relocated
  20. -
  21. New Core Extension + Lift Overrun in Brick
  22. New Metal Gate
  23. Existing Fire Egress Door to be Replaced
  24. Existing Accessible Entrance Door to be Replaced
  25. -
  26. -
  27. -
  28. Existing Metal Roof to be Replaced
  29. -
  30. Existing Vaults to be Made Good
  31. Existing Roof Ridge Cap to be Replaced
  - 31A. -
  - 31B. Existing External Stone Paving to be Cleaned/Refurbished
  - 31C. Existing Asphalt Paving to be Replaced
  - 31D. Existing Metal Door to be Refurbished
  - 31E. Existing External Stone Paving to be Replaced
  32. New Brick Cavity Wall
  33. New Insulated Metal Rainscreen Panel Cladding
  34. New Louvres in PPC Finish to Match Brick
  - 34A. New Louvres in PPC Finish to Match Slate Roof Finish
  35. New Glazing
  36. New Glass Balustrade
  37. New AOV in PPC Finish
  38. New Access Hatch in PPC Finish
  39. New PPC Metal Brise Soleil
  40. New Smoke Fans
  41. New Metal Canopy
  42. New Trough Planters and Trellis with Climbing Plants
  43. New External Metal Stair
  44. New Glazed External Door in PPC Frame
  45. New Water Attenuation Tank
  46. Back Illuminated Bronze Signage with Architectural Metalwork
  - 46A. Back Illuminated Bronze Signage
  47. Existing Metal Door to be Repainted
  48. New Metal Balustrade
  49. New Metal Door in PPC Finish
  50. New Satellite Dishes
  51. New Exposed RWP/Hopper in PPC Finish to Match Brick

NB: All existing retained elements to be cleaned and made good.  
 P01 21/09/22 Planning Issue

Rev	Date	Description

# Stiff + Trevillion

Stiff + Trevillion Architects Ltd  
 16 Woodfield Road  
 London W9 2BE  
 T +44(0)20 8960 5550  
 mail@stiffandtrevillion.com  
 www.stiffandtrevillion.com

Client  
**Capital 38**

Project  
**21 Bloomsbury Street**

Drawing Title  
**Proposed North Elevation (Bedford Avenue)**

Drawing Status  
**PLANNING**

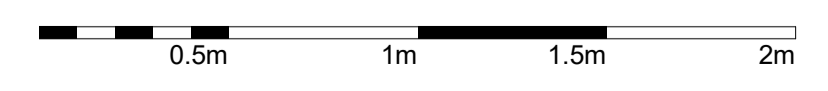
Suitability Code	Drawn	Checked	Revision
	EH	ND	P01

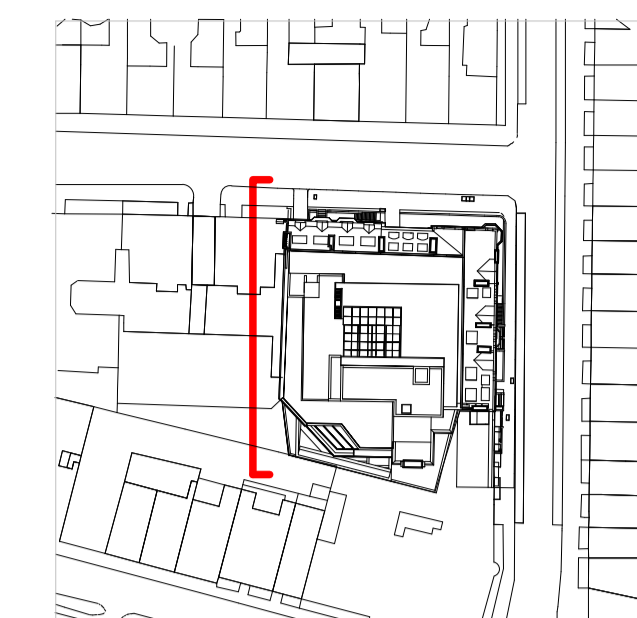
ST Project No.	Date	Scale @ A1
4677	21/09/22	1 : 100

Project Code	Orig	Zone	Level	Type	Role	Number
4677	ST	XX	XX	PL	A	03-101PL



1 Proposed North Elevation  
 1 : 100





Do not scale from this drawing.  
 Check drawing on receipt and immediately report any discrepancies to the Architect.  
 Verify all dimensions and levels on site prior to construction.  
 The contents of this drawing are Stiff + Trevillion Architects Ltd. Copyright and shall not be re-used without their written permission.

