

**MINOR MATERIAL AMENDMENT**  
2 Prince of Wales Road, London NW5



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For London Borough of Camden  
September 2022

Drawings approved in Planning Application 2021/4606/P

		Scale	Sheet size	
380_PL_0_1250	Location plan	1:1,250	A4	Revised drawing
380_PL_0_01	Existing site plan	1:250	A3	
380_PL_0_10	Existing plans	1:100	A1	
380_PL_0_20	Existing sections	1:100	A1	
380_PL_0_30	Existing Prince of Wales elevation	1:50	A1	
380_PL_0_31	Existing Grafton Yard elevation	1:50	A1	
380_PL_0_32	Existing rear elevation	1:50	A1	New drawing
380_PL_1_10-C	Proposed plans	1:100	A1	
380_PL_2_10-C	Proposed sections	1:100	A1	380_PL_2_10-D
380_PL_3_01-D	Proposed Prince of Wales elevation	1:50	A1	
380_PL_3_02-B	Proposed Grafton Yard elevation	1:50	A1	380_PL_3_02-C
380_PL_3_03	Proposed rear elevation	1:50	A1	New drawing

Issue

27.09.22	Draft
03.10.22	Submission of MMA

PLANNING PERMISSION 2021/4606/P

Planning permission for the change of use and alterations to the existing building to create a Neighbourhood Hub was granted in March 2022. Since then the design team has been developing the design, including an energy efficient electric heating system for the building, replacing the existing gas boilers with VRF heat pump boilers. This document sets out the changes to the proposed Grafton Yard elevation to enable this installation.

SUMMARY OF AMENDMENTS

1) Addition of two louvred openings at high level at the north end of the building, one within the Grafton Yard elevation and one in rear elevation.

Reason for change:  
As the heat pump condensers are located within the building envelope a large amount of fresh air needs to be provided to the condenser plant room.

2) Addition of two roof mounted turrets to allow air out.

3) Introduction of rendered panel at high level to enable plant installation and replacement

4) Modern rectangular louvres replaced with circular louvres (as original design).

In addition to services related changes the following revisions are also included:

5) Aluminium windows to be dark grey

6) Security grilles removed

ACOUSTIC DESIGN

Attenuation measures to mitigate noise outbreak have been designed by acoustic consultant, Sandy Brown. Details of noise levels that will meet LB Camden’s requirements are included in Sandy Brown’s Plant Noise Egress report that forms part of this application.

IMPACT ON THE ARCHITECTURAL DESIGN

We have carefully considered the visual impact of the proposed changes (see page 6.0). The Grafton Yard elevation was originally designed around the ventilation requirements of the cinema, and the proposed amendments develop this theme. The new openings have been carefully considered and relate to the original building and the alterations carried out in 1984. The alterations do not harm the fabric and appearance of the Locally listed facade on Prince of Wales Road.

CO2 EMISSIONS REDUCTION

The proposed removal of gas-fired boilers and replacement with an efficient electric powered heating system will result in a large reduction of carbon dioxide emissions, in keeping with London Borough of Camden’s objectives. The ventilation system incorporates heat-recovery to reduce heating demand.





