

ORDINANCE SURVEY 1:1250

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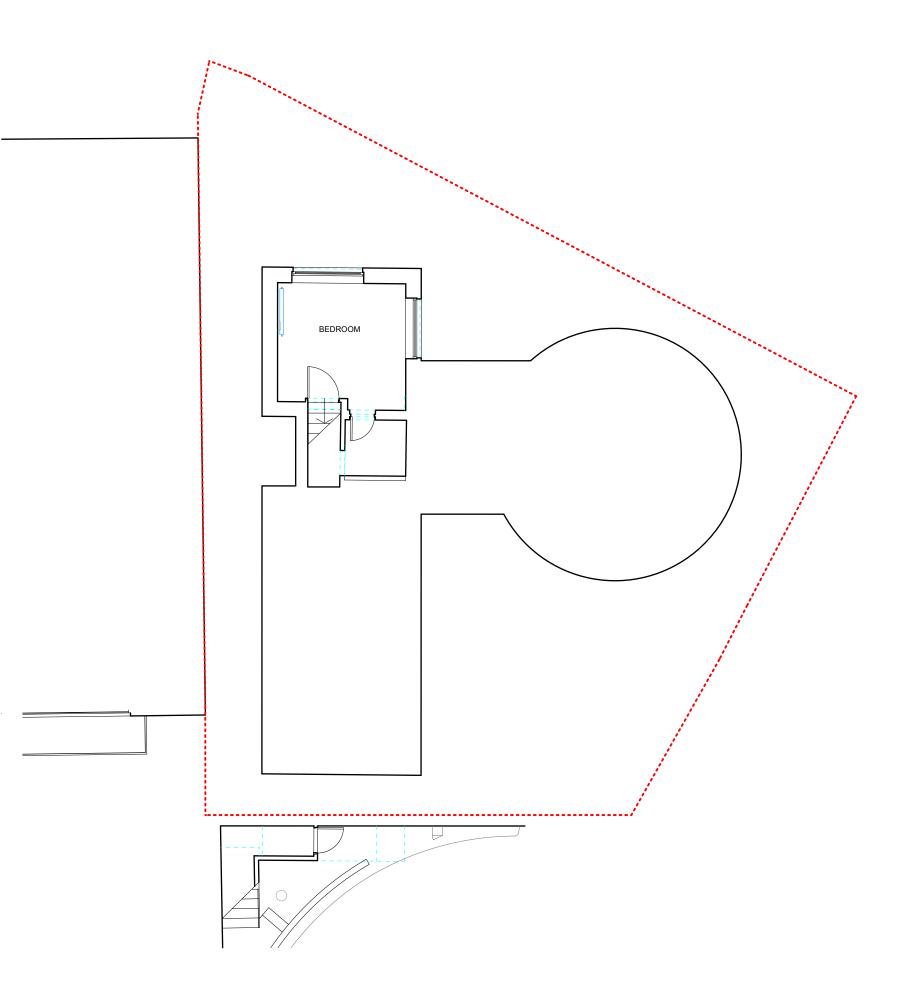
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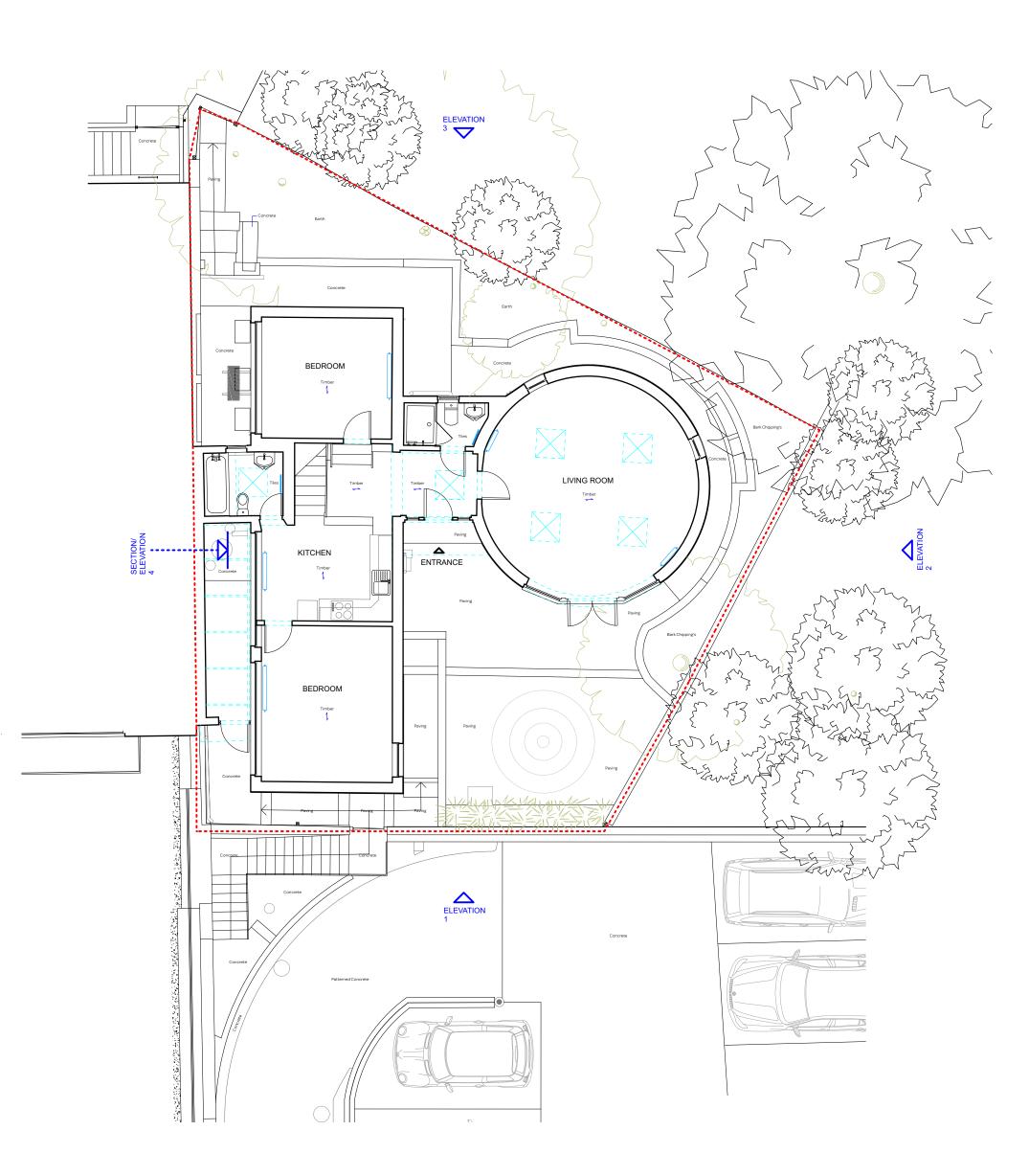


