

# Holloway + Holloway

**DISCHARGE OF CONDITIONS**

**GONDAR GARDENS**



# DISCHARGE OF CONDITIONS

**Client:** London Property Ventures Ltd  
**Date:** September 2022  
**REF:** 2217  
**AT:** Gondar Gardens, West Hampstead  
**Written by:** VH



# INTRODUCTION

Application 2021/2596/PL for Land between Gondar House and South Mansions, Gondar Gardens, and to the rear of 1 Hillfield Road, West Hampstead was approved in March 2022.

The permission included various conditions, this application seeks to discharge conditions 3, 5, 8, 13, 15, 16, 17.

**3** Prior to commencement of above ground works on the consented development, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

- a) Details including sections at 1:10 of all windows (including jambs, head and cill), perforated brick screens, ventilation grills, external doors and gates;
- b) Plan, elevation and section drawings, of the ground floor facade at a scale of 1:10;
- c) Typical plan, elevation and section drawings of balustrading;
- d) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and sample panels at a minimum of 1m x 1m of those materials (to be provided on site) in accordance with condition 5;

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

**5** Full details of hard and soft landscaping shall be submitted to and approved in writing by the local planning authority before the relevant part of the development commences.

The submission to include details of:

- a) full details of all garden spaces, sunken terraces and balconies
- b) planters including sections, materials and finishes and planting schedules
- c) final location details of all trees
- d) details of all boundary treatments to the site
- e) details of the planting species, soil type
- f) a maintenance plan for a minimum of 3 years
- g) irrigation
- h) sectional drawings of all planting areas

The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species,

unless the Council gives written consent to any variation.

The development shall not be occupied until such time as the works have been completed in accordance with the details thus approved.

**8** Prior to occupation of the development, details of the location, design and method of waste storage and removal including recycled materials, shall be submitted to and approved by the local planning authority in writing. Provision should be provided for in perpetuity for 1 Hillfield Road (subject to 2019/3109/P being implemented). The facilities as approved shall be provided prior to the first occupation of any of the new uses and permanently retained thereafter.

**13** Prior to first occupation of the development a plan showing details of bird and bat box locations and types and indication of species to be accommodated shall be submitted to and approved in writing by the local planning authority. The boxes shall be installed in accordance with the approved plans prior to the occupation of the development and thereafter retained.

**15** The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

**16** Prior to commencement of the relevant part of the development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:

- i. a detailed scheme of maintenance
- ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
- iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.



# INTRODUCTION

**17** No piling shall take place until a Piling Method Statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

## CONDITION 3



Prior to commencement of above ground works on the consented development, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

- a) Details including sections at 1:10 of all windows (including jambs, head and cill), perforated brick screens, ventilation grills, external doors and gates;
- b) Plan, elevation and section drawings, of the ground floor facade at a scale of 1:10;
- c) Typical plan, elevation and section drawings of balustrading;
- d) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and sample panels at a minimum of 1m x 1m of those materials (to be provided on site) in accordance with condition 5;

### Refer to drawings:

- a)
  - 503 - Typical Window Jamb, Head and Cill Details
  - 504 - Brick Screen Detail Section and Elevation
  - 506 - Ventilation Grille Detail and External Door Detail
  - 507 - External Gate Detail, Step Details
  - 521 - Windows behind brick
  - 611 - 616 Window Schedule
  - 622 - 624 Door Schedule

- b)
  - 505 - Textured Brick Detail Elevation
  - 509 - Concrete Planter section shows wall in section
  - 518 - Concrete Canopy Detail

- c)
  - 508 - Balustrade Plan, Section and Elevation Detail
  - 515 - Lightwell Balustrade Section and Elevation Detail

- d)

Bricks will be Freshfield Lane First Quality Brick, laid in Flemish bond with Marigold Medium Mortar by Cemex.



