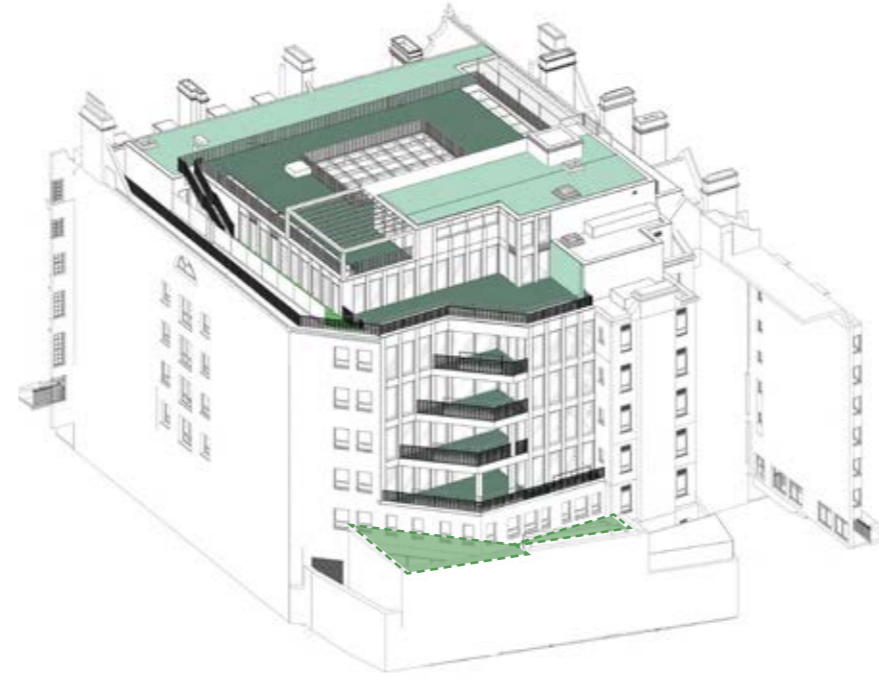


# 4.0 PROPOSED DESIGN

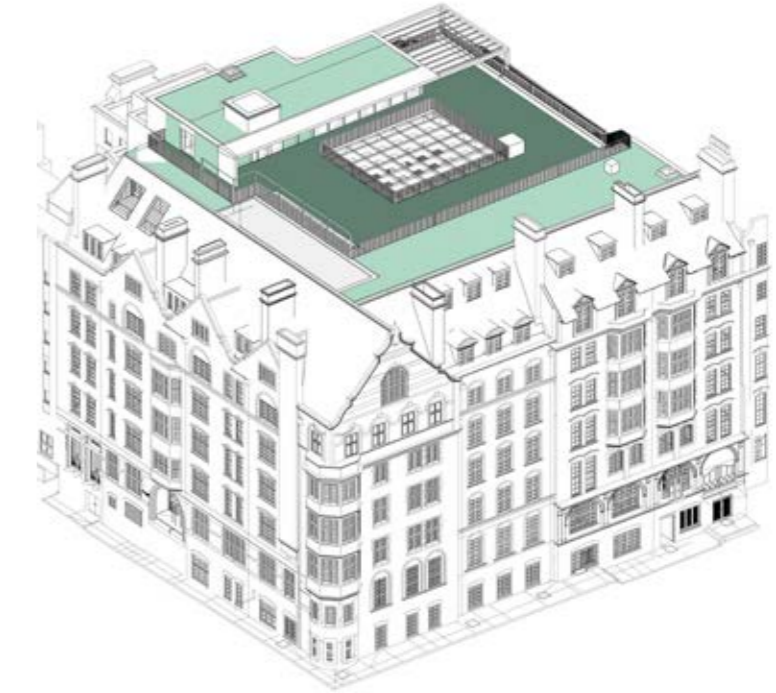
## 4.51 Proposed Urban Greening Overview

### Design Intent

- + New terraces for use as tenant amenity space at L07 and rear extension at L02-L06
- + Winter garden at L00 and visual amenity at L06
- + Urban greening + biodiversity activating terrace use
- + Localised planting arrangements
- + Softened lines to building perimeter
- + Nominal in ground lighting + non slip surfaces
- + Green roofs and green walls at L06+L07



South West Aerial View



North East Aerial View

Key:  
 Green roof/wall   
 Terrace with planters   
 Visual amenity + winter garden (Maintenance access/fire egress only)



Seating + planting



Brise soleil w/ seating + planting



Building amenity w/ seating + planting



Building amenity w/ seating + planting



# 4.0

## PROPOSED DESIGN

### 4.52 Urban Greening Factor

#### Policy

The Adopted London Plan includes a policy G5 regarding urban greening, which identifies and defines the Urban Greening Factor (UGF) as a planning policy tool: “A tool that evaluates and quantifies the amount and quality of urban greening that a scheme provides to inform decisions about appropriate levels of greening in new developments”.

#### UGF Aspirations

- + To show how a development may change a site
- + To compare different proposals for a site
- + To accelerate greening of the built environment
- + To ensure better planned, better quality greening interventions
- + To guide boroughs on the amount of greening that ought to be included in major developments.

Each surface cover type is given a greening ‘score’ depending on its value and contribution to green infrastructure. This score is multiplied by the area of that surface cover.

#### Calculations + Target

The UGF calculation works by multiplying the surface area of each proposed surface cover type by the factor, then adding the totals for each surface type and dividing that figure by the total surface area of the site.

The target UGF for a commercial development is 0.3. This applies for a new build project. The current UGF for Bloomsbury Street in its existing condition is essentially close to zero (0.004) as greening is limited to a shallow green roof to the second floor, as shown in the adjacent photo.

#### Proposal

We are proposing deliberate interventions to improve the quality and vertical surface cover of the green infrastructure. We are targeting and maximising the following surface cover type areas:

- + Intensive green roof or vegetation structure. Vegetated sections only. Substrate minimum settled depth of 150mm = 0.8 score
- + Extensive green roof with substrate of minimum settled depth 80mm = 0.7 score
- + Green wall – modular system or climbers rooted in soil = 0.6 score

**Targeted UGF: 0.3**

**Proposed UGF: 0.206**

Using these scores and the UGF calculation, the proposals generate an UGF of 0.206. This is a 200% increase in the green infrastructure to the site. Even though this is not quite to the target of 0.3 for commercial builds, this is a marked uplift to the greening of the area, and a feasible figure to achieve as part of a refurbishment / retrofit proposal on this very small footprint with no scope for introducing such higher scoring surface types as permeable drainage systems or tree planting. The extent of greening to this building is optimised with using elevations and perimeters to the terraces, whilst providing accessible terrace space for amenity and allowing for loading constraints to the structure. Inaccessible (maintenance access only) terrace perimeters are also to be planted, along with the top floor level with a sedum blanket biodiverse-enhanced with alpine plug plants. .