VIEW FROM THE SOUTHEAS BIRDSEYE

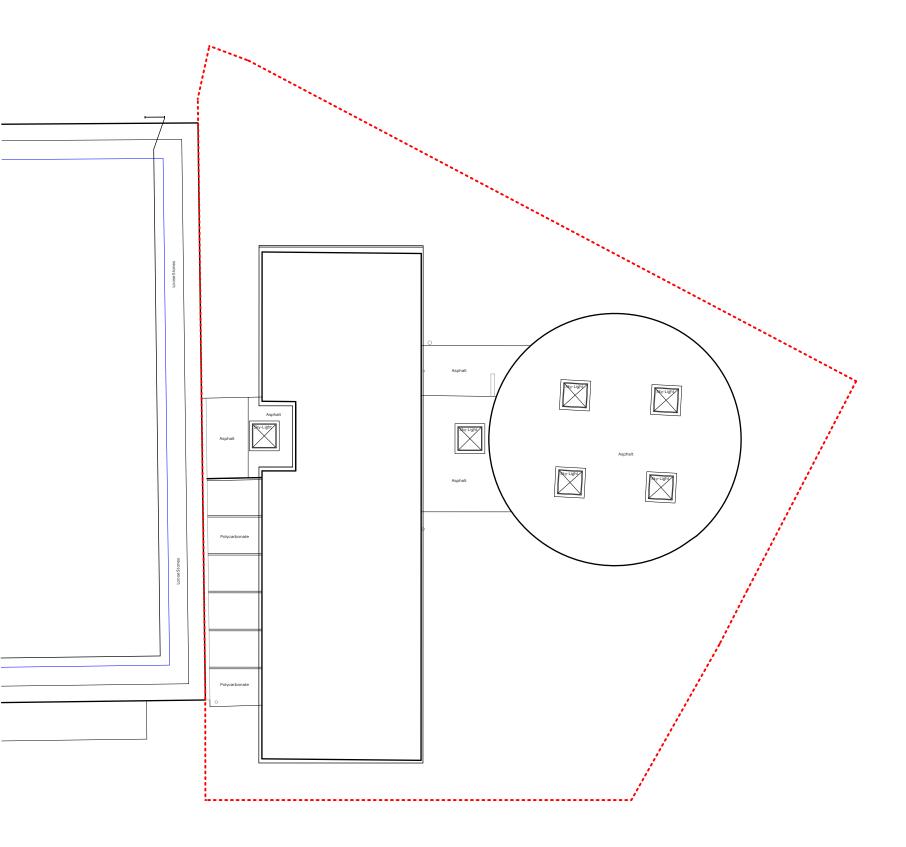
notes:		revision:		drawing title:	victing Aprial Views	
General notes:	C.D.M. Regulations 2015:	A 06/04/21 Planning Set		Location and Existing Aerial Views		
1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimeters unless noted	These drawings have been produced for the purpose of applying for Planning and Building			client:		
otherwise. 3. All dimensions shall be verified on site before	Regulations only. If the project progresses on to site without the involvement of Square Feet		SQUARE FEET	Mr R Ambrose		
proceeding with the work. 4. Square Feet Architects shall be notified in writing of any discrepancies.	Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management)		ARCHITECTS	project:		
	Regulations 2015.		A: 95 Bell St, London, NW1 6TL	The Rotunda		
Party Wall Act 1996:	If advice is required please do not hesitate to contact Square Feet Architects. KEY		T : 0207 431 4500	date:	scale:	
Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement	KEY black lines existing		E : studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk	06/04/21	1:1250@A3	
of the planned works as detailed on the drawings to establish whether the works fall within the	green lines to be demolished			drawing number:	revision:	
scope of the Act which required adjoining property owners to be served with a statutory	red lines proposed			1827_L_001	А	



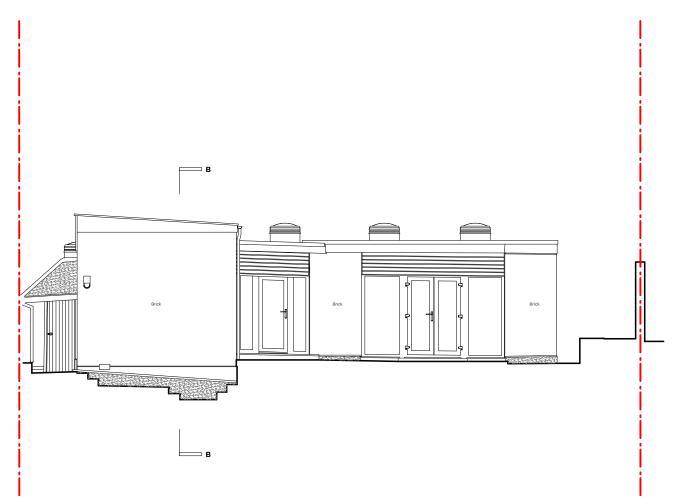
notes:			revision:		drawing title:	
General notes: 1. Do not scale drawings. Dimensions govern.	C.D.M. Regulations 2015: These drawings have been produced for the		A 06/04/21 Planning Set			Ground Floor Plan
2. All dimensions are in millimeters unless noted	purpose of applying for Planning and Building	<b>&gt;</b>			client:	
otherwise. 3. All dimensions shall be verified on site before	Regulations only. If the project progresses on to site without the involvement of Square Feet			SQUARE FEET	Mr R Ambrose	
proceeding with the work.	Architects, the client and contractor must ensure	0		ARCHITECTS	project:	
<ol> <li>Square Feet Architects shall be notified in writing of any discrepancies.</li> </ol>	that they fulfil the duties in respect of the Construction (Design and Management)					
writing of any discrepancies.	Regulations 2015.				The Rotunda	
Party Wall Act 1996:	If advice is required please do not hesitate to			A: 95 Bell St, London, NW1 6TL T: 0207 431 4500	date:	scale:
Note: If the project progresses onto site without	contact Square Feet Architects.			E : studio@squarefeetarchitects.co.uk	dator	
the involvement of Square Feet Architects the	black lines existing			W: www.squarefeetarchitects.co.uk	06/04/21	1:100@A3
Client must seek advice prior to commencement of the planned works as detailed on the drawings	Diack lines existing			·		
to establish whether the works fall within the	green lines to be demolished 0	1 2 3 M			drawing number:	revision:
scope of the Act which required adjoining property owners to be served with a statutory	red lines proposed				1827_L_011	А