Grafton Yard elevation viewed from Prince of Wales Road



Grafton Yard elevation looking north



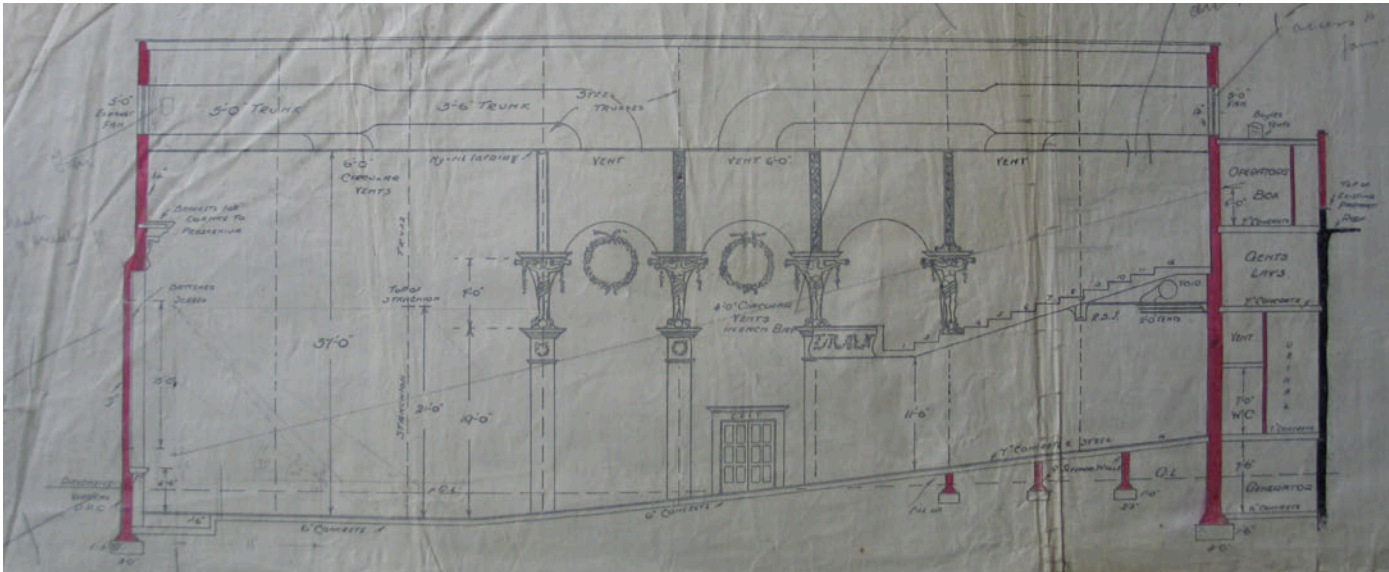


Grafton Yard elevation looking towards Prince of Wales Road

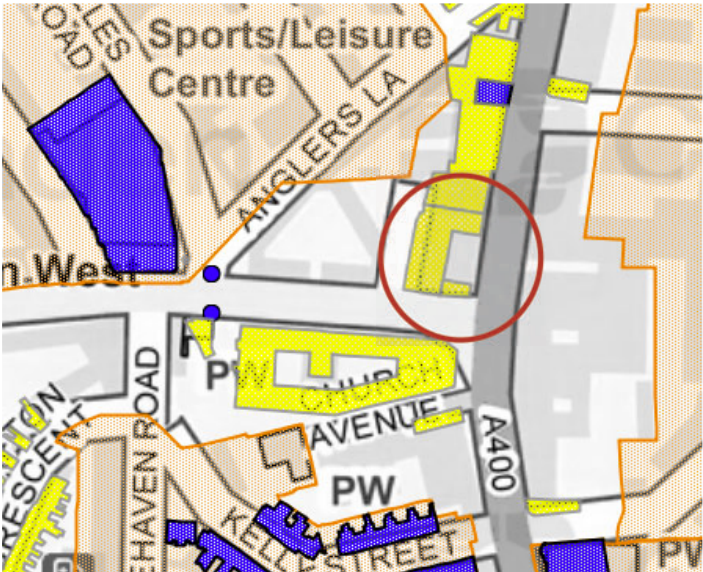


Grafton Yard elevation looking south





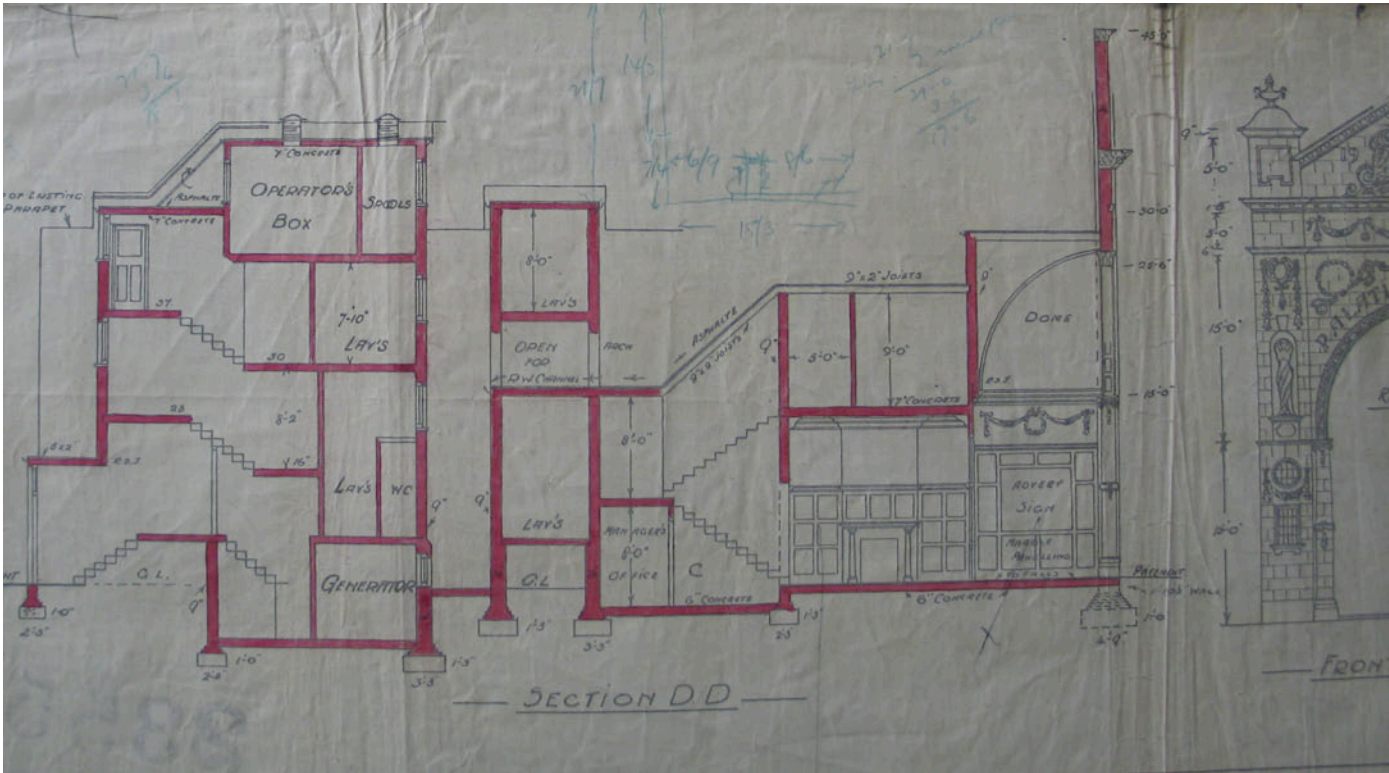
Longitudinal section through auditorium (Prince of Wales Road to left)



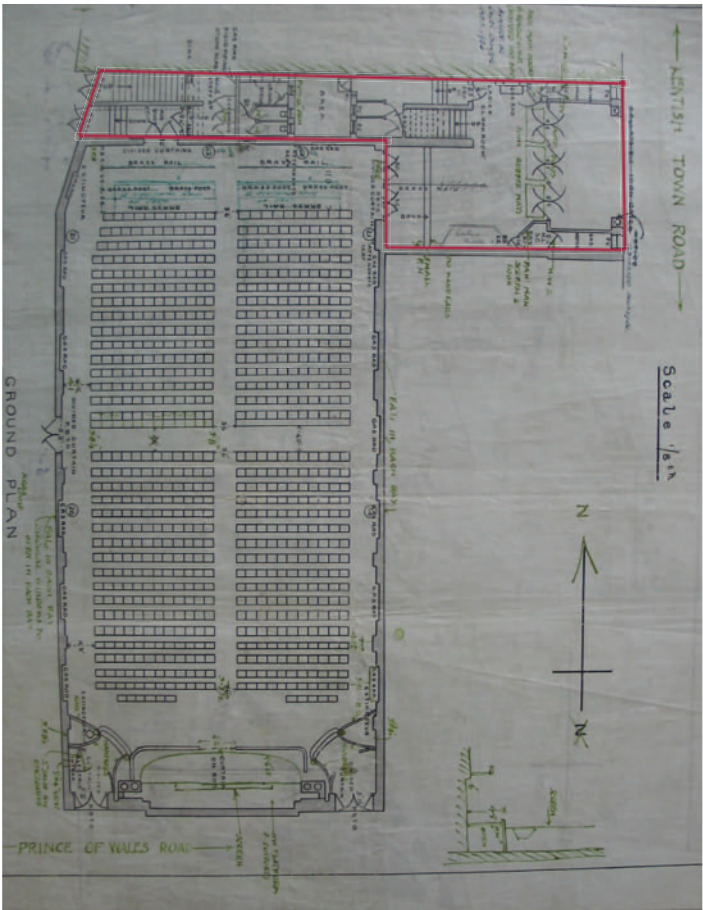
LB Camden's map of heritage assets, showing  
Blue: Statutorily listed buildings  
Yellow: Locally listed buildings  
Orange: Conservation areas