# 4.0 PROPOSED DESIGN

## 4.53 Urban Greening Factor

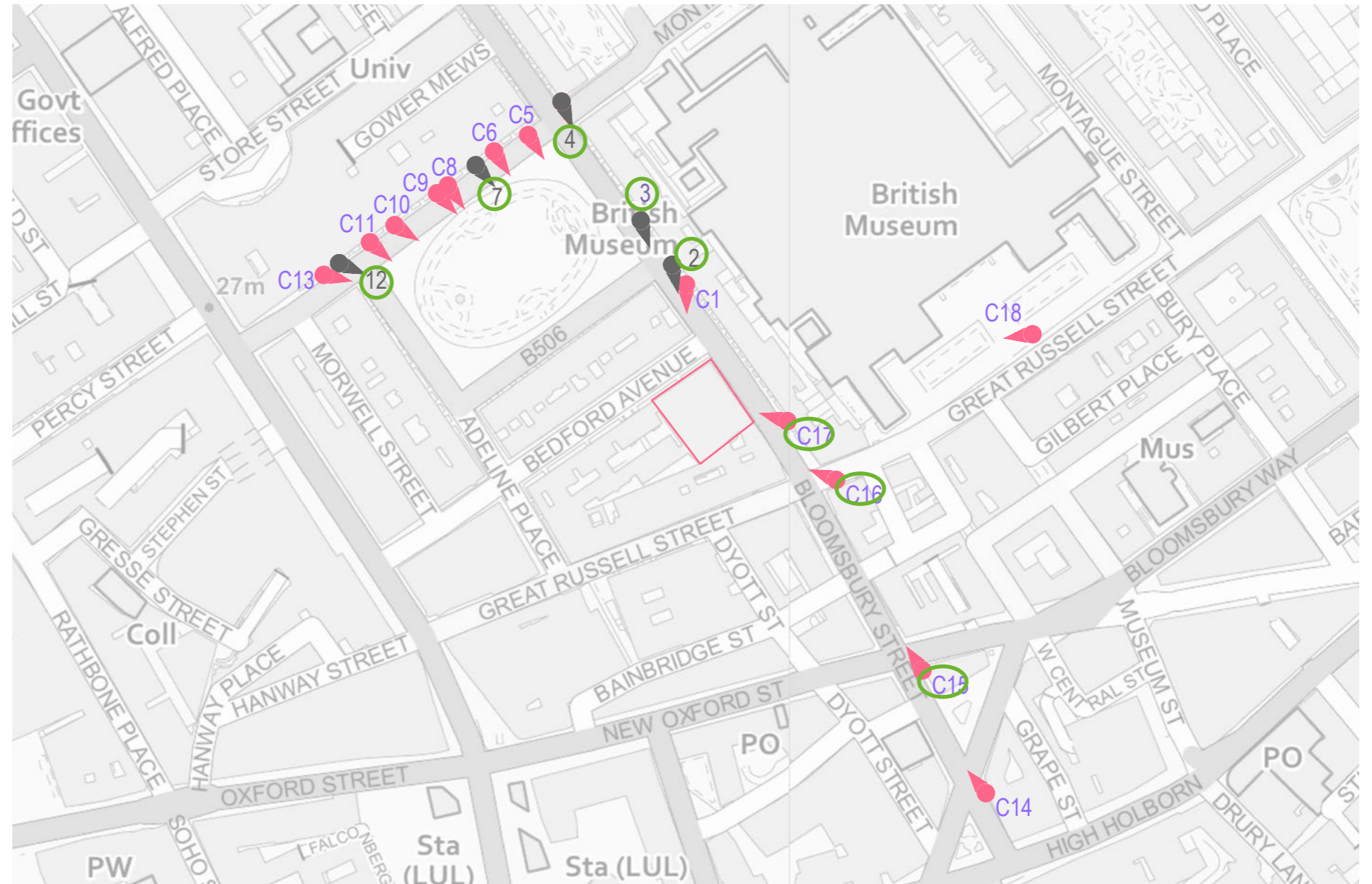
The target factor is 0.3 and the scheme currently achieves 0.206



# 4.0 PROPOSALS

## 4.54 Representative Views Assessment

Candidate viewpoint studies were taken from all the locations identified on the map. The selected views were refined during the Pre-App consultations to form a short list of key views, which are identified in green and illustrated on the following page. Computer modelled verified views from each of these locations were prepared by Miller Hare. Refer to section 7.0 for further details.



 Selected Views



# 4.0 PROPOSALS



2 | 60 Bloomsbury Street [24mm]



2.1 | 60 Bloomsbury Street [70mm]



3 | 4 Bedford Square [24mm]



3.1 | 4 Bedford Square [70mm]



4 | Montague Place at Bedford Square [24mm]



4.2 | Montague Place at Bedford Square [70mm]



7 | 16 Bedford Square [24mm]



7.1 | 16 Bedford Square [70mm]



12 | 6 Bailey Street [24mm]



12.1 | 6 Bailey Street [70mm]



C1 | 56 Bloomsbury Street [24mm]



C5 | 12 Bedford Square [24mm]



C6 | 14/15 Bedford Square [24mm]



C8 | 19 Bedford Square [24mm]



C9 | 20 Bedford Square [24mm]



C10 | 23 Bedford Square [24mm]



C11 | 25 Bedford Square [24mm]



C13 | 7 Bailey Street [24mm]



C14 | Bloomsbury Street at Shaftesbury Avenue



C15 | Bloomsbury Street at New Oxford Street



C16 | Great Russell Street at Bloomsbury Street



C17 | 28 Bloomsbury Street



C18 | Courtyard of the British Museum

Selected Views



# 5.0 CONCLUSION



## 5.0

# CONCLUSION

### 5.1 Conclusion

The Design has been developed in line with the pre-application discussions held with the London Borough of Camden.

- Sustainable reuse of this existing building to reposition for extended life and to meet current market demands
- Maximise the use of the existing building fabric and hence embodied carbon in combination with new highly efficient all electric M&E systems to minimise occupational carbon use - Improvements to thermal performance providing additional insulation to external walls
- Significantly improved urban greening + biodiversity
- Use of planting and urban greening in visible locations to improve visual amenity and mitigate any overlooking
- Decentralised plant re-located away from sensitive receptors concealed behind existing mansard
- Southern extension design to minimise large glazed elevations and associated glare + terraces + greening
- Delivery of new high quality flexible and sustainable office accommodation
- Improved levels of ventilation
- New London plan compliant cycle and end of trip facilities for office and retail uses to support sustainable forms of transportation
- Increased future flexibility through dual aspect office space and central cores + opening windows
- Use of low carbon construction materials (CLT) to new structure
- Car-free development
- Improved fire systems to improve building standards
- Biodiversity UG factor : 0.206





# 6.0

# APPENDIX



# 6.0 APPENDIX

## 6.1 Area Schedule

LOCATION	EXISTING		EXTENSION		PARTIAL ATRIUM INFILL*		PROPOSED	
	GIA	GEA	GIA	GEA	GIA	GEA	GIA	GEA
	sq m	sq m	sq m	sq m	sq m	sq m	sq m	sq m
BASEMENT	56		0.0	0.0	0	0	56	
LOWER GROUND FLOOR	1,851.0	2053.0	3.0	0.0	0.0	0.0	1,854.0	2053.0
GROUND FLOOR	1,333.0	1454.0	-6.2	1.8	26.2	26.2	1,353.0	1482.0
FIRST FLOOR	1,369.0	1470.0	-12.6	-8.6	64.6	64.6	1,421.0	1526.0
SECOND FLOOR	1,300.0	1394.0	-27.1	-24.1	110.1	110.1	1,383.0	1480.0
THIRD FLOOR	1,253.0	1351.0	23.9	19.9	110.1	110.1	1,387.0	1481.0
FOURTH FLOOR	1,251.0	1358.0	17.9	19.9	110.1	110.1	1,379.0	1488.0
FIFTH FLOOR	1,175.0	1340.0	33.9	17.9	110.1	110.1	1,319.0	1468.0
SIXTH FLOOR	253.0	315.0	547.5	650.0			890.0	965.0
SEVENTH FLOOR (GAIN)			139.0	160.0			139.0	160.0
TOTAL	9,841	10,735	719	837	531	531	11,181	12,103