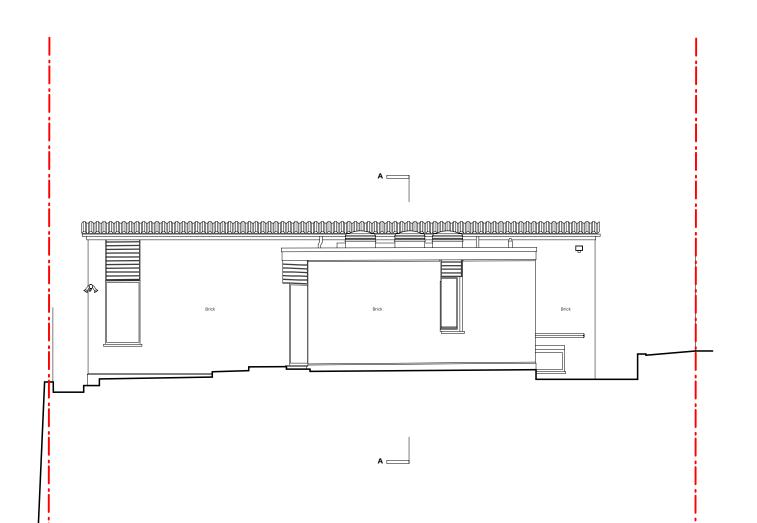
notes:			revision:		drawing title:	
General notes:	C.D.M. Regulations 2015:		A 06/04/21 Planning Set		EXISTING Upper	Ground Floor Plan
<ol> <li>Do not scale drawings. Dimensions govern.</li> <li>All dimensions are in millimeters unless noted</li> </ol>	These drawings have been produced for the purpose of applying for Planning and Building	<b>\</b>			client:	
otherwise. 3. All dimensions shall be verified on site before	Regulations only. If the project progresses on to site without the involvement of Square Feet			SQUARE FEET	Mr R Ambrose	
proceeding with the work. 4. Square Feet Architects shall be notified in	Architects, the client and contractor must ensure that they fulfil the duties in respect of the	-		ARCHITECTS	project:	
4. Square reet Architects shall be notified in writing of any discrepancies.	Construction (Design and Management)					
3,	Regulations 2015.			A: 95 Bell St, London, NW1 6TL	The Rotunda	
Party Wall Act 1996:	If advice is required please do not hesitate to contact Square Feet Architects. KEY			T : 0207 431 4500	date:	scale:
Note: If the project progresses onto site without the involvement of Square Feet Architects the	KEY			E : studio@squarefeetarchitects.co.uk		1:100@A3
Client must seek advice prior to commencement	black lines existing			W: www.squarefeetarchitects.co.uk	06/04/21	1.100@/10
of the planned works as detailed on the drawings	green lines to be demolished 0	1 2 3M			drawing number:	revision:
to establish whether the works fall within the scope of the Act which required adjoining					1827_L_012	
property owners to be served with a statutory	red lines proposed				1021_2_012	А



notes:			revision:		drawing title:	
General notes:	C.D.M. Regulations 2015:		A 06/04/21 Planning Set		EXISTING Roof P	lan
<ol> <li>Do not scale drawings. Dimensions govern.</li> <li>All dimensions are in millimeters unless noted</li> </ol>	These drawings have been produced for the purpose of applying for Planning and Building	<b>\$</b> ~			client:	
otherwise. 3. All dimensions shall be verified on site before	Regulations only. If the project progresses on to site without the involvement of Square Feet			SQUARE FEET	Mr R Ambrose	
proceeding with the work. 4. Square Feet Architects shall be notified in	Architects, the client and contractor must ensure that they fulfil the duties in respect of the	Ŭ		ARCHITECTS	project:	
writing of any discrepancies.	Construction (Design and Management) Regulations 2015.				The Rotunda	
Party Wall Act 1996:	If advice is required please do not hesitate to contact Square Feet Architects. KEY			A: 95 Bell St, London, NW1 6TL T: 0207 431 4500	date:	scale:
Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement	KEY black lines existing			E : studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk	06/04/21	1:100@A3
of the planned works as detailed on the drawings	green lines to be demolished 0	1 2 3M			drawing number:	revision:
to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory	red lines proposed				1827_L_013	А



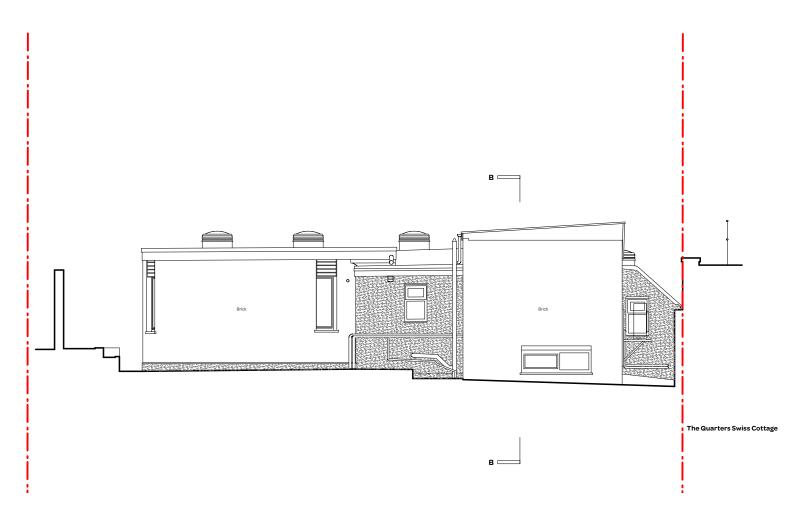
ELEVATION 1 (SOUTH-WEST FACING)



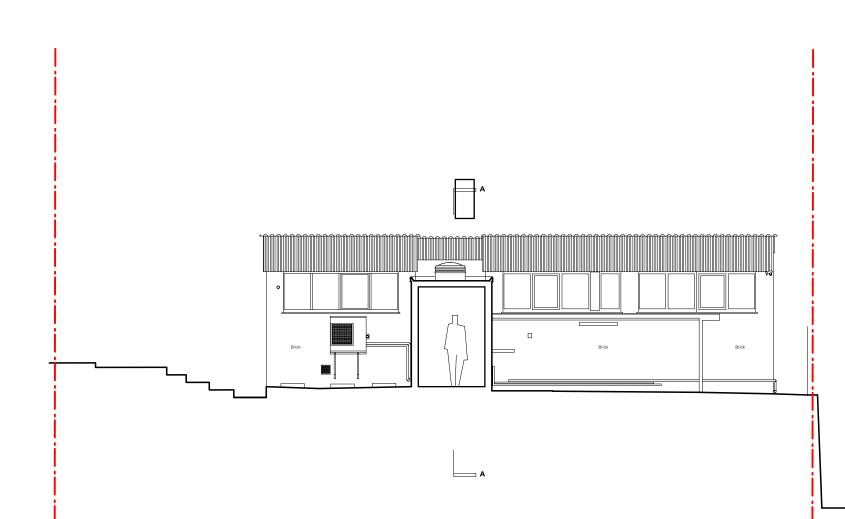
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# ELEVATION 2 (SOUTH-EAST FACING)

notes:		revision:		drawing title:	ione Couth Fasing
<ol> <li>General notes:</li> <li>Do not scale drawings. Dimensions govern.</li> <li>All dimensions are in millimeters unless noted otherwise.</li> <li>All dimensions shall be verified on site before proceeding with the work.</li> <li>Square Feet Architects shall be notified in writing of any discrepancies.</li> </ol>	C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to	A 06/04/21 Planning Set	A : 95 Bell St. London, NW1 6TL	client: Mr R Ambrose project: The Rotunda	ions South Facing
Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement	contact Square Feet Architects.		T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk	<sup>date:</sup> 06/04/21	scale: 1:100@A3
of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory	green lines to be demolished 0 1 2 3 M			drawing number: 1827_L_020	revision: A