### Freshfield Lane First Quality Brick

- Manufactured in accordance with BS EN 771-1 and BS 4729
- Fully frost resistant and nil-slight efflorescence rated
- Dimensional tolerance - T2
- Dimensional range - R1
- Active Soluble Salts Content Category - S2
- Gross dry density - 1490 kg/m<sup>3</sup>
- Water absorption - 10%
- Thermal conductivity - 0.46 W/m.K-50%. 0.52 W/m.K-90%



### Multi Zinc, pigmento brown VMZinc

- Mineral pigments within a durable protective coating.
- Textured, naturally grain zinc appearance.
- Installed with standing seams
- This product is tested to EN13523-10/2010 and EN 15523-3/2001.

## CONDITION 5



Full details of hard and soft landscaping shall be submitted to and approved in writing by the local planning authority before the relevant part of the development commences.

The submission to include details of:

- a) full details of all garden spaces, sunken terraces and balconies
- b) planters including sections, materials and finishes and planting schedules
- c) final location details of all trees
- d) details of all boundary treatments to the site
- e) details of the planting species, soil type
- f) a maintenance plan for a minimum of 3 years
- g) irrigation
- h) sectional drawings of all planting areas

### Refer to drawings:

- a)  
515 - Lightwell Balustrade Section and Elevation Detail  
681 - House 1 and House 2 Landscaping Plan  
682 - Entrances and Lightwell Landscaping Plan  
683 - Green Roof Landscaping Plan

- b)  
509 - Concrete Planter Section and Elevation Detail  
510 - Concrete Planter Plan Detail

- c)  
Refer to Landscaping Plans as per part a

- d)  
516 - Boundary Wall Detail and Hedgehog crossing

- e)  
680 - Planting Species  
Refer to Planting Schedule

- f) Refer to Skygarden Maintenance Guideline - to be carried out annually.  
Refer to Condition 16 for more information.

- g) Refer to Condition 16 for more information.

- h)  
511 - Green Roof Section Detail  
512 - Bin and Bike Roof Detail

112 - 118 Site Sections through all areas



Black composite wood grain decking to lightwell, balcony and patio areas - <https://rb.gy/y9ebgl>



Marshalls Driveline Priora  
Permeable Charcoal Block Paving



White painted render to lightwell walls

## CONDITION 8



Prior to occupation of the development, details of the location, design and method of waste storage and removal including recycled materials, shall be submitted to and approved by the local planning authority in writing. Provision should be provided for in perpetuity for 1 Hillfield Road (subject to 2019/3109/P being implemented). The facilities as approved shall be provided prior to the first occupation of any of the new uses and permanently retained thereafter.

A covered binstore will contain all the bins for the development, but also the bins for the neighbouring flats of No.1 Hillfield Road. The store has space for 4no 240L wheelie bins for recycling, 4no 240L wheelie bins for general waste and for a number of small bins for food waste.