- Notes:
1. Retained Brick Facade
  2. Retained Stonework
  3. Retained Chimney Stack
  4. Existing Metal Railing to be Repainted
  5. Existing Louvres to UKPN
  6. Existing Brick Detail
  7. Existing Metal Stair to be Repainted
  8. Existing Exposed RWP/Hopper to be Retained/Made Good
  9. Faux Chimney Stack Replaced with Brick Slip to Complement Retained Brick
  10. Existing Dormer to be replaced
  - 10A. New Dormer
  11. Existing Slate Roof to be Reused/Replaced
  12. Timber Balustrade to be Repainted
  13. Existing Metal Window to be Replaced
  - 13A. Timber Sash Window
  - 13B. Timber Casement Window
  - 13C. Metal Window Frame with Perforated Panel Behind
  14. Existing Aluminium Frame Window to be Replaced
  15. Existing Brick Wall
  16. Existing Revolving Door & Pass Door to be Replaced
  17. -
  18. Existing External Balustrade to be Replaced
  19. Existing Dry Riser Inlet to be Replaced/Relocated
  20. -
  21. New Core Extension + Lift Overrun in Brick
  22. New Metal Gate
  23. Existing Fire Egress Door to be Replaced
  24. Existing Accessible Entrance Door to be Replaced
  25. -
  26. -
  27. -
  28. Existing Metal Roof to be Replaced
  29. -
  30. Existing Vaults to be Made Good
  31. Existing Roof Ridge Cap to be Replaced
  - 31A. -
  - 31B. Existing External Stone Paving to be Cleaned/Refurbished
  - 31C. Existing Asphalt Paving to be Replaced
  - 31D. Existing Metal Door to be Refurbished
  - 31E. Existing External Stone Paving to be Replaced
  32. New Brick Cavity Wall
  33. New Insulated Metal Rainscreen Panel Cladding
  34. New Louvres in PPC Finish to Match Brick
  - 34A. New Louvres in PPC Finish to Match Slate Roof Finish
  35. New Glazing
  36. New Glass Balustrade
  37. New AOV in PPC Finish
  38. New Access Hatch in PPC Finish
  39. New PPC Metal Brise Soleil
  40. New Smoke Fans
  41. New Metal Canopy
  42. New Trough Planters and Trellis with Climbing Plants
  43. New External Metal Stair
  44. New Glazed External Door in PPC Frame
  45. New Water Attenuation Tank
  46. Back Illuminated Bronze Signage with Architectural Metalwork
  - 46A. Back Illuminated Bronze Signage
  47. Existing Metal Door to be Repainted
  48. New Metal Balustrade
  49. New Metal Door in PPC Finish
  50. New Satellite Dishes
  51. New Exposed RWP/Hopper in PPC Finish to Match Brick

NB: All existing retained elements to be cleaned and made good.

Rev	Date	Description
P01	21/09/22	Planning Issue

# Stiff + Trevillion

Stiff + Trevillion Architects Ltd  
 16 Woodfield Road  
 London W9 2BE  
 T +44(0)20 8960 5550  
 mail@stiffandtrevillion.com  
 www.stiffandtrevillion.com