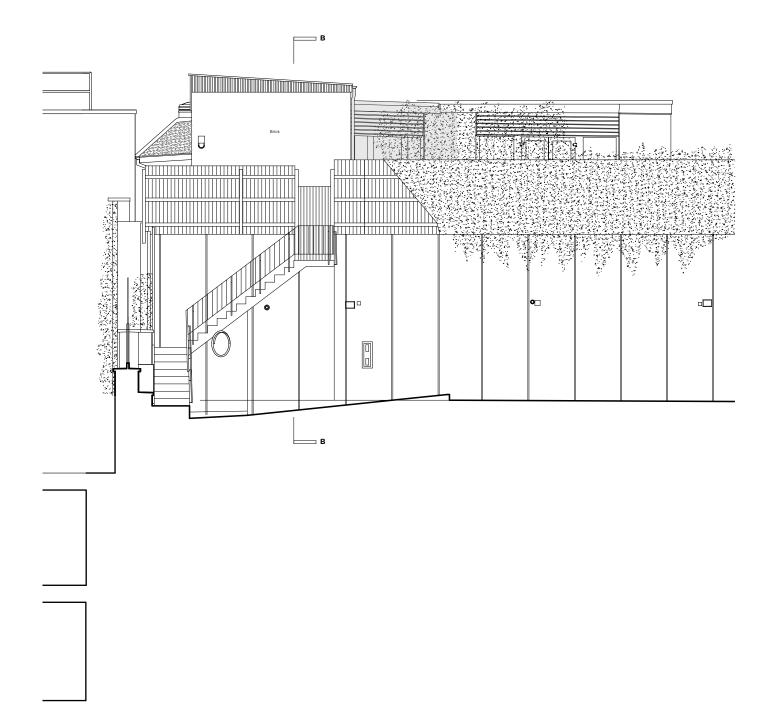
ELEVATION 3 (NORTH-EAST FACING)



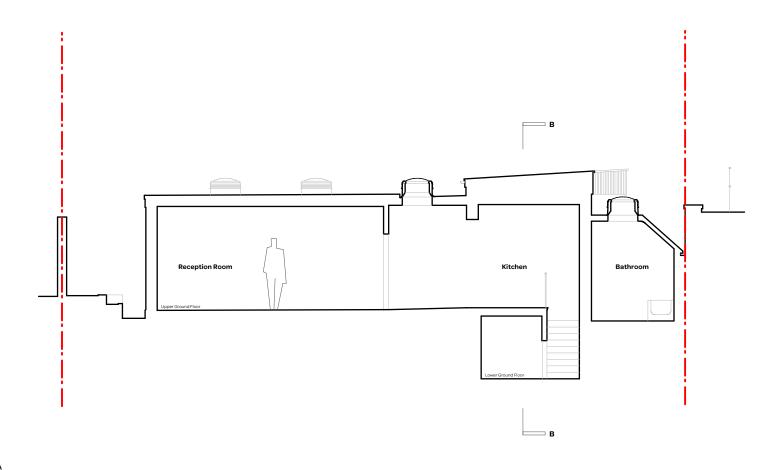
## SECTIONAL ELEVATION 4 (NORTH-WEST FACING)

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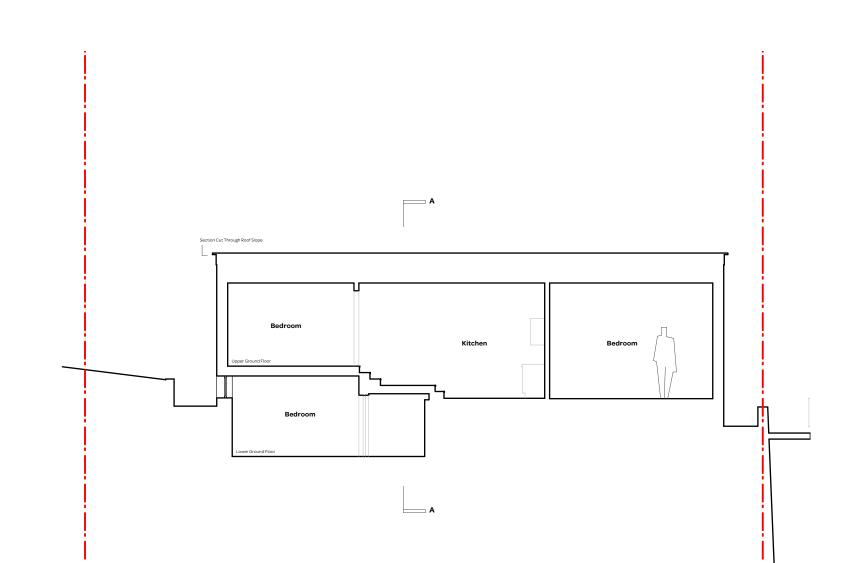
notes:		revision:		dana si kata s	
10165.		161151011.		drawing title:	
General notes:	C.D.M. Regulations 2015:	A 06/04/21 Planning Set		EXISTING Elevat	ions North Facing
1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimeters unless noted	These drawings have been produced for the purpose of applying for Planning and Building	· · · · · · · · · · · · · · · · · · ·		client:	
otherwise. 3. All dimensions shall be verified on site before	Regulations only. If the project progresses on to site without the involvement of Square Feet		SQUARE FEET	Mr R Ambrose	
proceeding with the work. 4. Square Feet Architects shall be notified in	Architects, the client and contractor must ensure that they fulfil the duties in respect of the		ARCHITECTS	project:	
writing of any discrepancies.	Construction (Design and Management) Regulations 2015.			The Rotunda	
	If advice is required please do not hesitate to		A: 95 Bell St, London, NW1 6TL		
Party Wall Act 1996:	contact Square Feet Architects.		T : 0207 431 4500	date:	scale:
Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement	black lines existing		E : studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk	06/04/21	1:100@A3
of the planned works as detailed on the drawings to establish whether the works fall within the	green lines to be demolished 0 1 2 3 M			drawing number:	revision:
scope of the Act which required adjoining property owners to be served with a statutory	red lines proposed			1827_L_021	А



notes:		revision:		drawing title:			
General notes: 1. Do not scale drawings. Dimensions govern. 2. All dimensiions are in millimeters unless noted otherwise. 3. All dimensions shall be verified on site before	C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet	A 06/04/21 Planning Set	SQUARE FEET	Client: Mr R Ambrose	levation (SW)		
proceeding with the work. 4. Square Feet Architects shall be notified in writing of any discrepancies.	Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015.			<sup>project:</sup> The Rotunda			
Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement	If advice is required please do not hesitate to contact Square Feet Architects.		A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk	date: 06/04/21	scale: 1:100@A3		
of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory	green lines to be demolished 0 1 2 3 M			drawing number: 1827_L_022	revision: A		