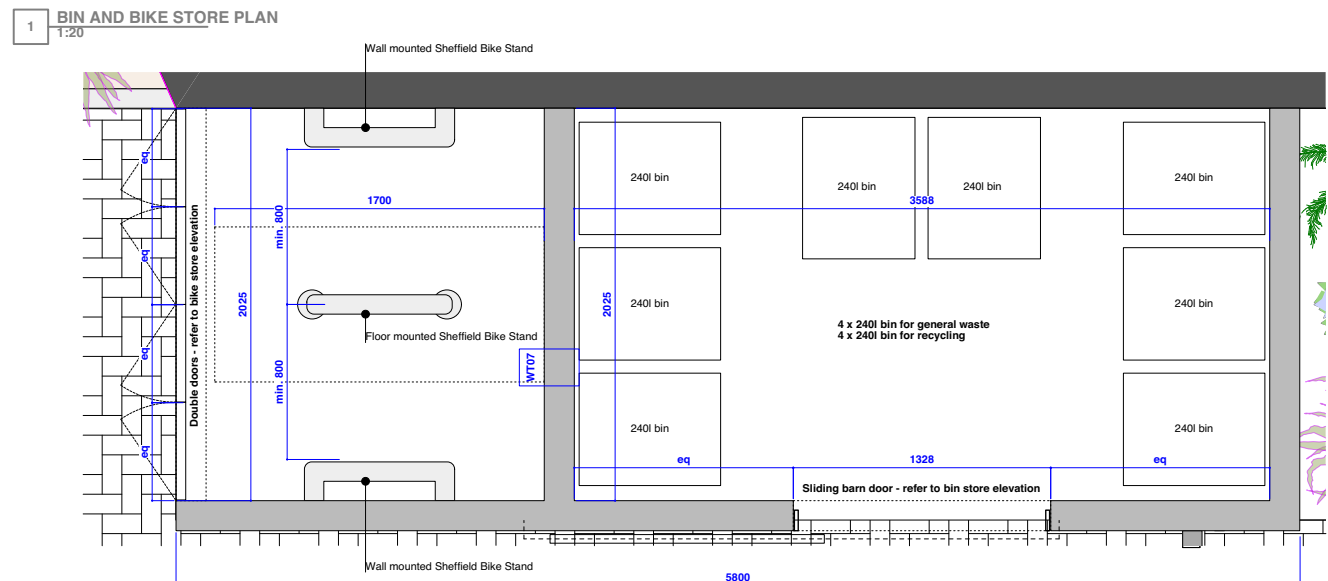
Access from the rear of 1 Hillfield Road has been retained from its rear garden, to the bin store.

The bin store can be accessed from the street - the doors are 5.7m from the pavement which are within Camden Refuse policy guidelines.

### Refer to drawings:

522 - Bike and Bin Store Plan

524 - Bin Store Elevations





## CONDITION 13



Prior to first occupation of the development a plan showing details of bird and bat box locations and types and indication of species to be accommodated shall be submitted to and approved in writing by the local planning authority. The boxes shall be installed in accordance with the approved plans prior to the occupation of the development and thereafter retained.

The ecological assessment which formed part of the planning application noted that compensation for nesting birds would be “Installation of nest boxes especially suited for house sparrow and black redstart placed on south-eastern, eastern and northern sides of new buildings; enhancement by new native trees (especially fruit bearing varieties) within site boundaries, use of biodiverse roof.” The report suggested specific boxes, which have been specified in this application.

For bats, there was a potential loss of foraging and traversing grounds, there compensation was “Planting of native and wildlife-friendly species, including green roofs.” In addition to this, a bat box will be included within the garden of house 1.

### Refer to drawings:

525 - Bird and Bat Box details



### Crevice Bat Box by Nestbox Company

These crevice bat boxes are especially suitable for both Common Pipistrelles and Soprano Pipistrelles. These two species are the most abundant bats in the UK and most frequently use bat boxes.

1 box - can be mounted on a tree or fence/ wall.



### Vivara Pro WoodStone House Sparrow Nest Box

2 double chamber boxes, can be placed within close proximity to each other.



### WoodStone Build-in Open Nest Box

4 boxes, redstart favour N and SE facing, these should be evenly spaced on the elevation.

This half open build-in block is an ideal breeding ground for the common and black redstart, the grey flycatcher, the wagtail, the robin and the wren. Occasionally he is even inhabited by tits.