Client  
**Capital 38**

Project  
**21 Bloomsbury Street**

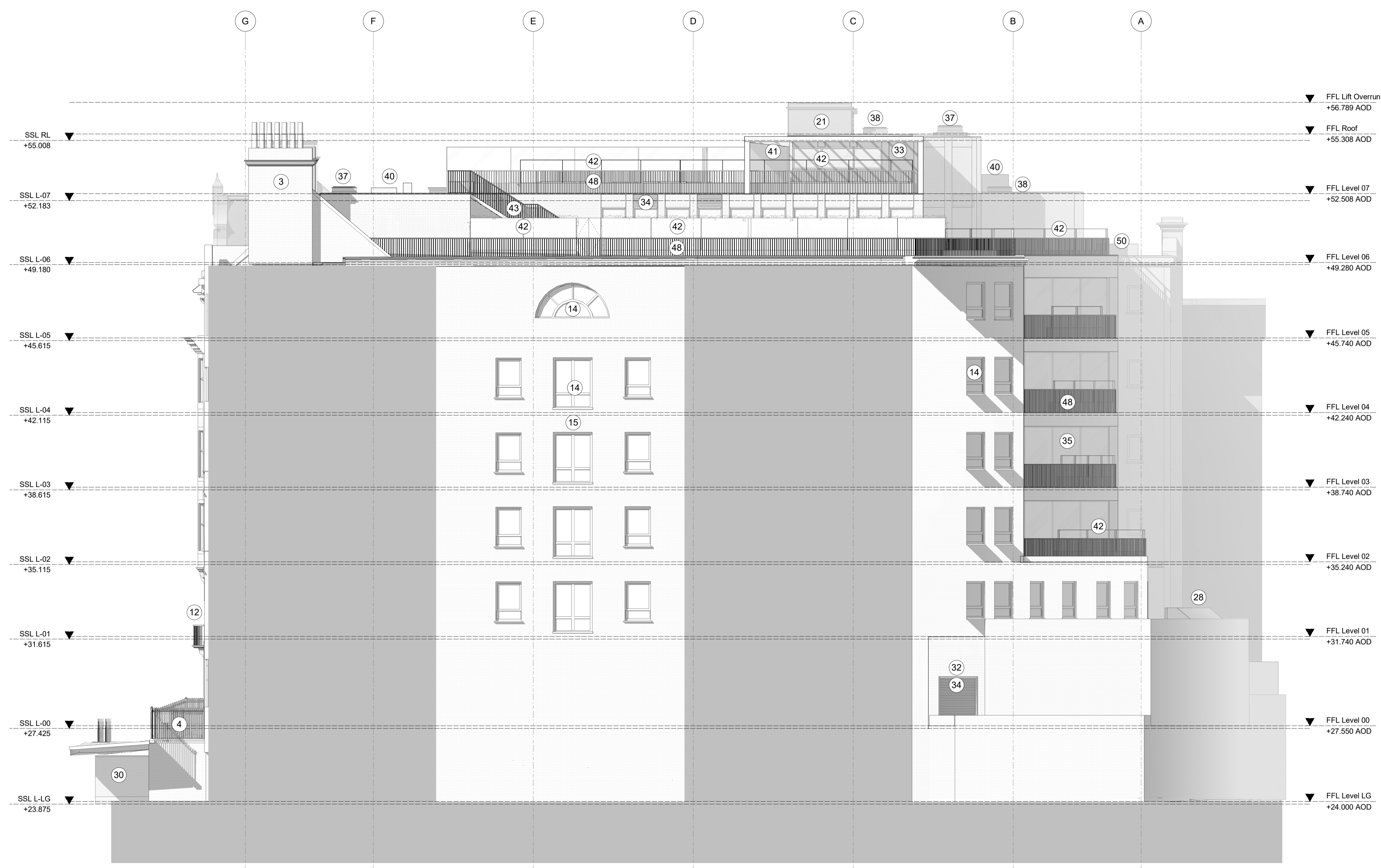
Drawing Title  
**Proposed West Elevation**

## PLANNING

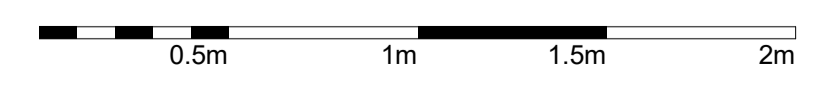
Suitability Code	Drawn	Checked	Revision
	EH	ND	P01