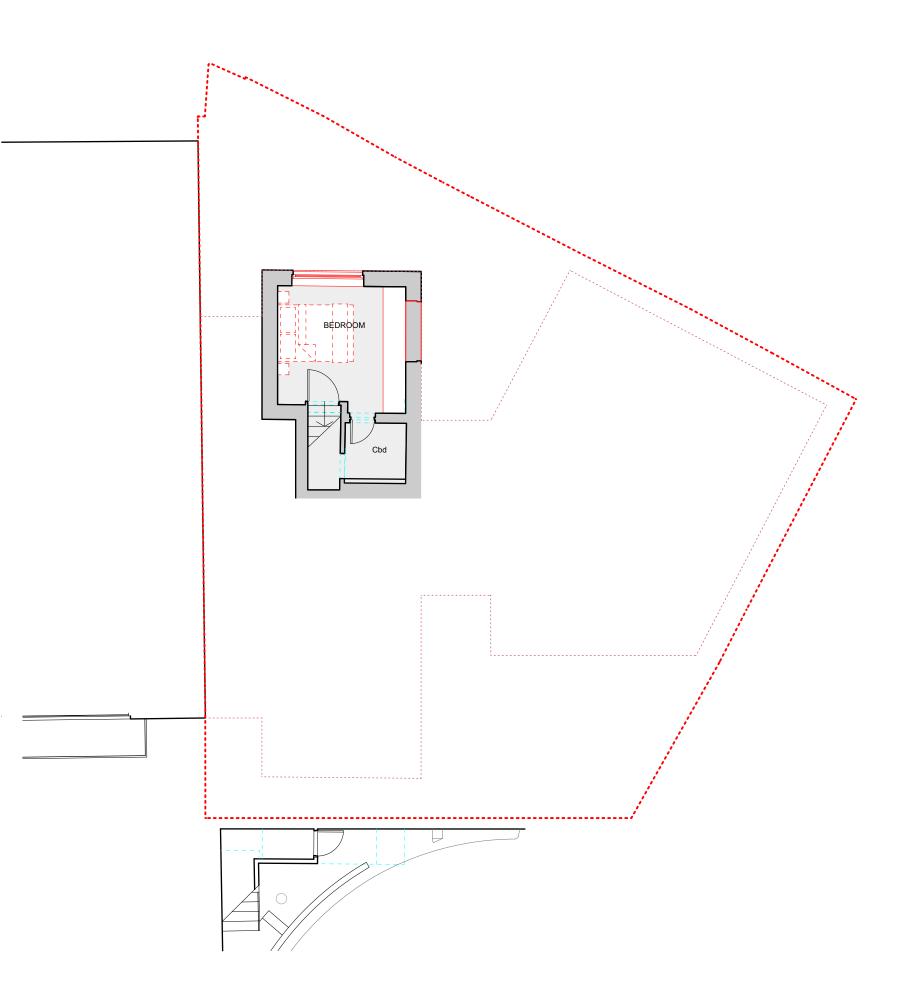




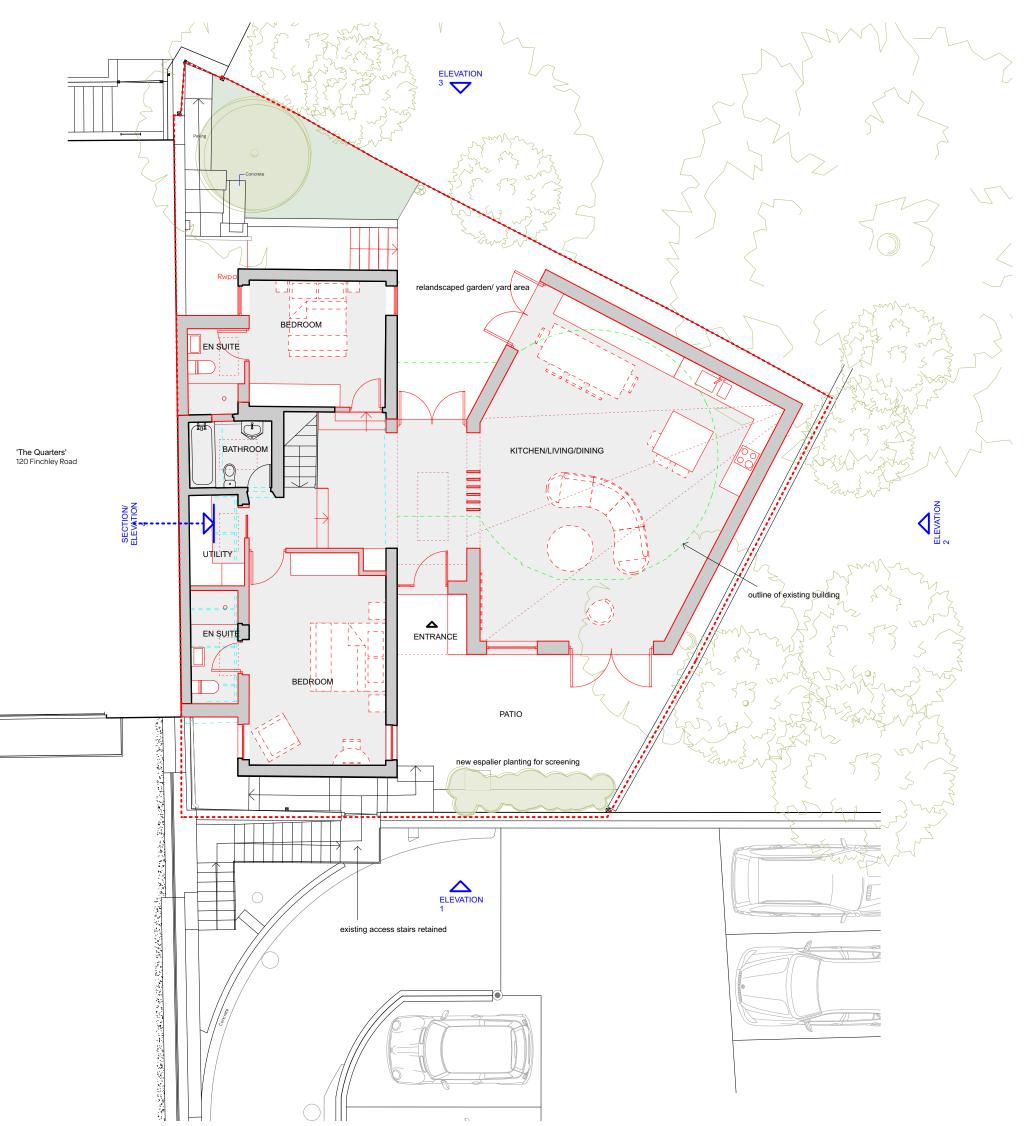


## SECTION BB

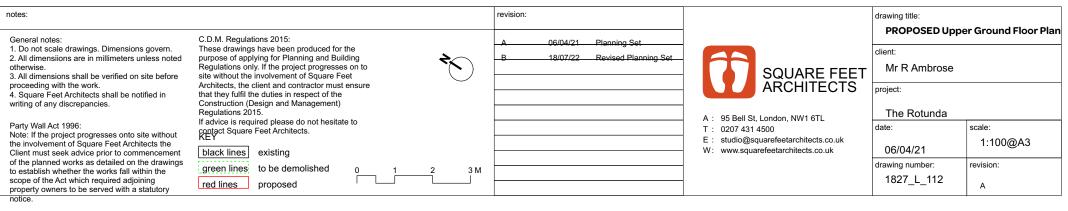
notes:		revision:		drawing title:
<ul> <li>General notes:</li> <li>1. Do not scale drawings. Dimensions govern.</li> <li>2. All dimensions are in millimeters unless noted otherwise.</li> <li>3. All dimensions shall be verified on site before proceeding with the work.</li> <li>4. Square Feet Architects shall be notified in writing of any discrepancies.</li> </ul>	C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015.	A 06/04/21 Planning Set	SQUARE FEET ARCHITECTS	EXISTING Sections  client: Mr R Ambrose  project: The Rotunda
the involvement of Square Feet Architects the Client must seek advice prior to commencement	If advice is required please do not hesitate to contact Square Feet Architects. KEY black lines existing		A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk	date: scale: 06/04/21 1:100@A3