\*PERMITTED UNDER CERTIFICATE APPLICATION 2022/0189/P

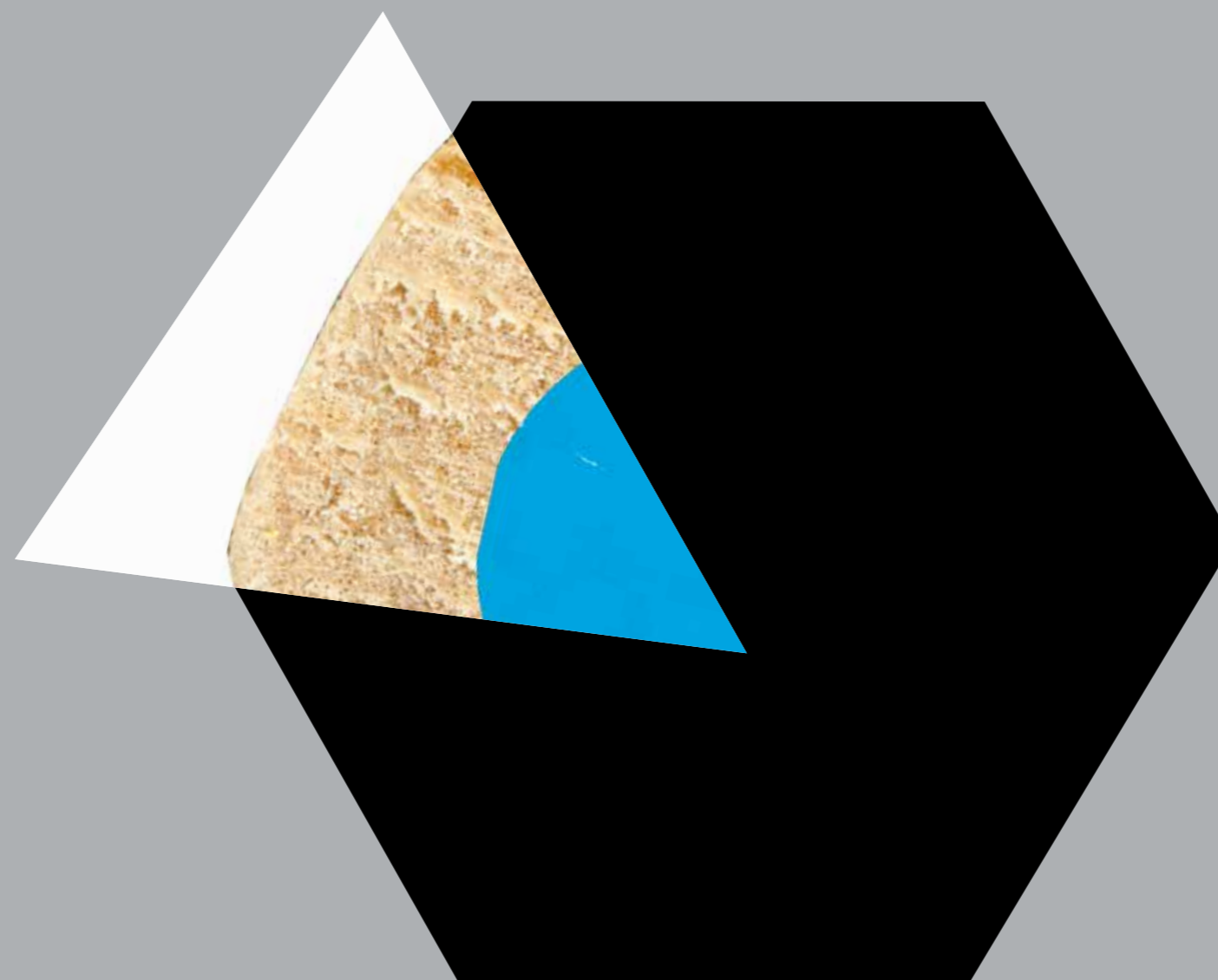


# 7.0 CANDIDATE VIEWPOINT STUDY

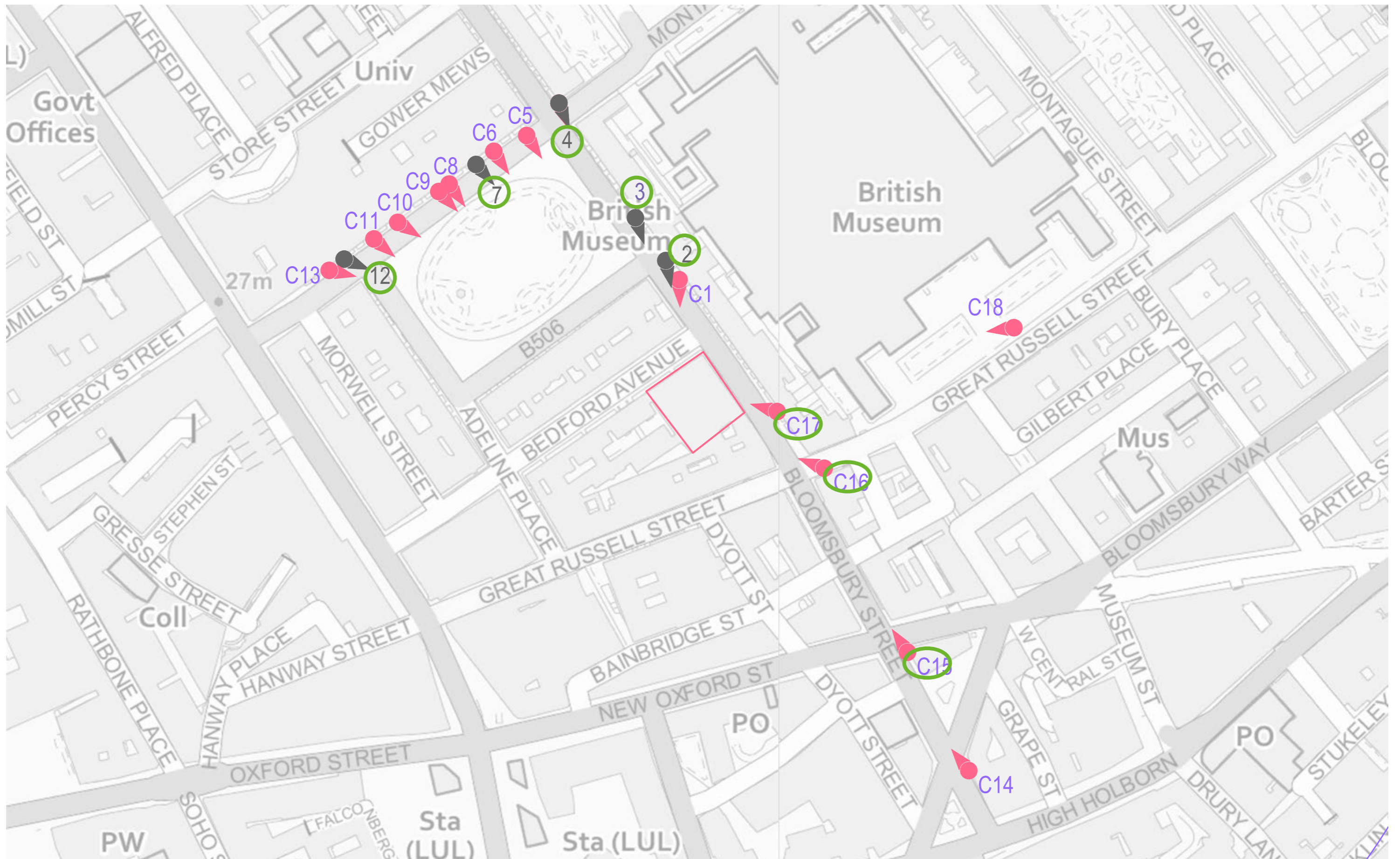


**21 Bloomsbury Street, London WC1B**  
Candidate Viewpoint Study

July 2022

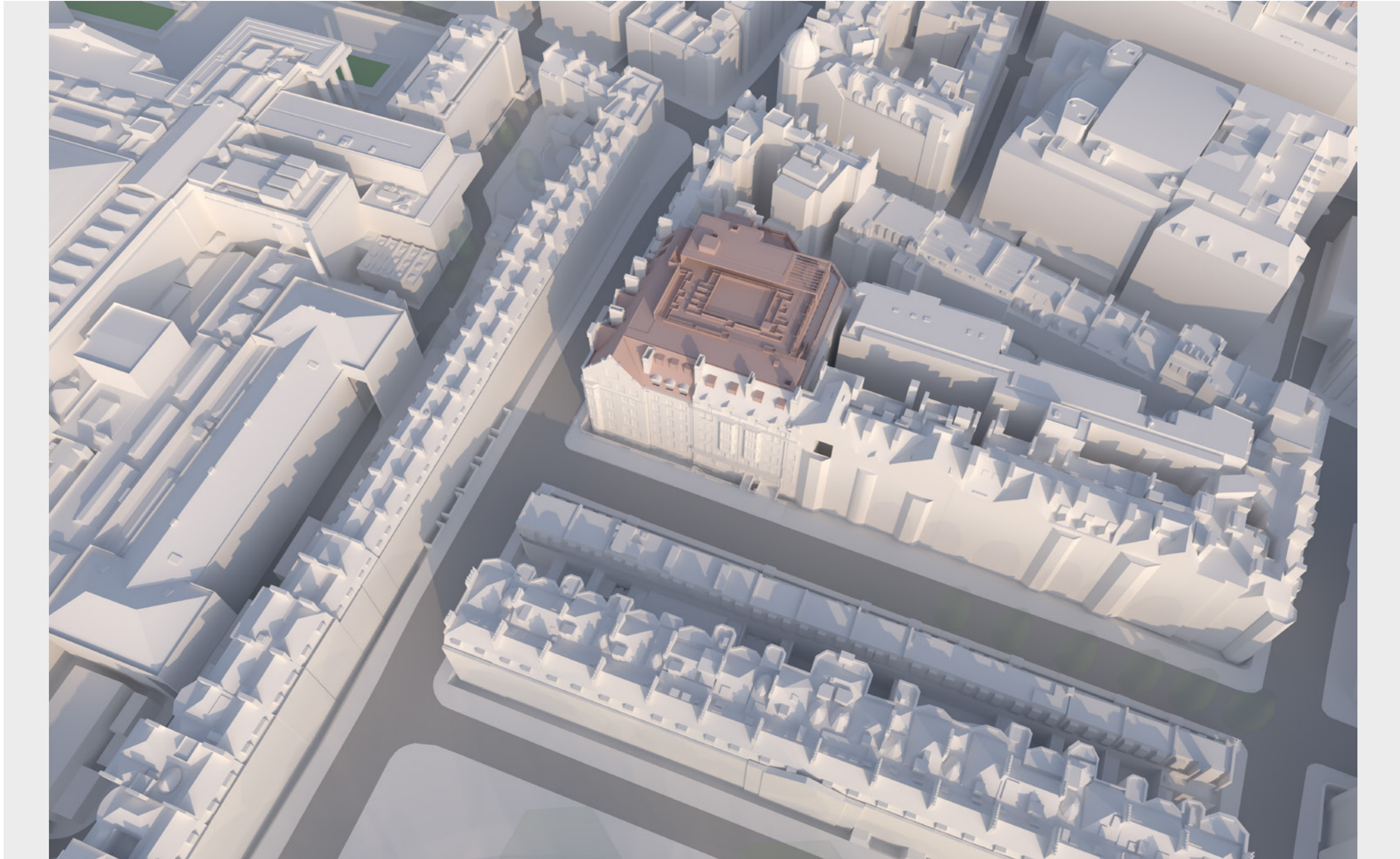






 Selected Views

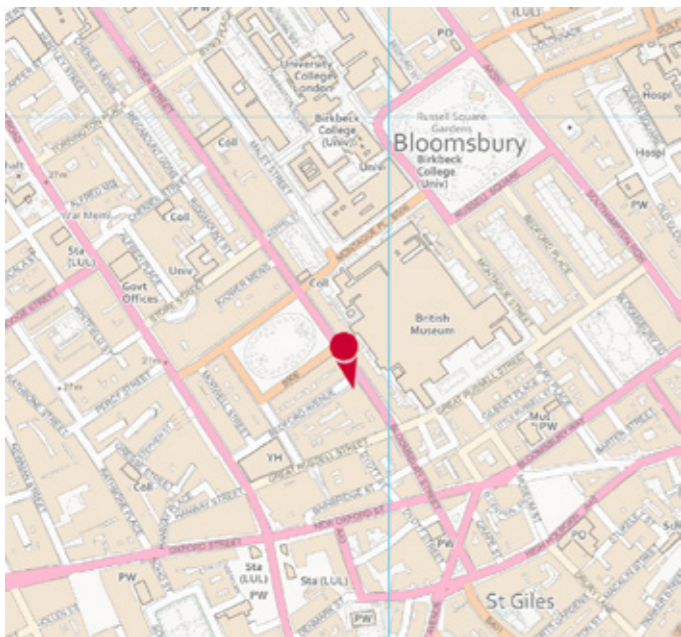






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 Looking at Centre of Site  
 Bearing 167.2°, distance 0.1km

*Photography Details*  
 Height of camera 1.60m above ground  
 Date of photograph 30/01/2022  
 Time of photograph 09:13  