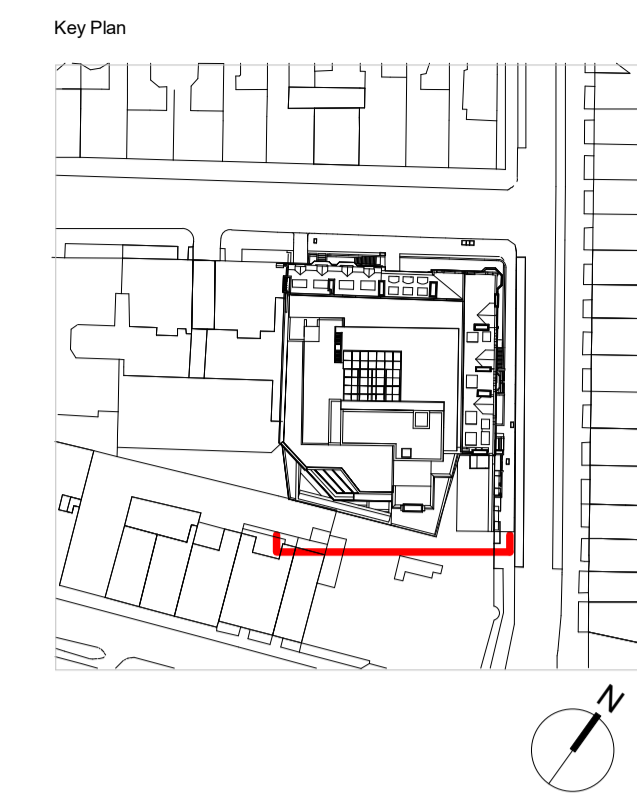
ST Project No.	Date	Scale @ A1
4677	21/09/22	1 : 100

Project Code	Orig	Zone	Level	Type	Role	Number
4677	ST	XX	XX	PL	A	03-102PL



1 Proposed West Elevation  
 1 : 100





Do not scale from this drawing.  
 Check drawing on receipt and immediately report any discrepancies to the architect.  
 Verify all dimensions and levels on site prior to construction.  
 The contents of this drawing are Stiff + Trevillion Architects Ltd. Copyright and shall not be re-used without their written permission.

- Notes:
1. Retained Brick Facade
  2. Retained Stonework
  3. Retained Chimney Stack
  4. Existing Metal Railing to be Repainted
  5. Existing Louvres to UKPN
  6. Existing Brick Detail
  7. Existing Metal Stair to be Repainted
  8. Existing Exposed RWP/Hopper to be Retained/Made Good
  9. Faux Chimney Stack Replaced with Brick Slip to Complement Retained Brick
  10. Existing Dormer to be replaced
  - 10A. New Dormer
  11. Existing Slate Roof to be Reused/Replaced
  12. Timber Balustrade to be Repainted
  13. Existing Metal Window to be Replaced
  - 13A. Timber Sash Window
  - 13B. Timber Casement Window
  - 13C. Metal Window Frame with Perforated Panel Behind
  14. Existing Aluminium Frame Window to be Replaced
  15. Existing Brick Wall
  16. Existing Revolving Door & Pass Door to be Replaced
  17. -
  18. Existing External Balustrade to be Replaced
  19. Existing Dry Riser Inlet to be Replaced/Relocated
  20. -
  21. New Core Extension + Lift Overrun in Brick
  22. New Metal Gate
  23. Existing Fire Egress Door to be Replaced
  24. Existing Accessible Entrance Door to be Replaced
  25. -
  26. -
  27. -
  28. Existing Metal Roof to be Replaced
  29. -
  30. Existing Vaults to be Made Good
  31. Existing Roof Ridge Cap to be Replaced
  - 31A. -
  - 31B. Existing External Stone Paving to be Cleaned/Refurbished
  - 31C. Existing Asphalt Paving to be Replaced
  - 31D. Existing Metal Door to be Refurbished
  - 31E. Existing External Stone Paving to be Replaced
  32. New Brick Cavity Wall
  33. New Insulated Metal Rainscreen Panel Cladding
  34. New Louvres in PPC Finish to Match Brick
  - 34A. New Louvres in PPC Finish to Match Slate Roof Finish
  35. New Glazing
  36. New Glass Balustrade
  37. New AOV in PPC Finish
  38. New Access Hatch in PPC Finish
  39. New PPC Metal Brise Soleil
  40. New Smoke Fans
  41. New Metal Canopy
  42. New Trough Planters and Trellis with Climbing Plants
  43. New External Metal Stair
  44. New Glazed External Door in PPC Frame
  45. New Water Attenuation Tank
  46. Back Illuminated Bronze Signage with Architectural Metalwork
  - 46A. Back Illuminated Bronze Signage
  47. Existing Metal Door to be Repainted
  48. New Metal Balustrade
  49. New Metal Door in PPC Finish
  50. New Satellite Dishes
  51. New Exposed RWP/Hopper in PPC Finish to Match Brick

NB: All existing retained elements to be cleaned and made good.