of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory potice	green lines to be demolished 0 1 2 3 M red lines proposed			drawing number: revision: 1827_L_025 A

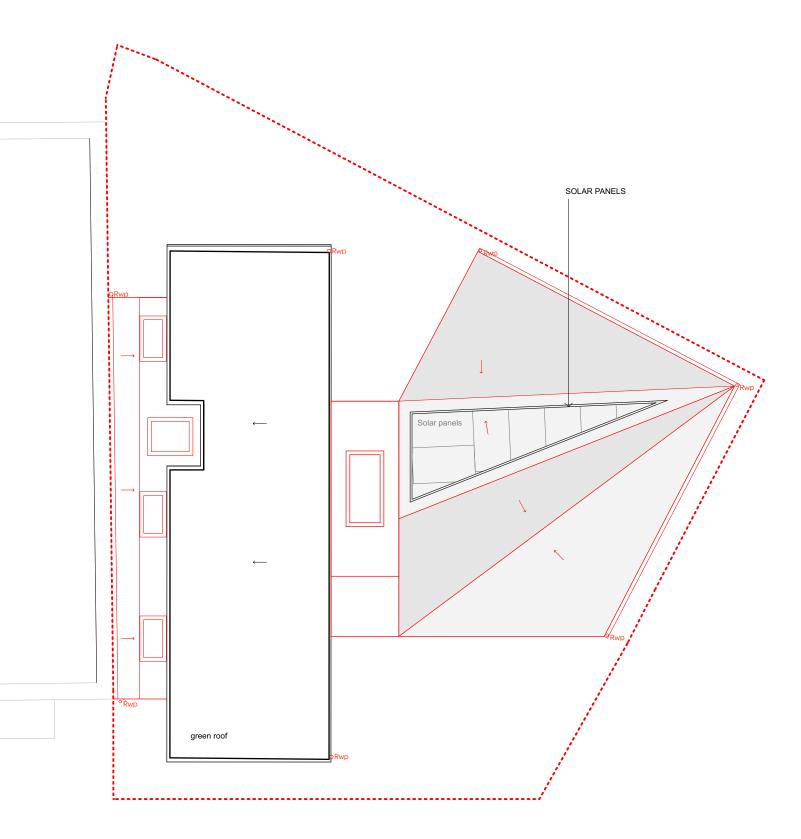


notes:			revision:		drawing title:	
General notes: 1. Do not scale drawings. Dimensions govern. 2. All dimensiions are in millimeters unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. Square Feet Architects shall be notified in writing of any discrepancies.	C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015.	*	A 06/04/21 Planning Set B 18/07/22 Revised Planning Set	SQUARE FEET ARCHITECTS	PROPOSED Lowe client: Mr R Ambrose project: The Rotunda	er Ground Floor Plan
Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement	If advice is required please do not hesitate to contact Square Feet Architects.			T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk	date: 06/04/21	scale: 1:100@A3
of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory	green lines to be demolished 0 red lines proposed	1 2 3 M			drawing number: 1827_L_111	revision: A