The building at no. 2 Prince of Wales Road is significant to the heritage of Kentish Town, through the history of its use as a cinema and the architectural qualities of the south elevation to Prince of Wales Road. It has significance as an early work of J. Stanley Beard (1890- 1970), who became a prolific architect of cinemas, including the Forum at Highgate Road (1934).

No. 2 Prince of Wales Road is included on London Borough of Camden's Local List as a non-designated heritage asset. The Local List states that the south elevation is important in terms of architecture and townscape. The principal cinema facade, along with the entrance foyer, ticket office, staff accommodation, projection room and means of escape stairs were demolished c.1960.



Cross section through entrance and service areas (demolished 1960)



Area of original cinema demolished in 1960s (outlined)

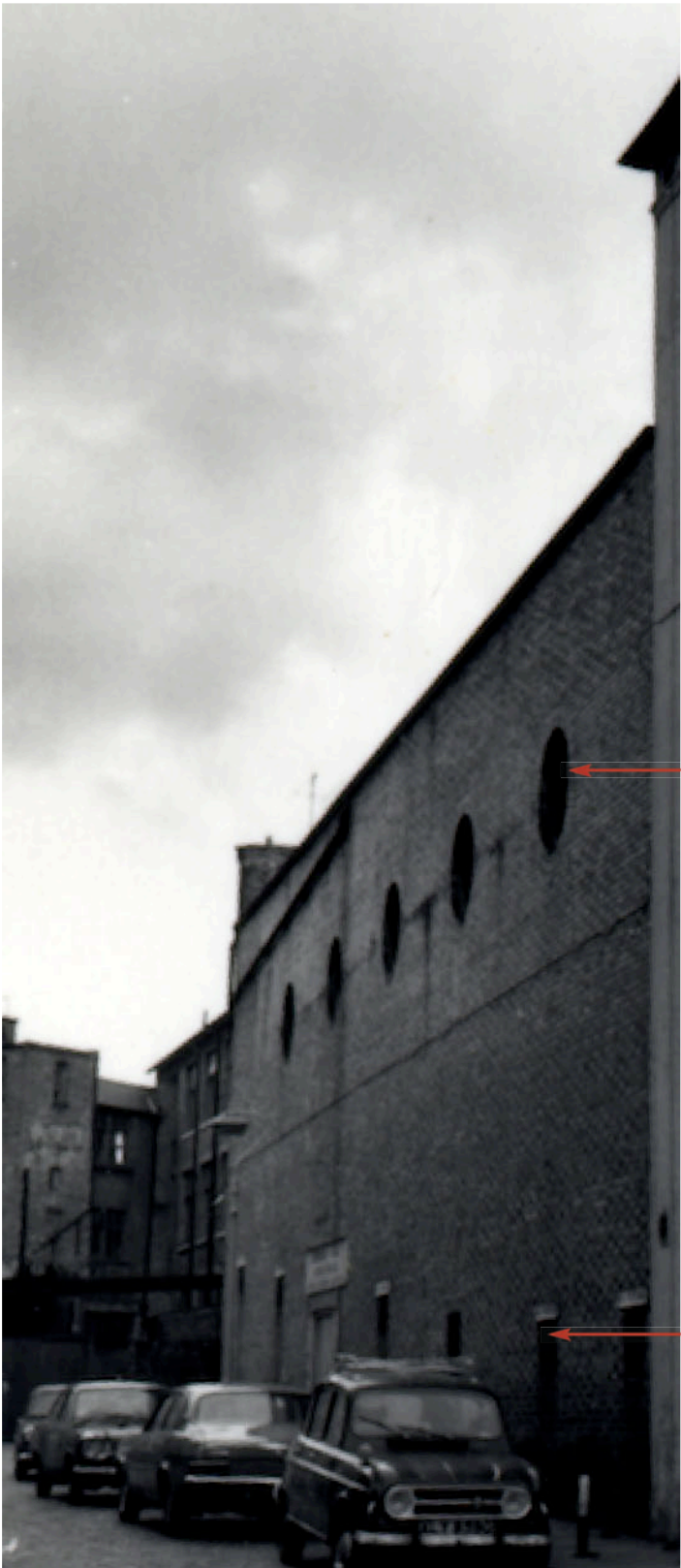




Front elevation on Kentish Town Road (demolished c. 1960)