Rev	Date	Description
P01	21/09/22	Planning Issue

**Stiff + Trevillion**  
 Stiff + Trevillion Architects Ltd  
 16 Woodfield Road  
 London W9 2BE  
 T +44(0)20 8960 5550  
 mail@stiffandtrevillion.com  
 www.stiffandtrevillion.com

Client  
**Capital 38**

Project  
**21 Bloomsbury Street**

Drawing Title  
**Proposed South Elevation**

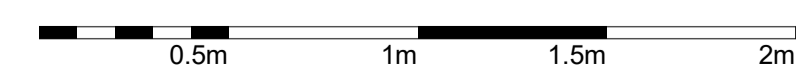
Drawing Status  
**PLANNING**

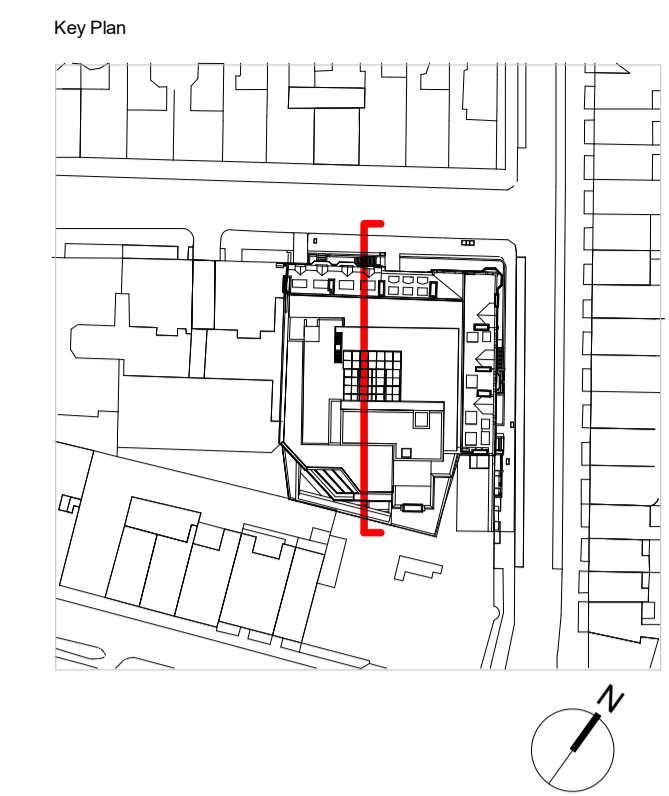
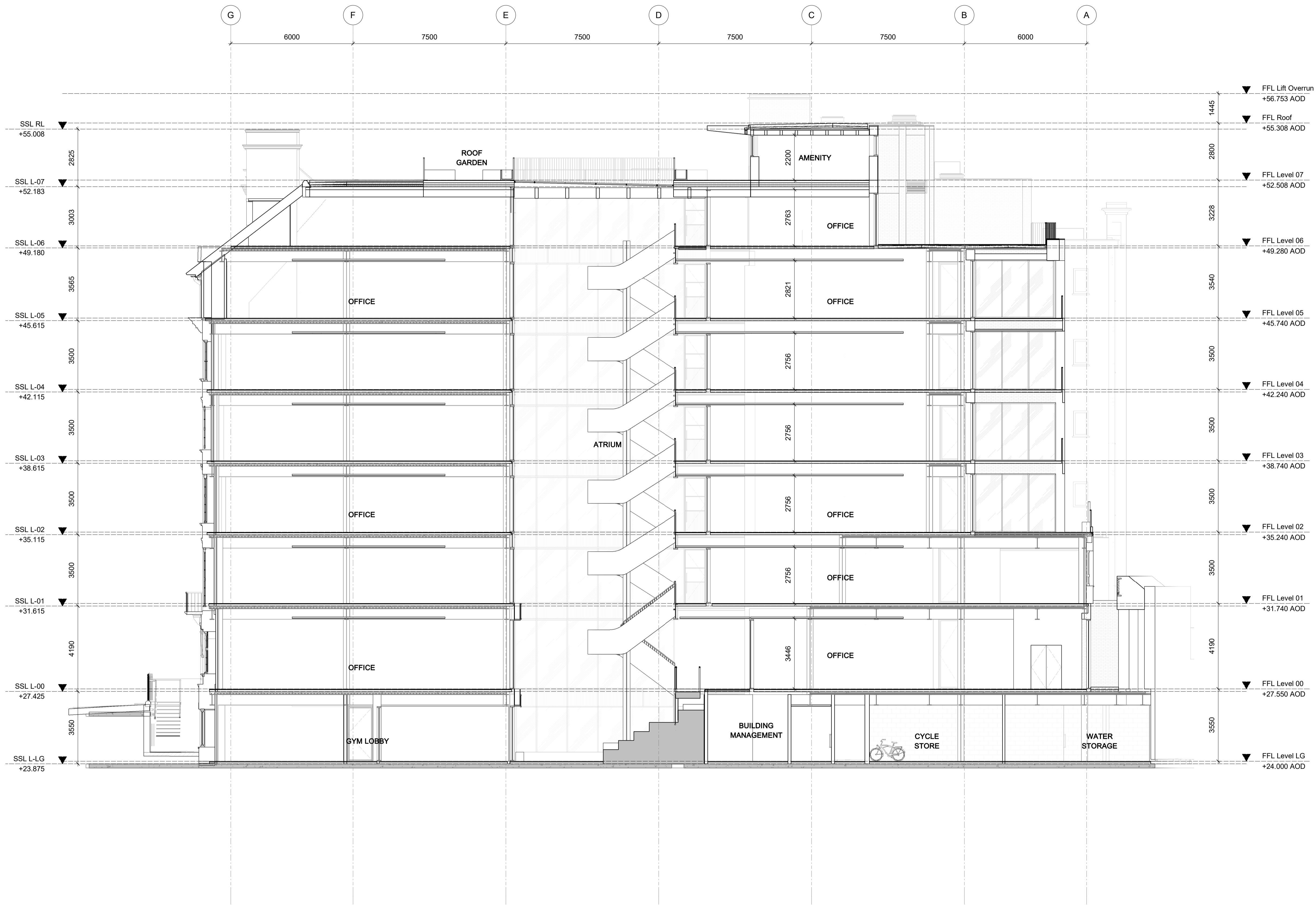
Suitability Code	Drawn	Checked	Revision
	EH	ND	P01