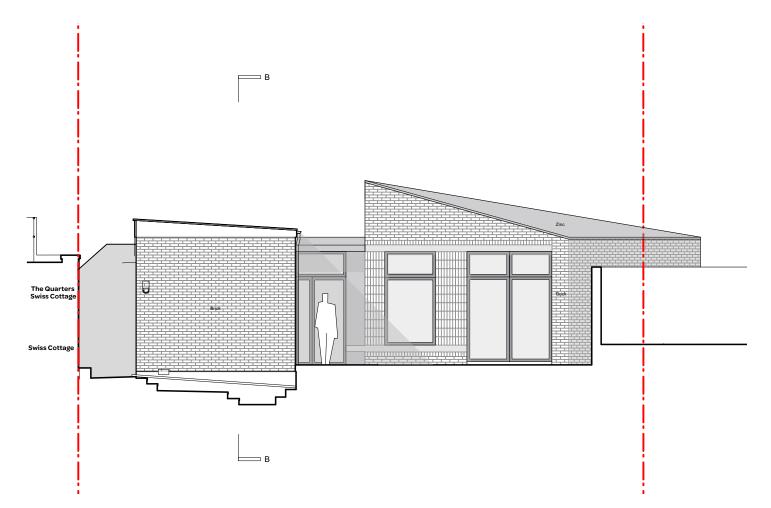


parking rear of 116-118 Finchley Road

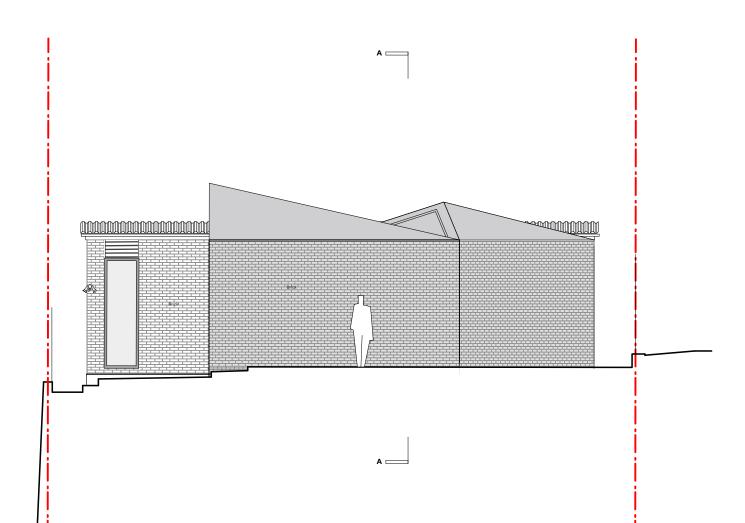




notes:			revision:				drawing title: PROPOSED Roof	Dian
General notes: 1. Do not scale drawings. Dimensions govern.	C.D.M. Regulations 2015: These drawings have been produced for the		A 06/04/21	Planning Set				Plan
2. All dimensions are in millimeters unless noted	purpose of applying for Planning and Building	~	B 18/07/22	Revised Planning Set			client:	
otherwise. 3. All dimensions shall be verified on site before	Regulations only. If the project progresses on to site without the involvement of Square Feet					SQUARE FEET	Mr R Ambrose	
proceeding with the work. 4. Square Feet Architects shall be notified in	Architects, the client and contractor must ensure that they fulfil the duties in respect of the	$\bigcirc$				ARCHITECTS	project:	
writing of any discrepancies.	Construction (Design and Management)						<b>T D</b> ( )	
	Regulations 2015. If advice is required please do not hesitate to				A: 95 Bell St	, London, NW1 6TL	The Rotunda	
Party Wall Act 1996: Note: If the project progresses onto site without	contact Square Feet Architects.				T : 0207 431	4500	date:	scale:
the involvement of Square Feet Architects the					0	quarefeetarchitects.co.uk		1:100@A3
Client must seek advice prior to commencement	black lines existing				W: www.squa	arefeetarchitects.co.uk	06/04/21	Ŭ
of the planned works as detailed on the drawings to establish whether the works fall within the	green lines to be demolished 0	1 2 3 M					drawing number:	revision:
scope of the Act which required adjoining property owners to be served with a statutory	red lines proposed						1827_L_114	А

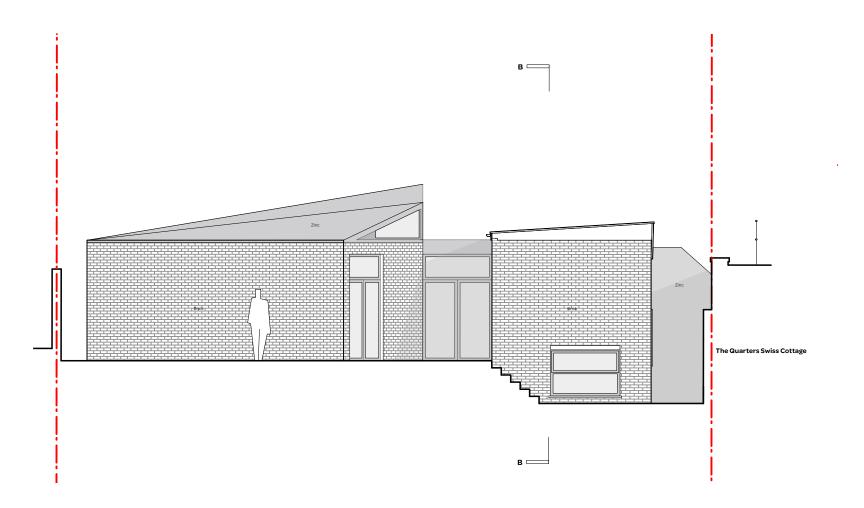


ELEVATION 1 (SOUTH-WEST FACING)

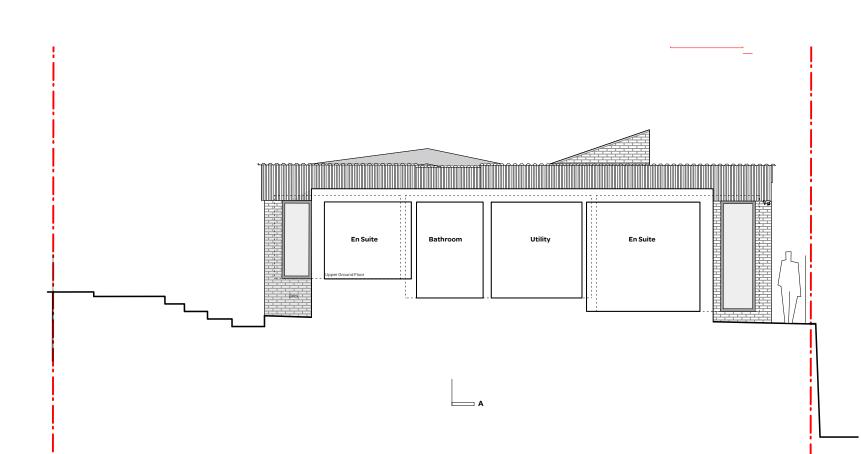


## ELEVATION 2 (SOUTH-EAST FACING)

notes:		revision:		drawing title:	
<ul> <li>General notes:</li> <li>1. Do not scale drawings. Dimensions govern.</li> <li>2. All dimensions are in millimeters unless noted otherwise.</li> <li>3. All dimensions shall be verified on site before proceeding with the work.</li> <li>4. Square Feet Architects shall be notified in writing of any discrepancies.</li> </ul>	C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015.	A 06/04/21 Planning Set B 18/07/22 Revised Planning Set	A : 95 Bell St, London, NW1 6TL	client: Mr R Ambrose project: The Rotunda	ations South Facing
Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement	If advice is required please do not hesitate to contact Square Feet Architects. KEY black lines existing		T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk	<sup>date:</sup> 06/04/21	scale: 1:100@A3
of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory	green lines to be demolished 0 1 2 3 M			drawing number: 1827_L_120	revision: A

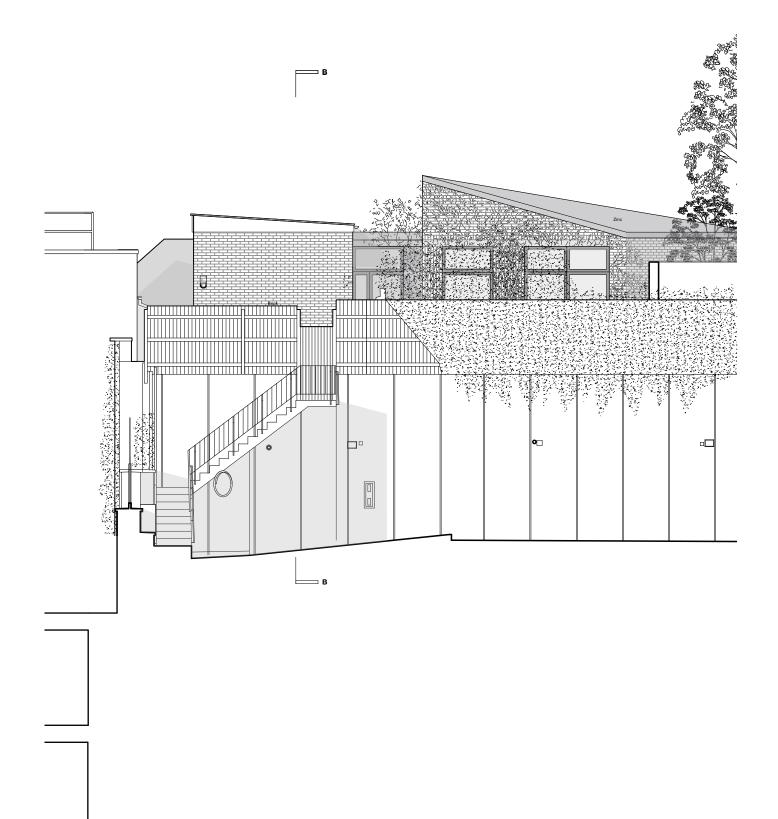


ELEVATION 3 (NORTH-EAST FACING)