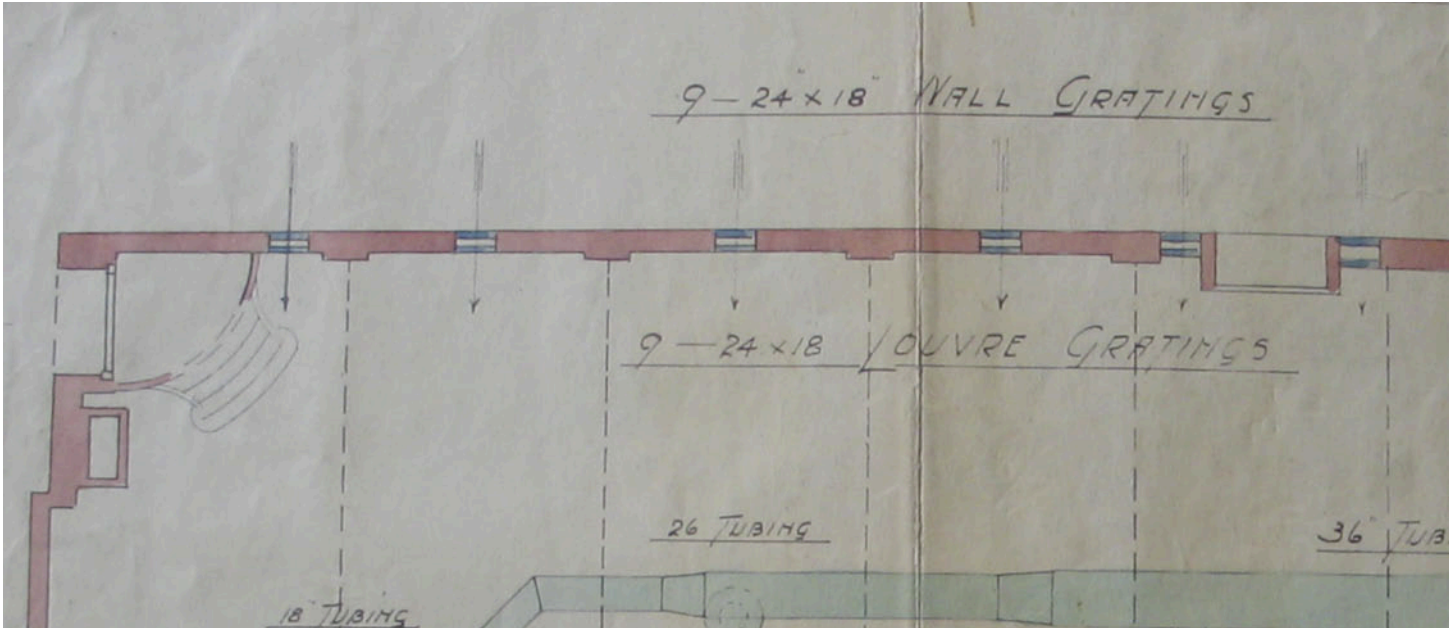
Rear elevation on Prince of Wales Road  
Photograph 1973 © Camden Local Studies and Archives Centre



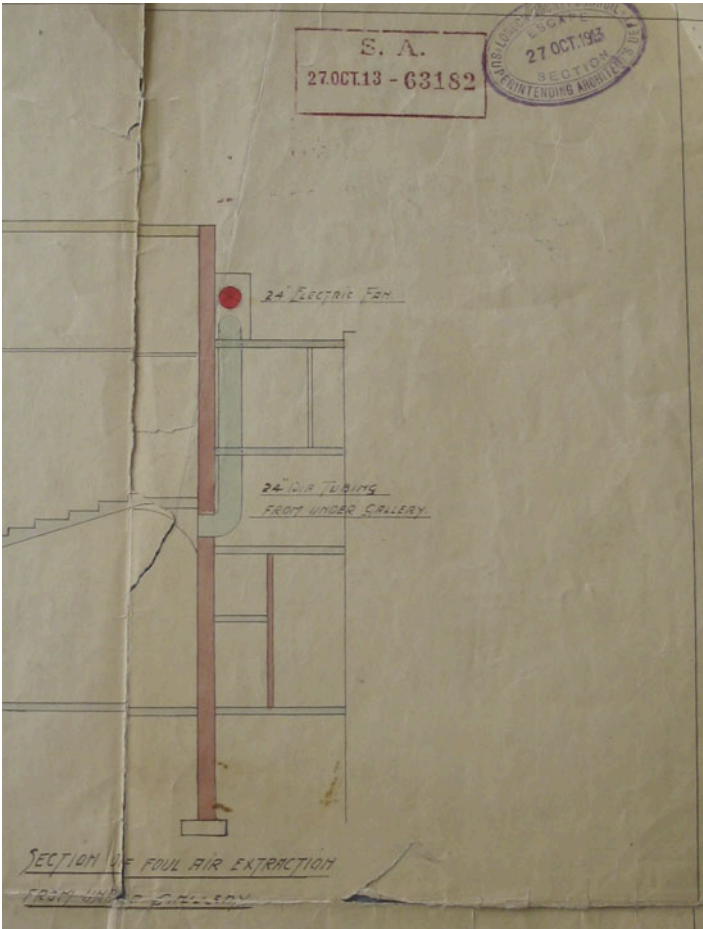
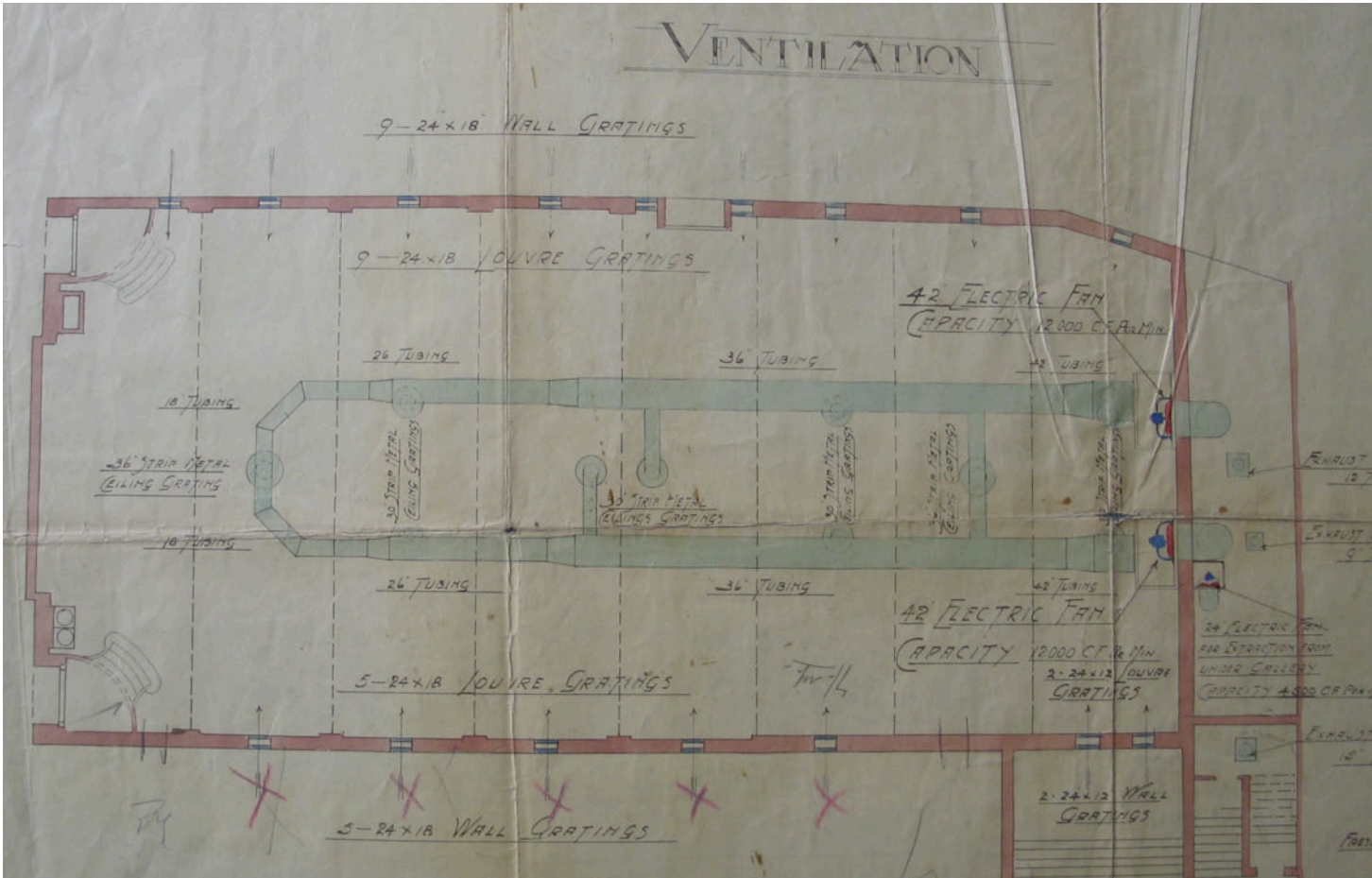
Side elevation on Grafton Yard