## CONDITION 15

The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

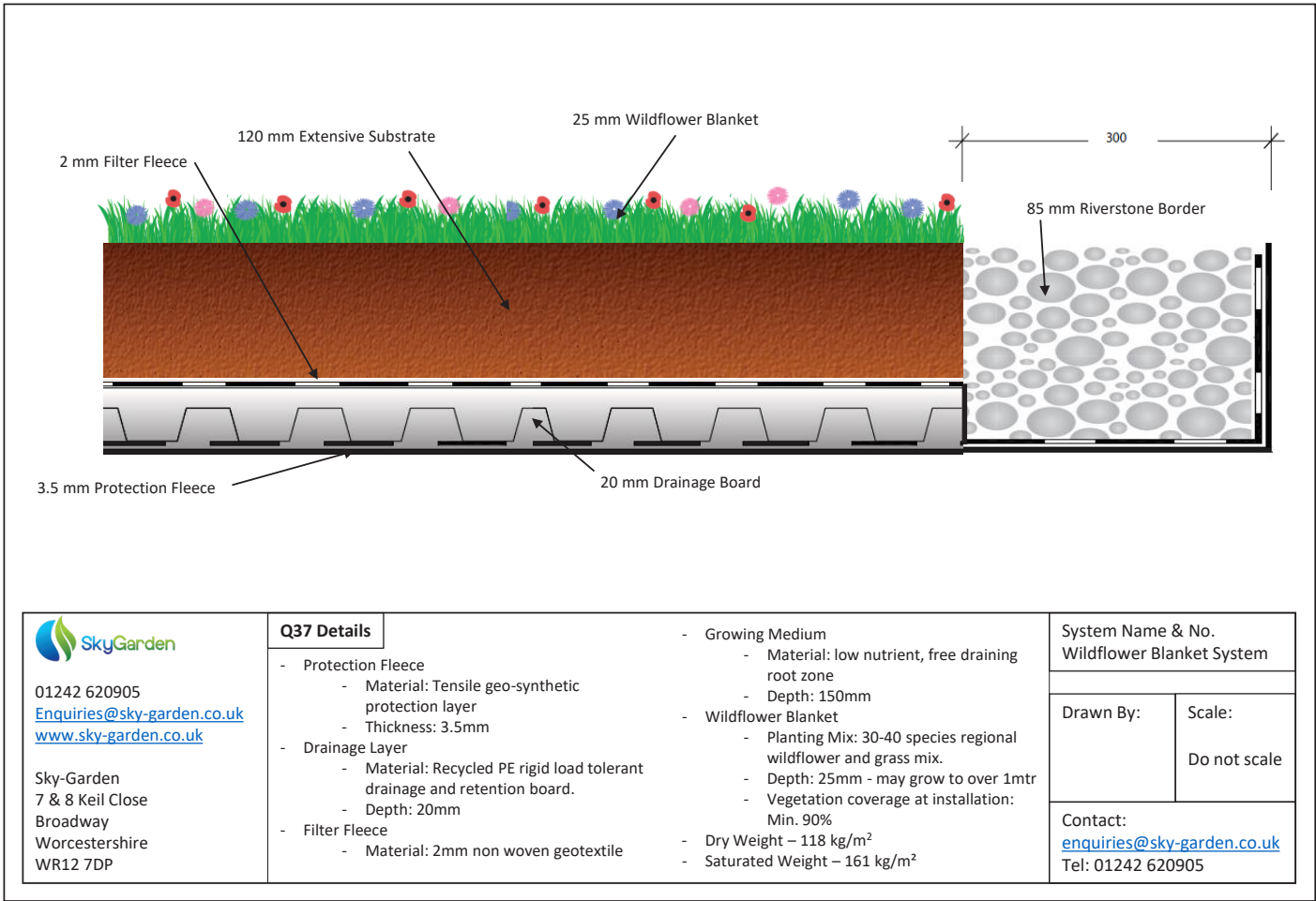
Refer to document SD Structures REV A - appointment document for SD Structures.

# CONDITION 16



Prior to commencement of the relevant part of the development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:

- i. a detailed scheme of maintenance
- ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
- iii. full details of planting species and density



## CONDITION 16



Although the original planning drawings showed green roofs on all flat roofs, having liaised with Sky Garden, it is only possible to have green roofs on the larger elements. This is because a 300mm Riverstone border is required around the area of green roof and therefore on the smaller roofs, this would become a ballast only roof.

The ballast border is required for fire breaks and home insurance and can not be safely removed. Therefore this application seeks approval for Wildflower blankets to the areas shown in green on the above plan.