 NIKON Z 7 DSLR  
 Lens 24mm







4787\_1205



*Camera Location*

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Camera height 28.71m AOD

Looking at Centre of Site

Bearing 167.9°, distance 0.1km

*Photography Details*

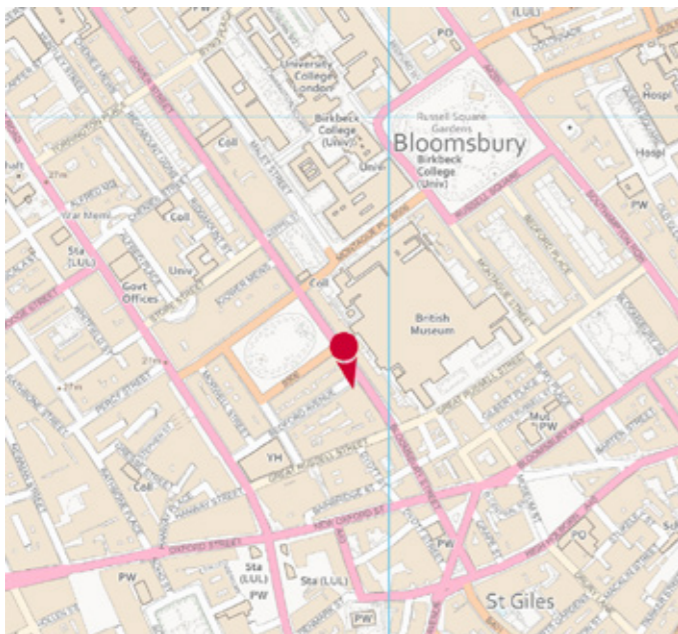
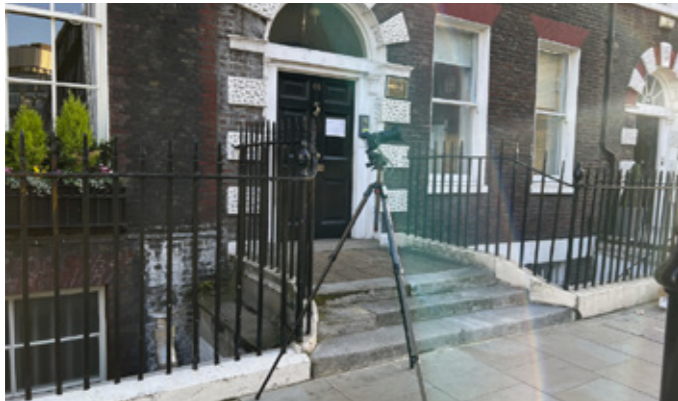
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Time of photograph 09:27

NIKON Z 7 DSLR

Lens 70mm





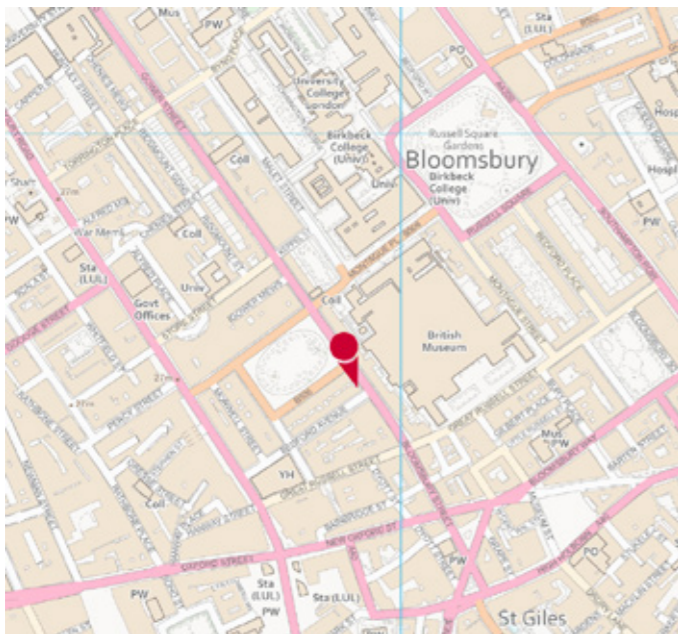


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Date of photograph 30/01/2022  
Time of photograph 09:10  
NIKON Z 7 DSLR  
Lens 24mm