The Grafton Yard elevation of the original cinema building was designed as a utilitarian back-of-house elevation, using a cheap red brick. This contrasts with the original faience-clad main elevation of the entrance on Kentish Town Road (now demolished), and the rendered, classically-styled rear elevation on Prince of Wales Road

There are no drawings of the original design of the Grafton Yard elevation. There is however a photograph taken in 1973 which show the original vents in the elevation that are indicated on the original design drawings.



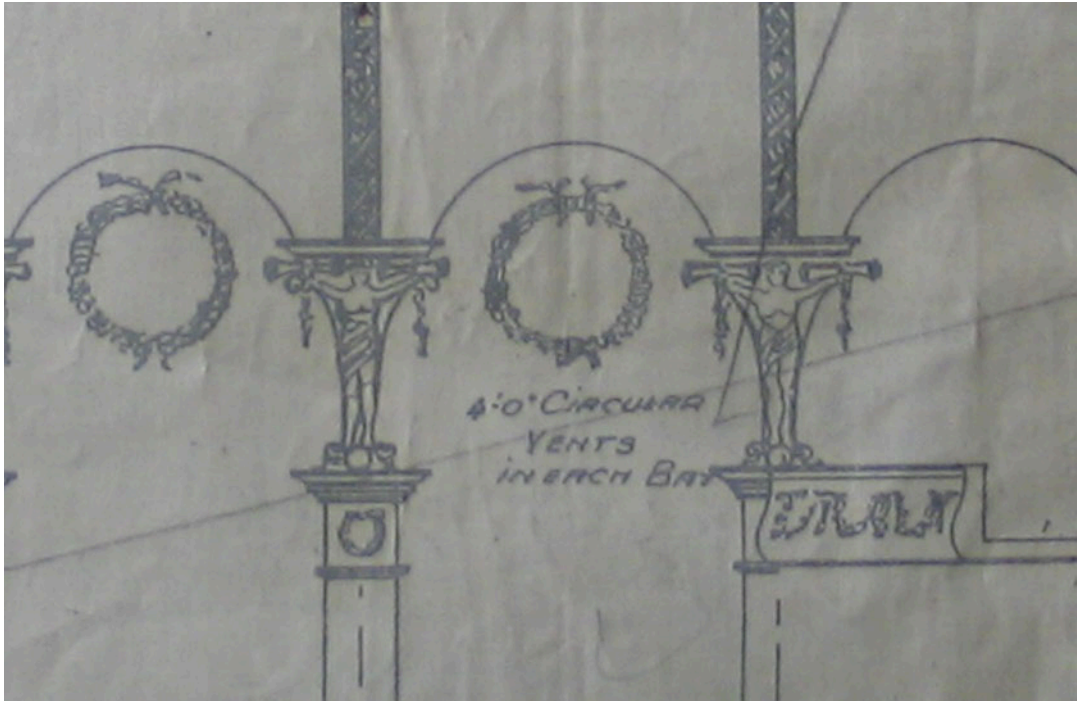
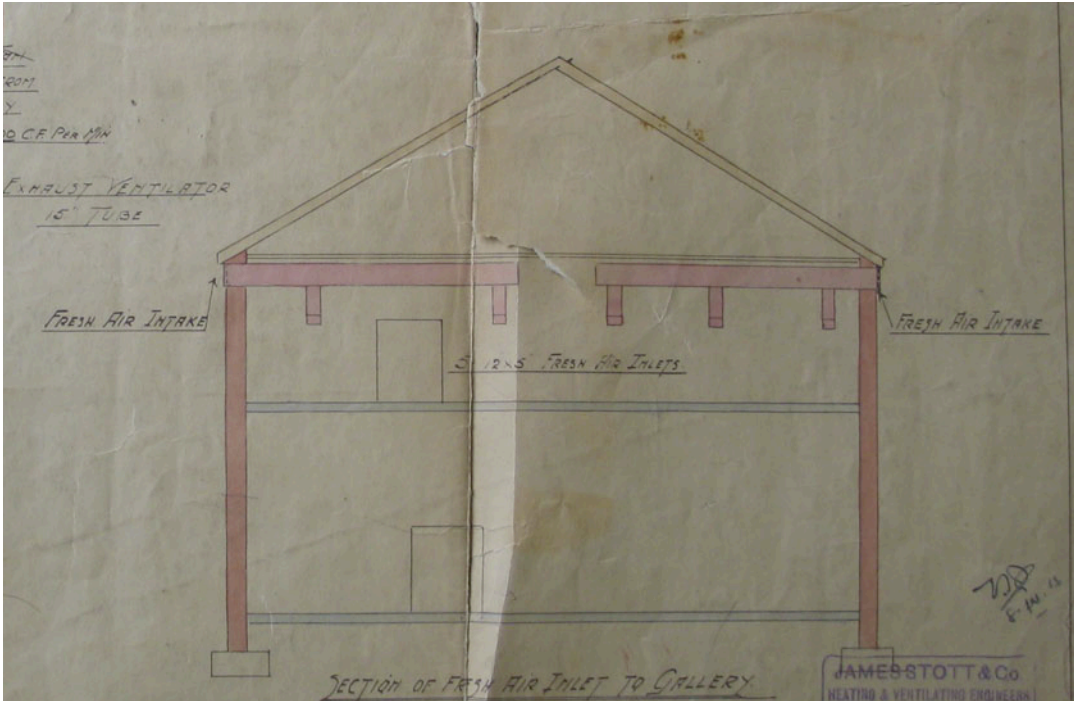