ST Project No.	Date	Scale @ A1
4677	21/09/22	1 : 100

Project Code	Orig	Zone	Level	Type	Role	Number
4677	ST	XX	XX	PL	A	03-103PL

1 Proposed South Elevation  
 1 : 100





Do not scale from this drawing.  
 Check drawing on receipt and immediately report any discrepancies to the Architect.  
 Verify all dimensions and levels on site prior to construction.  
 The contents of this drawing are Stiff + Trevillion Architects Ltd. Copyright and shall not be re-used without their written permission.

Notes:

Rev	Date	Description
P01	21/09/22	Planning Issue

**Stiff + Trevillion**  
 Stiff + Trevillion Architects Ltd  
 16 Woodfield Road  
 London W9 2BE  
 T +44(0)20 8960 5550  
 mail@stiffandtrevillion.com  
 www.stiffandtrevillion.com

Client  
**Capital 38**

Project  
**21 Bloomsbury Street**

Drawing Title  
**Proposed Section AA**

Drawing Status  
**PLANNING**

Suitability Code	Drawn	Checked	Revision
	EH	ND	P01

ST Project No.	Date	Scale @ A1
4677	21/09/22	1 : 100

Project Code	Orig	Zone	Level	Type	Role	Number
4677	ST	XX	XX	PL	A	04-100PL

1 Proposed Section AA  
 1 : 100