4787\_1305



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Camera height 28.74m AOD

Looking at Centre of Site

Bearing 161.3°, distance 0.1km

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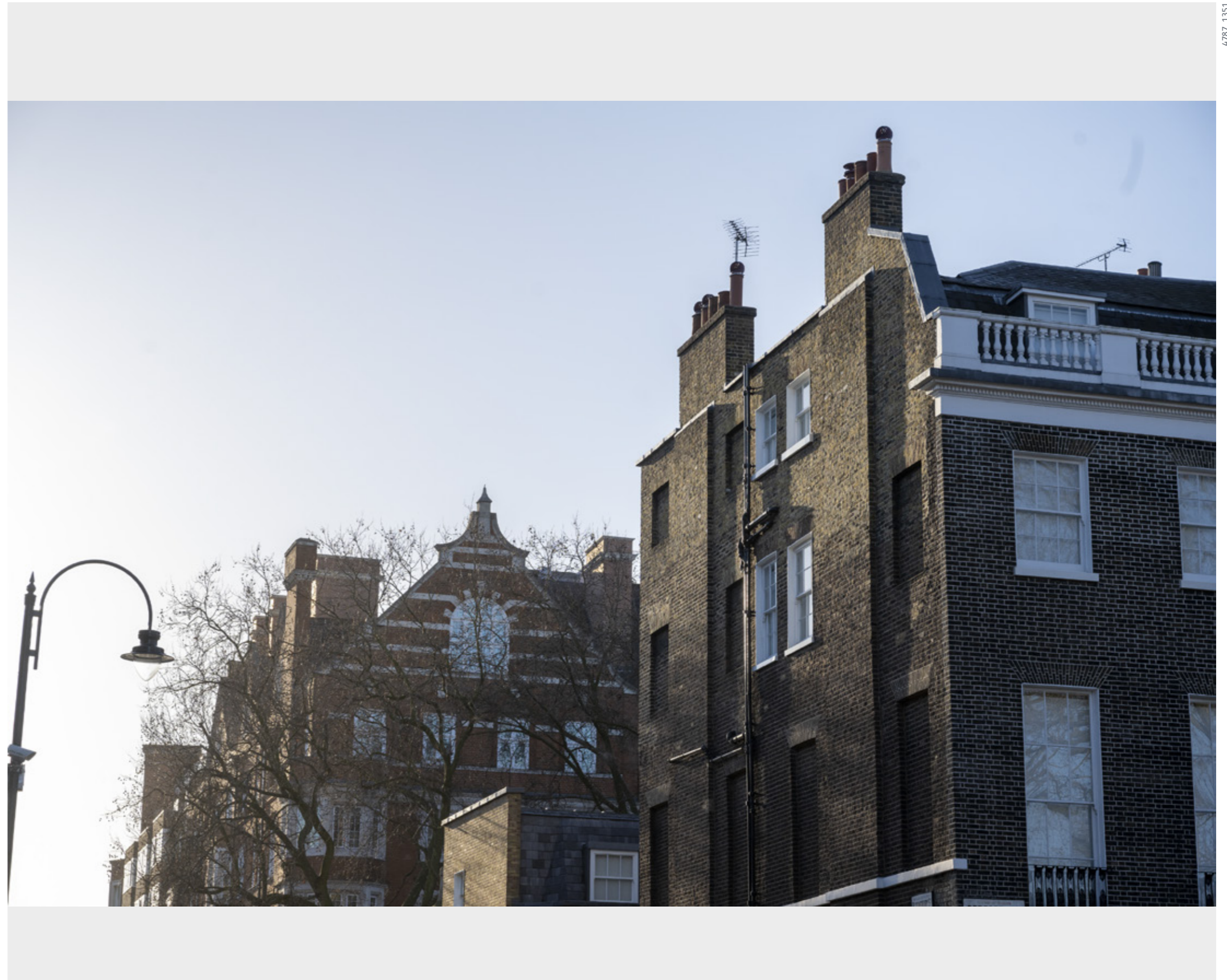
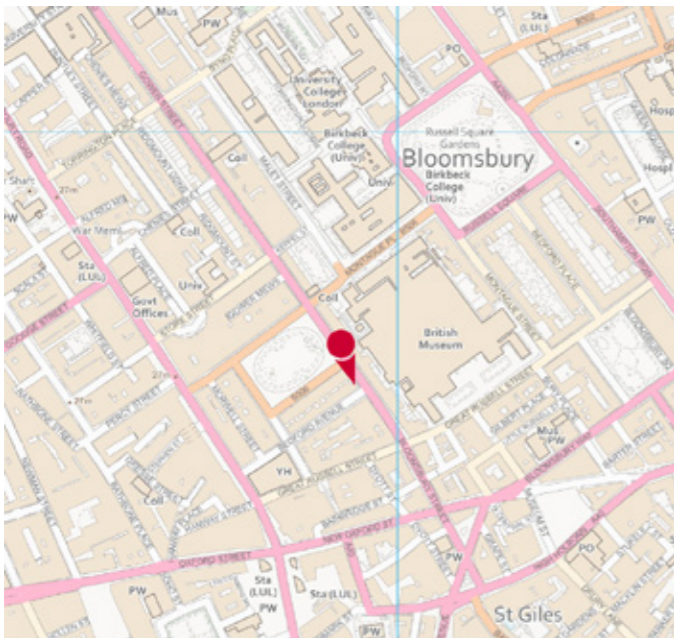
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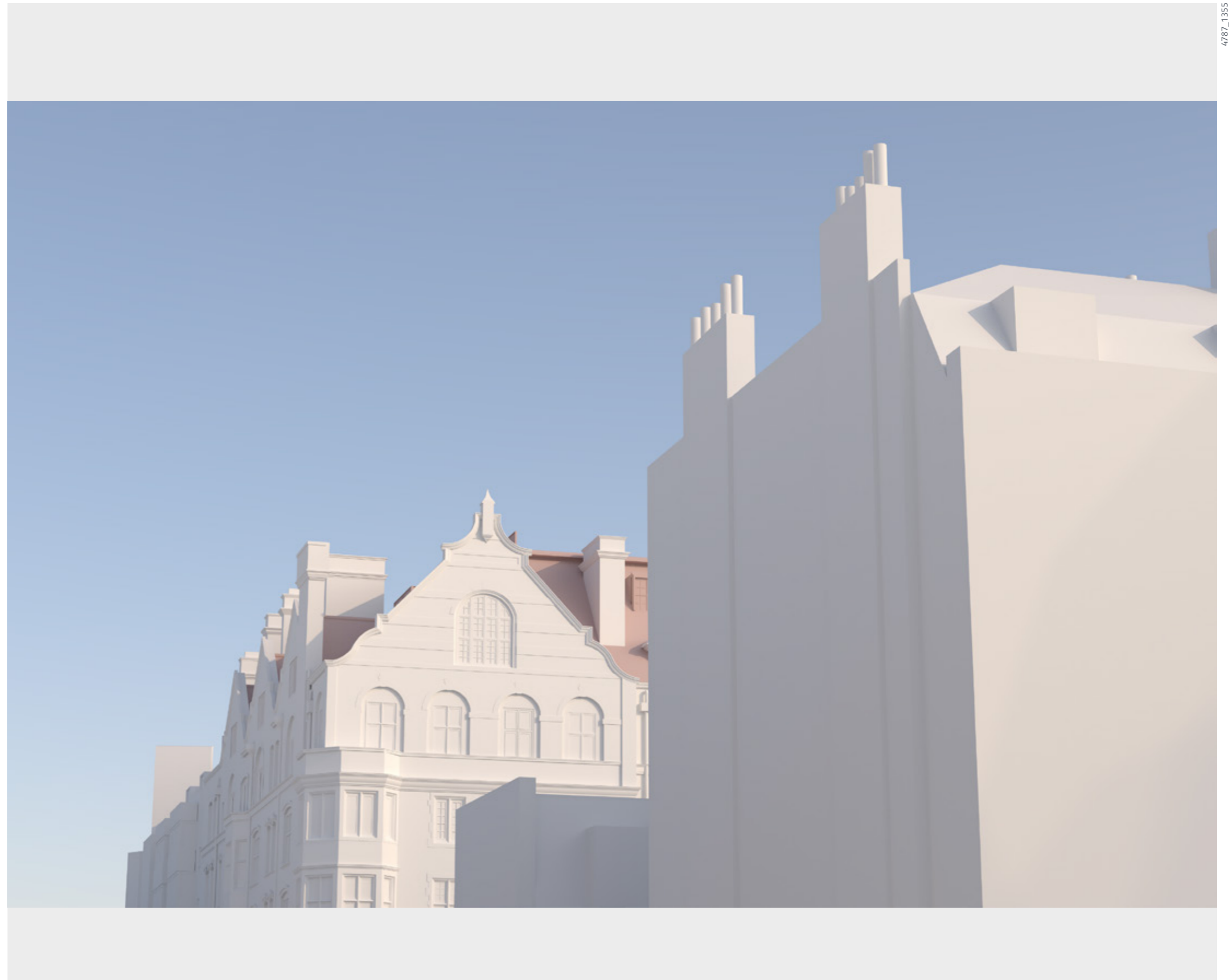
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NIKON Z 7 DSLR