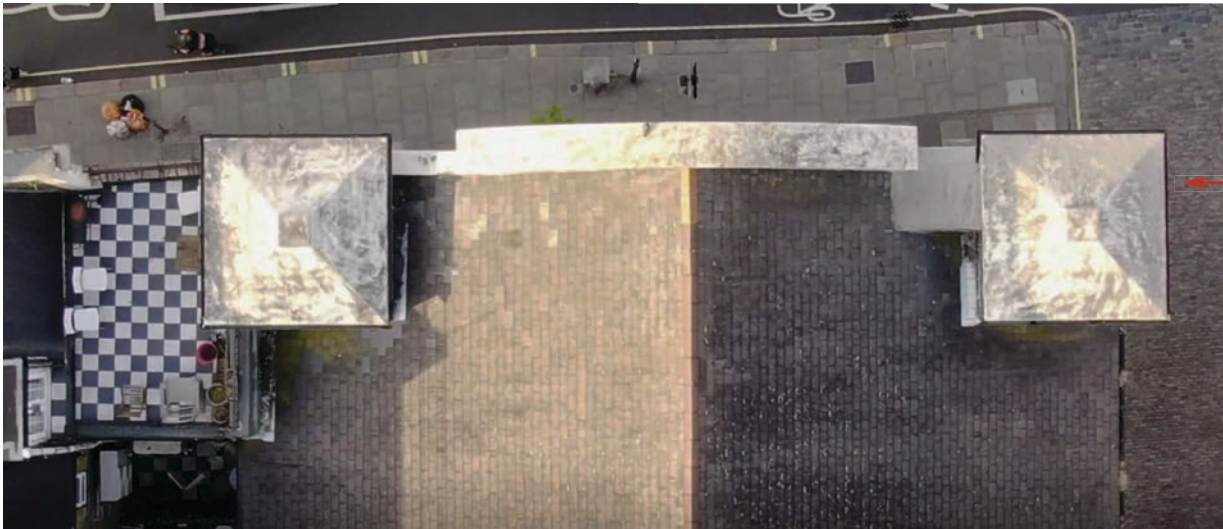
The original heating system comprised wall-mounted gas heaters. There was extract ventilation through the plaster ceiling, into the roof space and out the rear elevation, which is shown on the original design drawings.

The 4ft circular louvres in the Grafton Yard elevation were for ventilation inlets.

At some point in the design process, two turrets were added at the south end of the building. They are integrated with the design of the Prince of Wales and Grafton Yard elevations, at the top of a vertical bay defined by rendered pilasters.