# CONDITION 16



Wildflower blanket (40mm) with 38 species, with flowering plants throughout the growing season:

## Wildflower

- Achillea millefolium (Yarrow)
- Agrimonia eupatoria (Agrimony)
- Anthyllis vulneraria (Kidney Vetch)
- Betonica officinalis (Betony)
- Campanula glomerata (Clustered Bellflower)
- Campanula rotundifolia (Harebell)
- Centaurea nigra (Lesser Knapweed)
- Echium vulgare (Viper's Bugloss)
- Galium verum (Lady's Bedstraw)
- Glebionis segetum (Cornflower Corn Marigold)
- Hypericum perforatum (Perforate St John's Wort)
- Papaver rhoeas (Common Poppy) • Plantago media (Hoary Plantain)
- Primula veris (Cowslip)
- Prunella vulgaris (Selfheal)
- Ranunculus acris (Meadow Buttercup)
- Rhinanthus minor (Yellow Rattle)
- Rumex acetosa (Common Sorrel)
- Sanguisorba minor ssp. Minor (Salad Burnet) • Scabiosa columbaria (Small Scabious)
- Silene dioica (Red Campion)
- Silene vulgaris (Bladder Campion) • Thymus (Thyme)
- Trifolium pratense (Red Clover)

## Grasses

- Hypochaeris radicata (Catsear) •
- Knautia arvensis (Field Scabious) •
- Leontodon hispidus (Rough Hawkbit)
- Leucanthemum vulgare (Oxeye Daisy) •
- Linaria vulgaris (Common Toadflax) •
- Lotus corniculatus (Birdsfoot Trefoil) •
- Medicago lupulina (Black Medic)
- Agrostis capillaris (Brown Top Bent) Anthoxanthum odoratum (Sweet Vernal Grass)
- Briza media (Quaking Grass) Cynosurus cristatus (Crested Dogtail)
- Festuca rubra (Red Fescue)

## Maintenance Spot Checks.

Below is a set of spot checks specifically for all wildflower roof products (wildflower blanket, plug plants and seed mix):

- Localised spot weeding of invasive plant species.
- Re-seeding and remedial patching of roof areas where establishment has been poor.
- Assessment of water storage and moisture content of the soil for potential drought problems.
- Assessment of irrigation system.
- Trimming of wildflower system if growth is excessive, preventing overgrowth of plants over (if applicable) fire barriers or into drainage systems.
- Inspection of drainage channels and clearance of exposed outlets.
- (Plugs only) Check for any plugs that may have been pulled out by local wildlife and replant them if not severely damaged.
- Full report outlining further action or additional remedial visits that cannot be maintained in the standard maintenance package.
- (Spring only) Feeding of slow releasing organic fertiliser, wildflowers may not be nutrient hungry, but will need to be giving best chance of maximum growth for aesthetic look of the project site.
- (Autumn only) Cut back and remove cuttings from the roof system.

Maintenance checks will be carried out twice a year, in early Spring and late Autumn, to ensure the vegetation has the best chances of surviving the Winter and full growth in the Spring.

An irrigation system as be provided in order to ensure that the plants do not dry out and perish in warmer weather. A drip pipe system has been specified, controlled electronically to water during the night. The system will require roof top pressure of 3 bar and a flow of 60L/min.

The system comprises of sprinklers calculated to cover the area of the green roof (1 every 75 sqm approx.). Surface lines to the sprinklers, pressure compensating and non blocking, solenoid station for irrigation splitting, all feed pipes to source, all connectors and controller for source.

This type of system will be put on the roof and the automated control set and reviewed every maintenance visit or under the terms of O&M. The system will or should be taken from the roof by late November and stored in a frost free location. The system will be replaced on the roof by either the maintenance team or client in late March/ April. Sprinkler points will be marked. This system will be drained and removed otherwise cold weather and frost will damage the feed lines and sprinkler heads.



## CONDITION 17

No piling shall take place until a Piling Method Statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Refer to document SDS1431 TN01 Piling Method Statement for more information.