Lens 70mm







4787\_1355

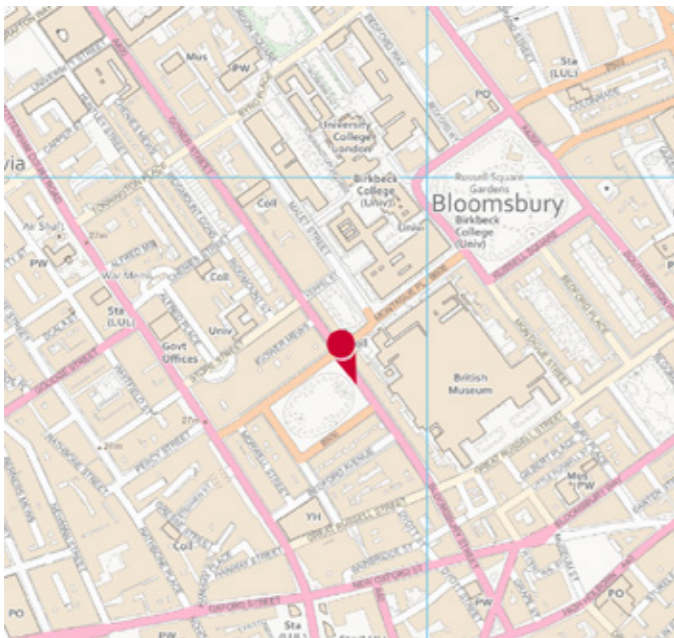


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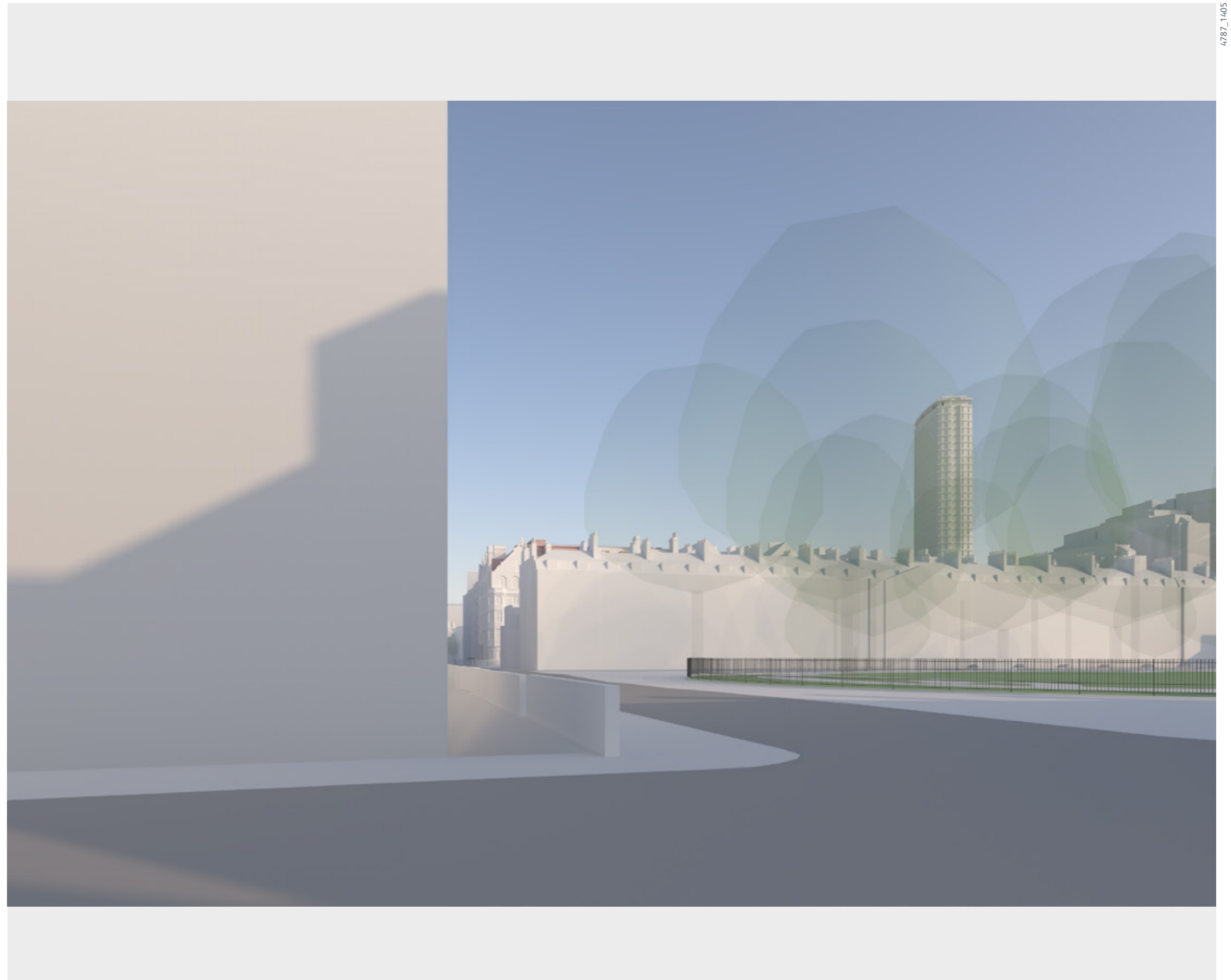
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Time of photograph 09:07  
NIKON Z 7 DSLR  
Lens 24mm



4787\_1401





4787\_1405



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Looking at Centre of Site

Bearing 157.5°, distance 0.2km

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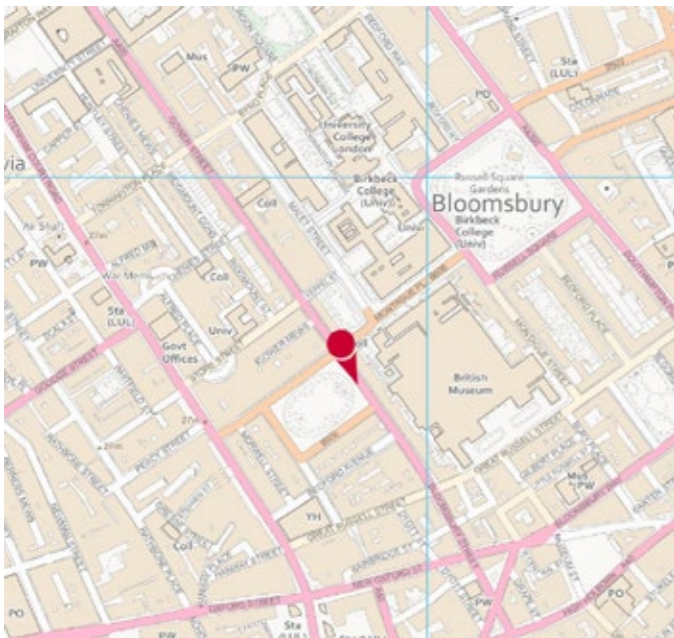
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Date of photograph 30/01/2022

Time of photograph 14:31

NIKON Z 7 DSLR

Lens 70mm







4787\_1455

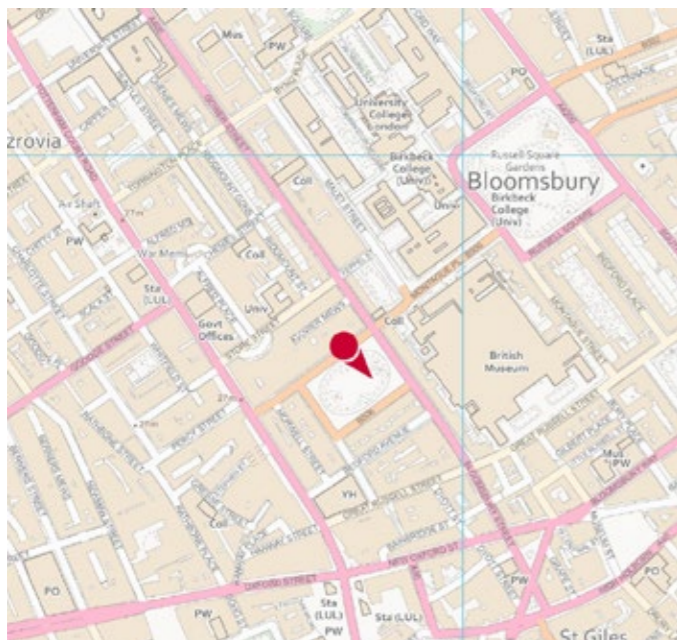


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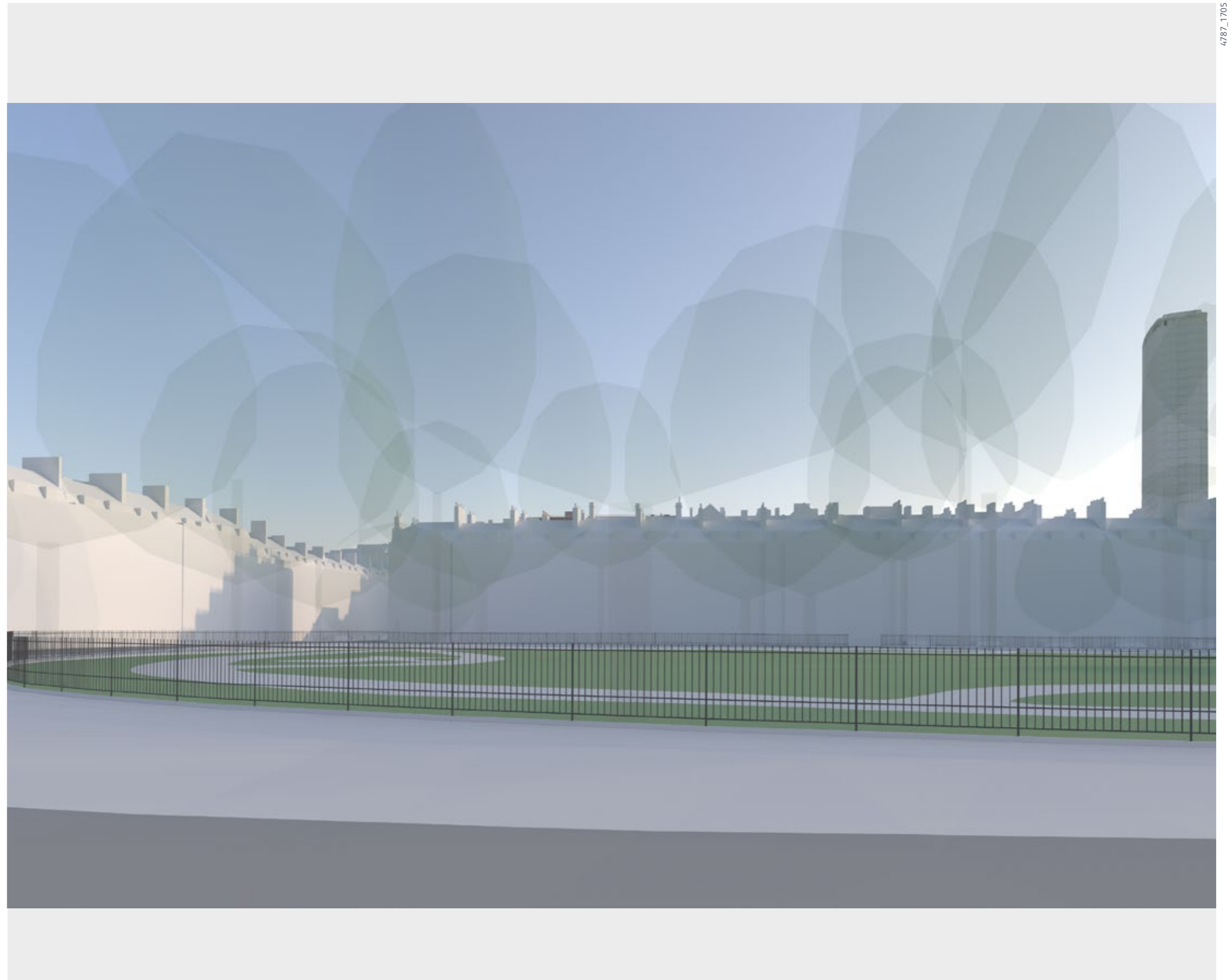
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NIKON Z 7 DSLR  
Lens 24mm