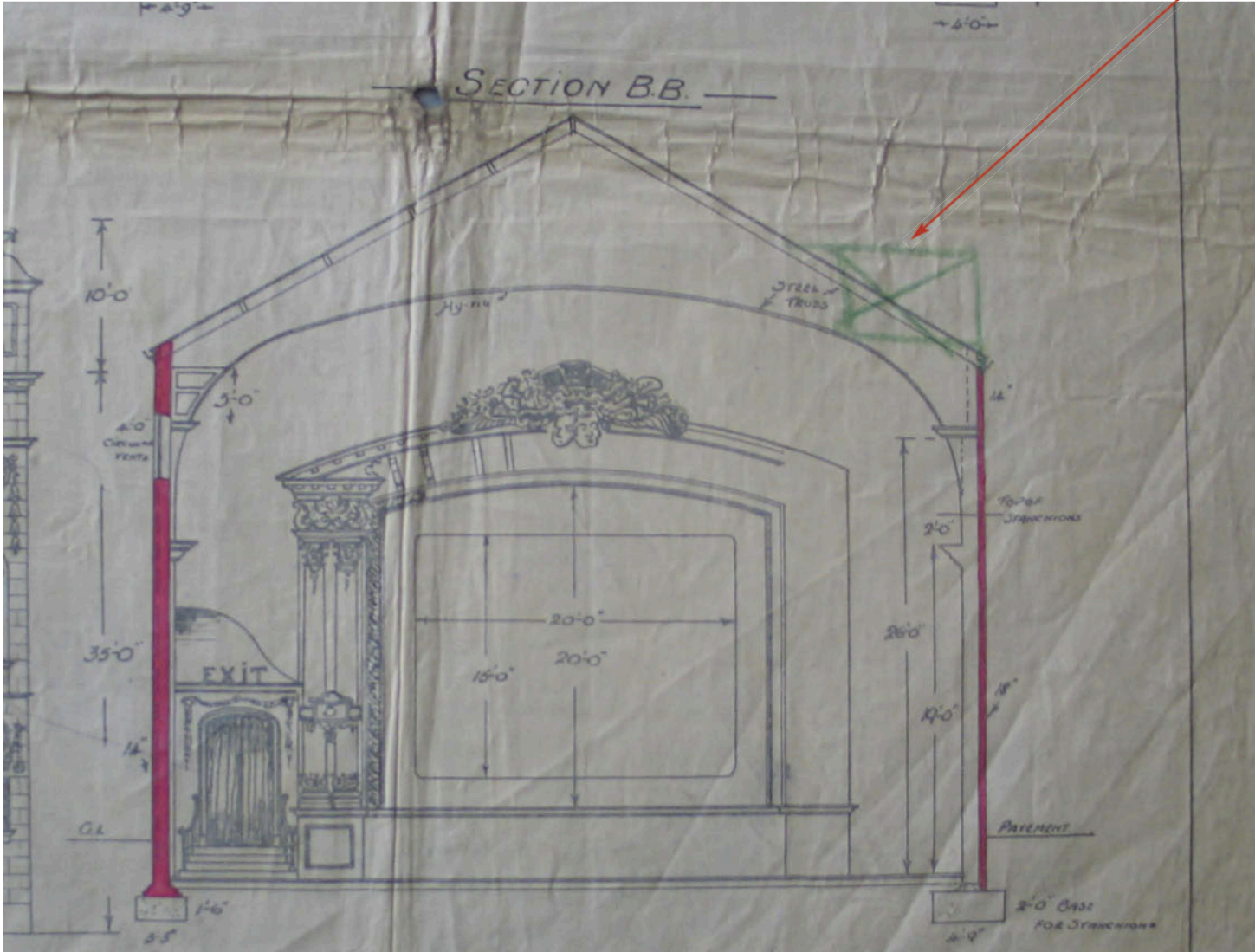




Turrets at south end of the building are related to the building elevation design

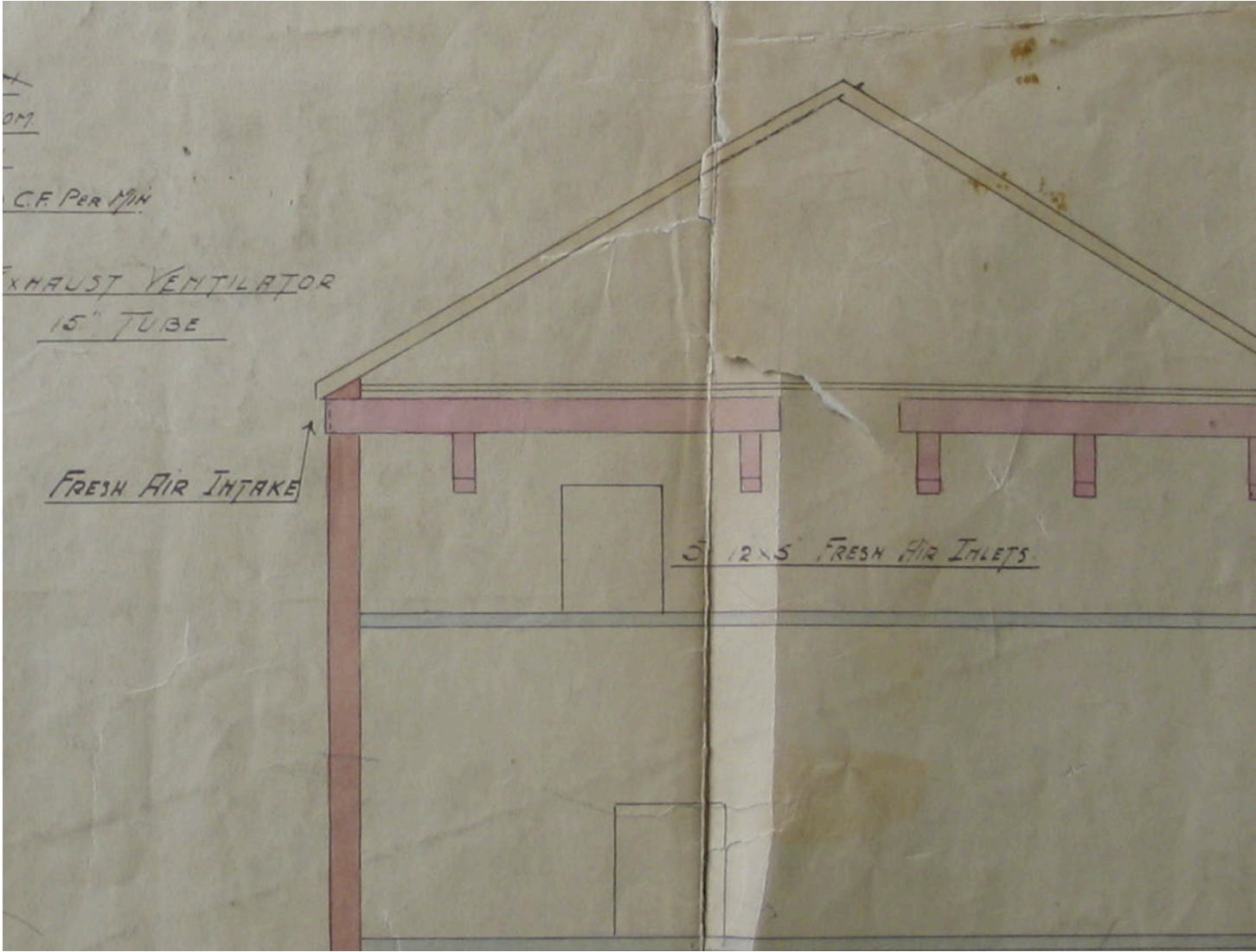


Pencil sketch on original design drawing (May 1913) indicating addition of the turrets