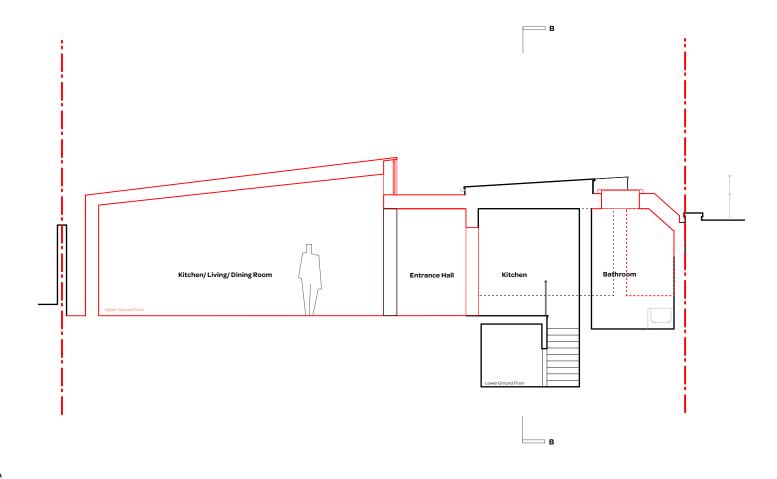


## SECTIONAL ELEVATION 4 (NORTH-WEST FACING)

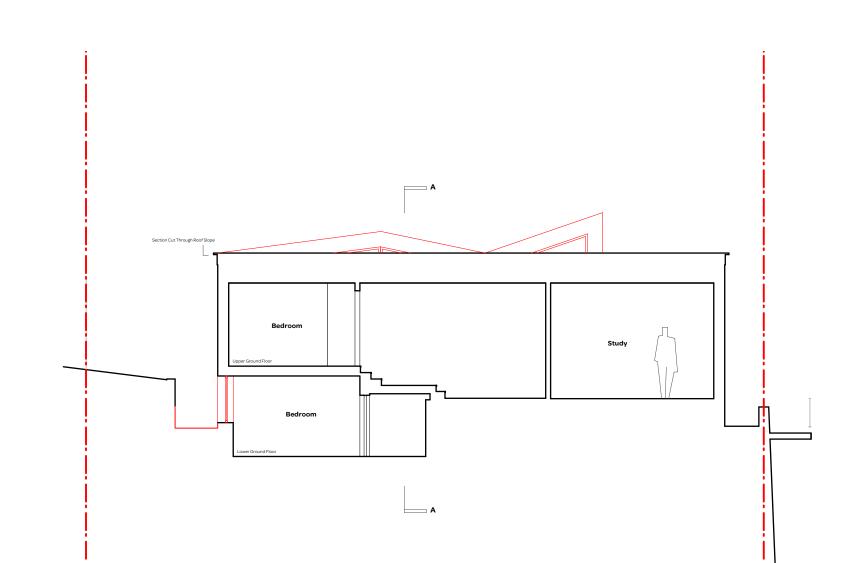
notes:			revision:			drawing title:	
General notes: 1. Do not scale drawings. Dimensions govern. 2. All dimensiions are in millimeters unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. Square Feet Architects shall be notified in writing of any discrepancies. Party Wall Act 1996: Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior commencement of the planned works as detailed on the drawings	C.D.M. Regulations 2015: These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects. KEY Dlack lines existing		A 06/04/21 B 18/07/22	, and g e e e	itects.co.uk	PROPOSED Eleva client: Mr R Ambrose project: The Rotunda date: 06/04/21 drawing number:	scale: 1:100@A3
to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory	green lines to be demolished 0 1 red lines proposed	2 3 M				1827_L_121	A



notes:		revision:		drawing title:					
General notes: 1. Do not scale drawings. Dimensions govern.	C.D.M. Regulations 2015: These drawings have been produced for the	A 06/04/21 Planning Set		PROPOSED Site Elevation (SW)					
2. All dimensions are in millimeters unless noted	purpose of applying for Planning and Building	B 18/07/22 Revised Planning Set		client:					
3. All dimensions shall be verified on site before proceeding with the work.       Arc         4. Square Feet Architects shall be notified in writing of any discrepancies.       Arc         Party Wall Act 1996:       If a         Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the       b	Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015. If advice is required please do not hesitate to contact Square Feet Architects.		SQUARE FEET	Mr R Ambrose					
			A : 95 Bell St, London, NW1 6TL T : 0207 431 4500	project:					
				The Rotunda					
				date:	scale:				
	black lines existing		E : studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk	06/04/21	1:100@A3				
				drawing number:	revision:				
	red lines proposed 0 1 2 3 M			1827_L_122	А				



SECTION AA



## SECTION BB

notes:		revision:		drawing title:	
General notes:	C.D.M. Regulations 2015:	A 06/04/21 Planning Set		PROPOSED Sections	
1. Do not scale drawings. Dimensions govern.	These drawings have been produced for the purpose of applying for Planning and Building	A 06/04/21 Planning Set B 18/07/22 Revised Planning Set		client:	
<ol> <li>All dimensiions are in millimeters unless noted otherwise.</li> <li>All dimensions shall be verified on site before</li> </ol>	Regulations only. If the project progresses on to site without the involvement of Square Feet		SQUARE FEET	- Mr R Ambrose	
proceeding with the work. 4. Square Feet Architects shall be notified in writing of any discrepancies.	Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management)		ARCHITECTS	project:	
whiling of any discrepancies.	Regulations 2015.		A : 95 Bell St. London, NW1 6TL	The Rotunda	
Party Wall Act 1996: Note: If the project progresses onto site without	If advice is required please do not hesitate to contact Square Feet Architects. KEY		T : 0207 431 4500	date:	scale:
the involvement of Square Feet Architects the Client must seek advice prior to commencement	KEY ·		E : studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk	06/04/21	1:100@A3
of the planned works as detailed on the drawings to establish whether the works fall within the	green lines to be demolished 0 1 2 3 M			drawing number:	revision:
scope of the Act which required adjoining property owners to be served with a statutory	red lines proposed			1827_L_125	А