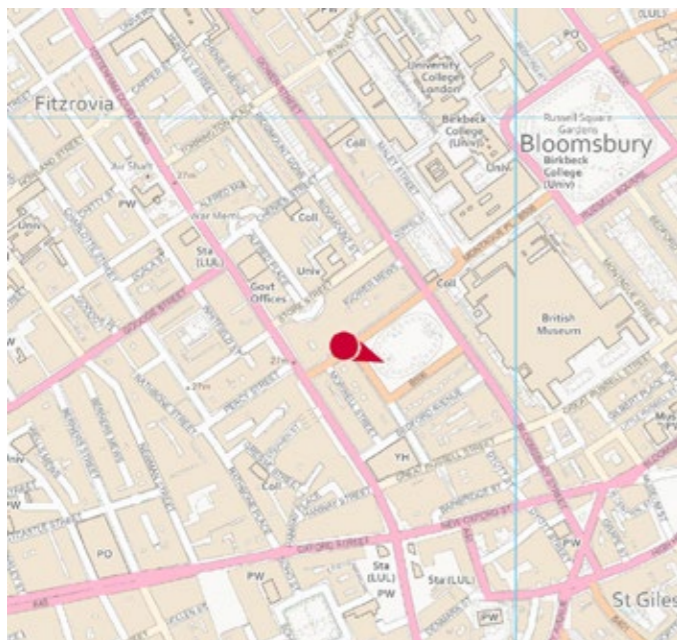


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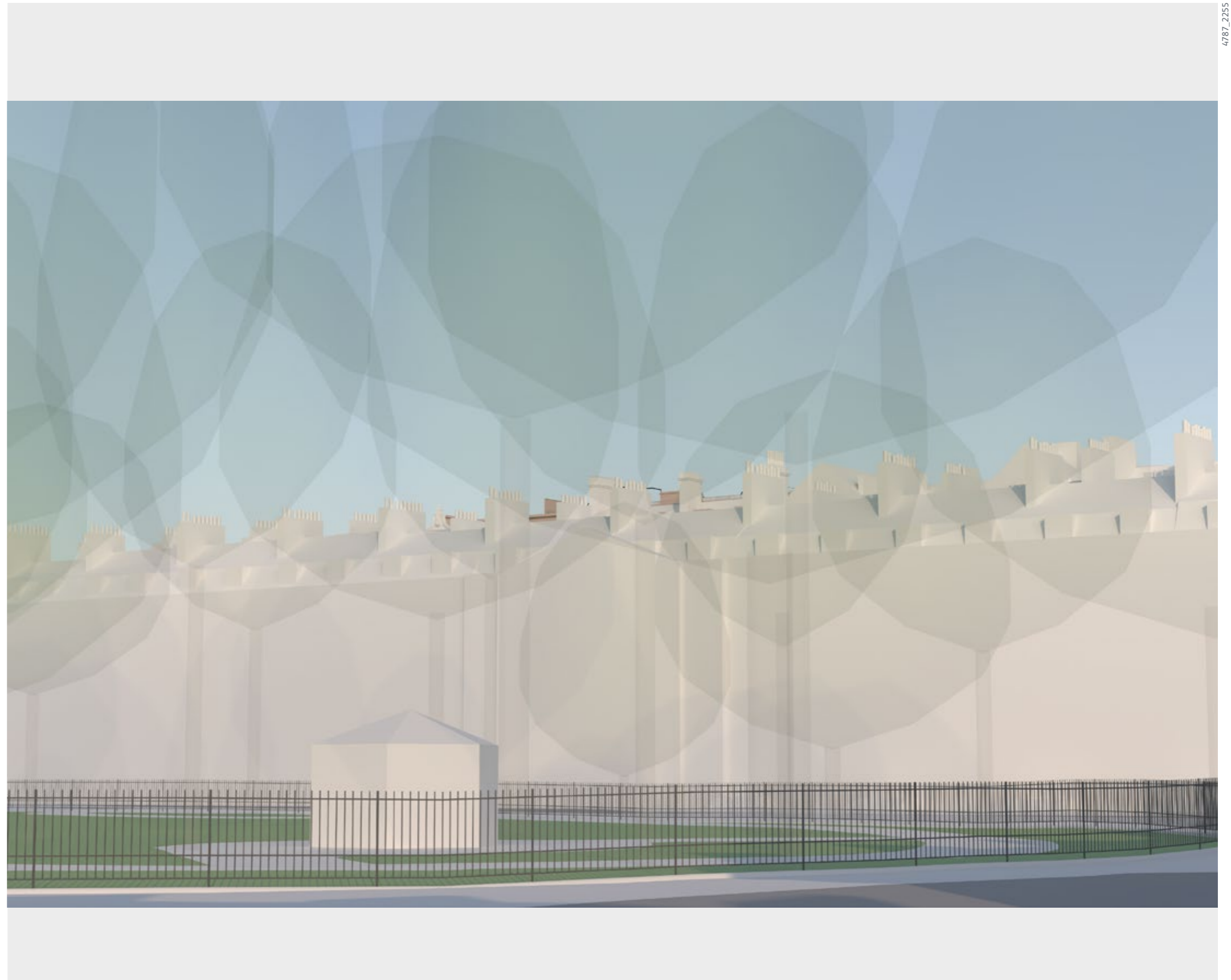
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NIKON Z 7 DSLR  
Lens 70mm