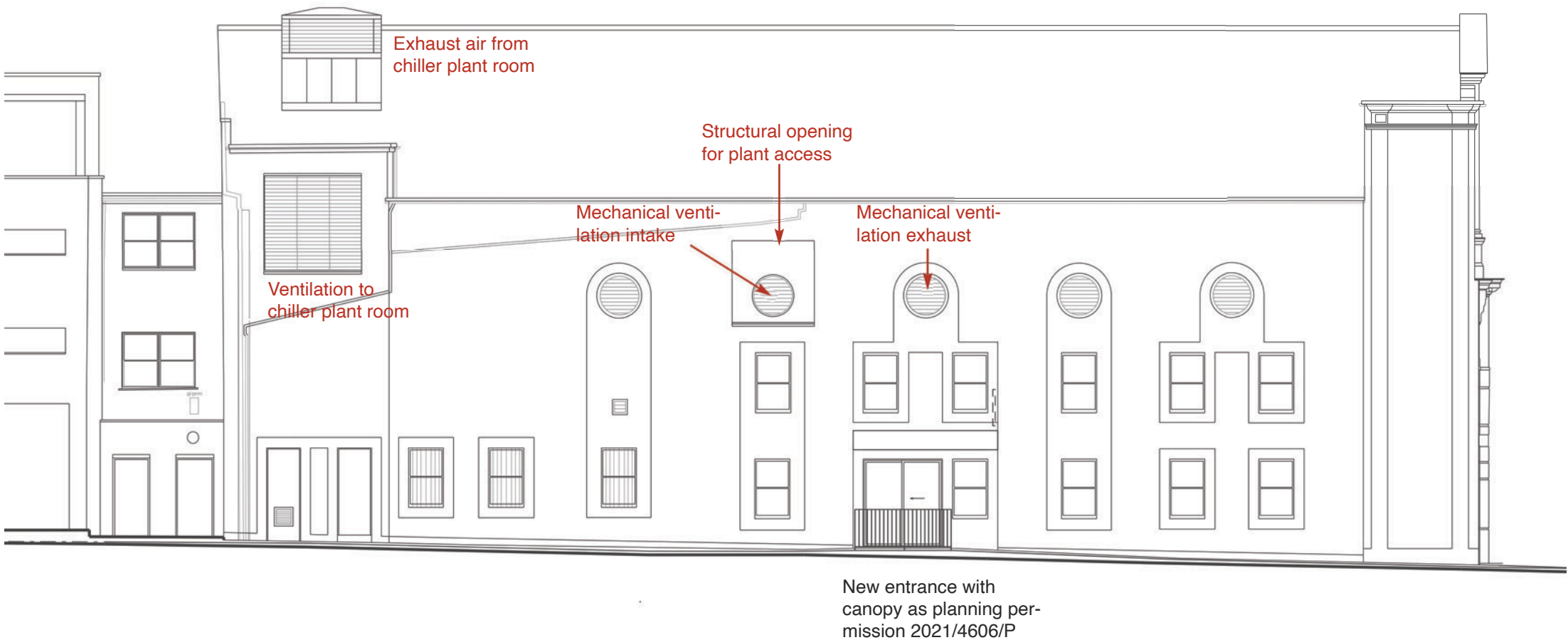
Original ventilation strategy 4.3



The roof line of the building at the north end also projects vertically to accommodate the ventilation to the balcony. It is proposed that the circular vent installed for this purpose is replaced with a larger opening to provide ventilation to the chiller plant room.







**VENTILATION TO THE OCCUPIED SPACE**  
The existing building is deep plan and has a comparatively small amount of existing window openings. Enlarged windows on the Grafton Yard elevation would not sufficiently increase natural ventilation as the opposite side is built up against the rear of the buildings on Kentish Town Road.

For this reason a mechanical ventilation system is required. The fresh intake and exhaust air is via circular grilles in the original ventilation openings. It is proposed that the other three opening have similar grilles to ventilate the roof spaces.

**VENTILATION FOR CONDENSERS**  
Condensers would normally be located externally, on a flat roof or external area. At 2 Prince of Wales Road there is no suitable external location and the condensers therefore have to be located within the building envelope. The large grilles to Grafton Yard and the rear elevation enable air into the chiller plant room, enabling the condensers to operate. The exhaust air is emitted via two turrets at roof level.

**NOISE ATTENUATION**  
All louvres are attenuated to provide the noise reductions required to avoid nuisance to neighbouring occupiers. Ductwork attached to grilles incorporate attenuators within them. The anticipated noise levels are set out in Sandy Brown's report.

**PLANT ACCESS**  
The mechanical ventilation plant is large and provision needs to be made to install and replace it when required. For the installation of the air handling plant it is proposed to form a permanent opening in the brick elevation and infill this with a rendered panel that can be easily removed.





Proposed Grafton Yard elevation viewed from Prince of Wales Road, showing proposed new ventilation turret and plant access opening (canopy and front elevation as planning approved scheme)



The elevation on Grafton Yard is visible from Prince of Wales Road, from within the street and from the dwellings opposite (Una House).

The main differences to the approved design is the addition of a large grille on the Grafton Yard elevation and the roof turrets.

The design has been carefully considered to ensure that the changes are not harmful to the locally listed building, particularly in the context of the view from Prince of Wales Road.

*Roof turrets*  
The roof turrets are set well back from the eaves of the building and will not be significantly visible. The vertical weathering to the turrets will be in zinc cladding, a traditional building material similar to the metal cladding to the existing roof turrets at the south end of the building.

*Ventilation grilles to the chiller plant room*  
The proportions of the new grilles emphasise the vertical emphasis of the end bay of the building. This complements the tower-like element at the front of the building, which was part of the original services strategy the building.

*Plant Access panel*  
The rectangular rendered panel at high level above the new entrance is in keeping with the playful design from the 1980s, which provided window openings in Grafton Road elevation. The square proportions relate to similar elements in the elevations to rear of no. 205 Kentish Town Road, the front elevation of no. 2 Prince of Wales Road and the new entrance and canopy.