4787\_2251





4787\_2255





# 56 Bloomsbury Street [24mm]

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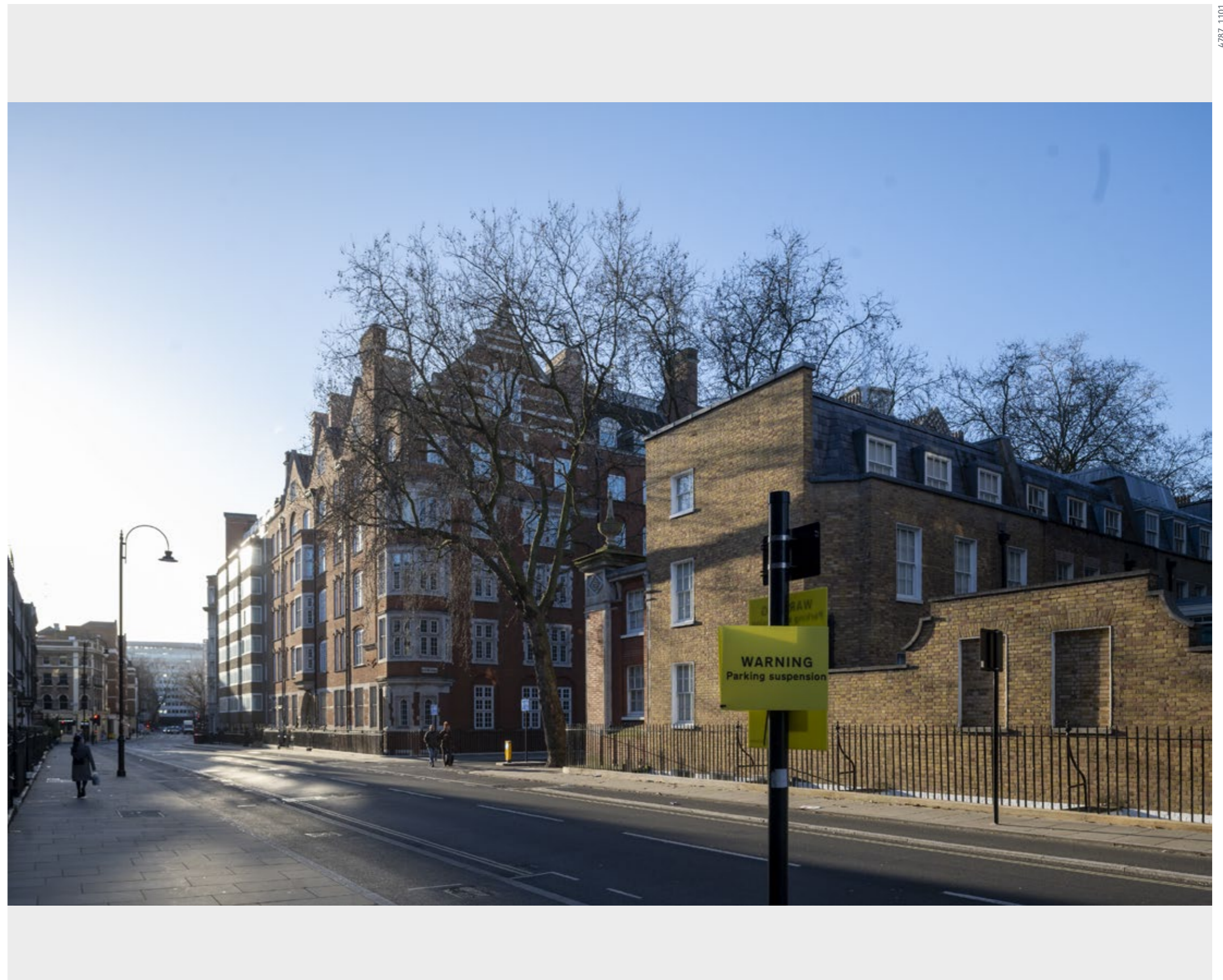
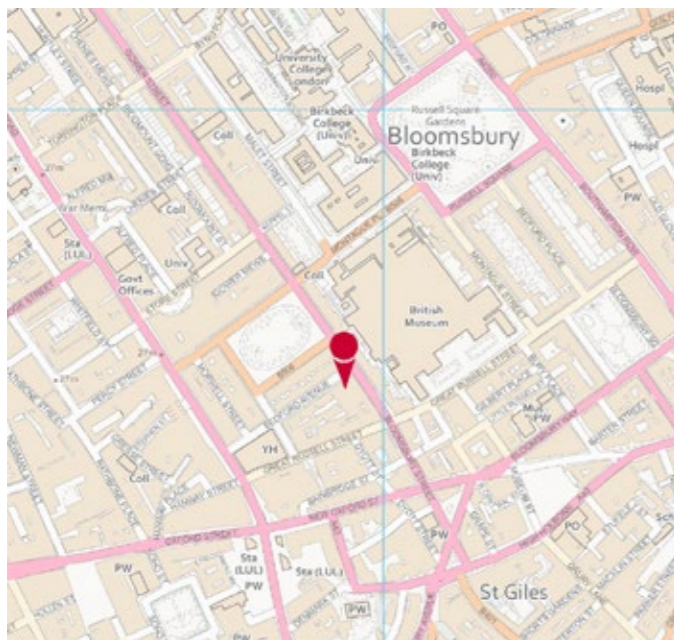
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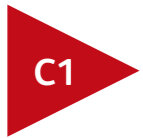
NIKON Z 7 DSLR

Lens 24mm



4787\_1101





4787\_1105



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Camera height 28.60m AOD

Looking at Centre of Site

Bearing 122.7°, distance 0.2km

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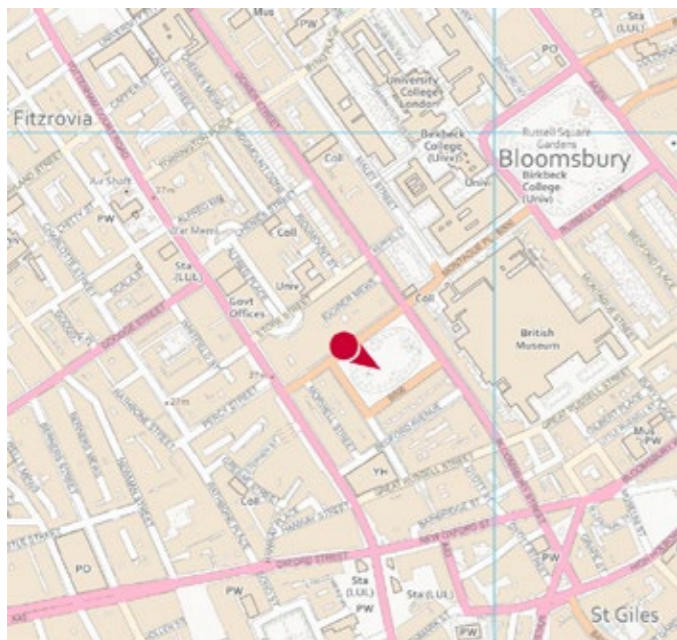
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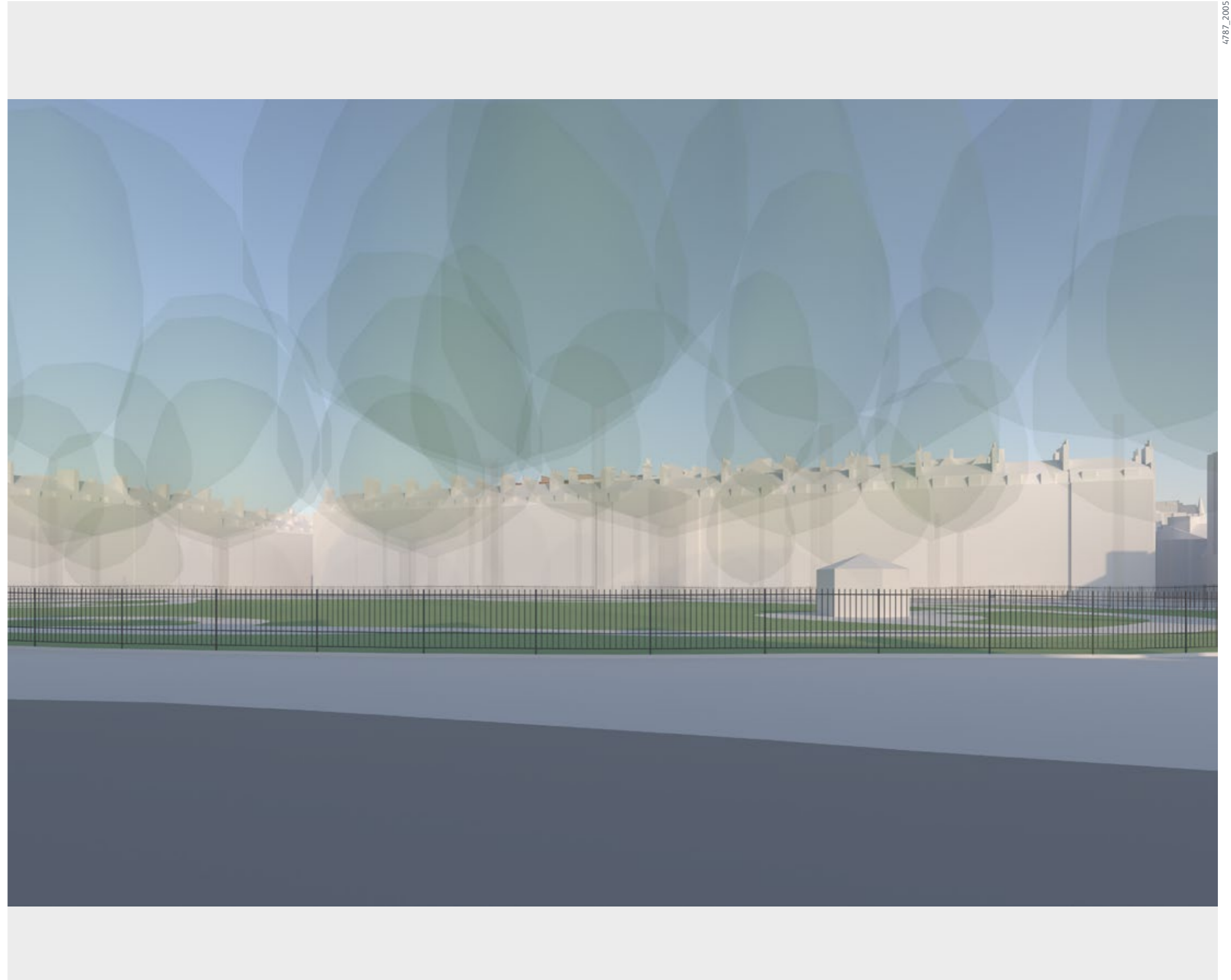
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NIKON Z 7 DSLR

Lens 24mm







4787\_2005