



notes:

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Party Wall Act 1996:
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If advice is required please do not hesitate to contact Square Feet Architects.

KEY
black lines existing
green lines to be demolished
red lines proposed

revision:

A 06/04/21 Planning Set



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drawing title:

Location and Existing Aerial Views

client:

Mr R Ambrose

project:

The Rotunda

date:

06/04/21

drawing number:

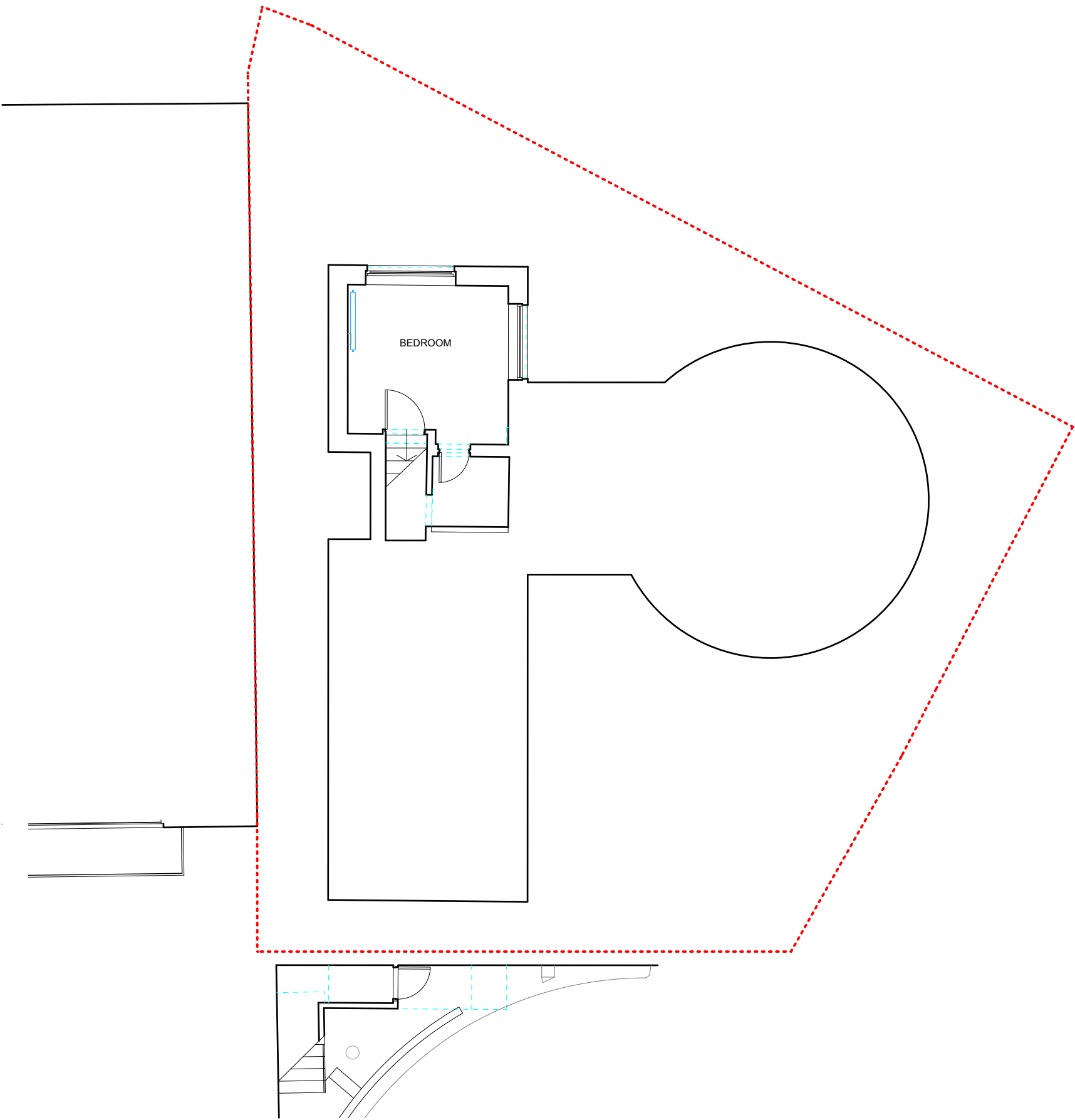
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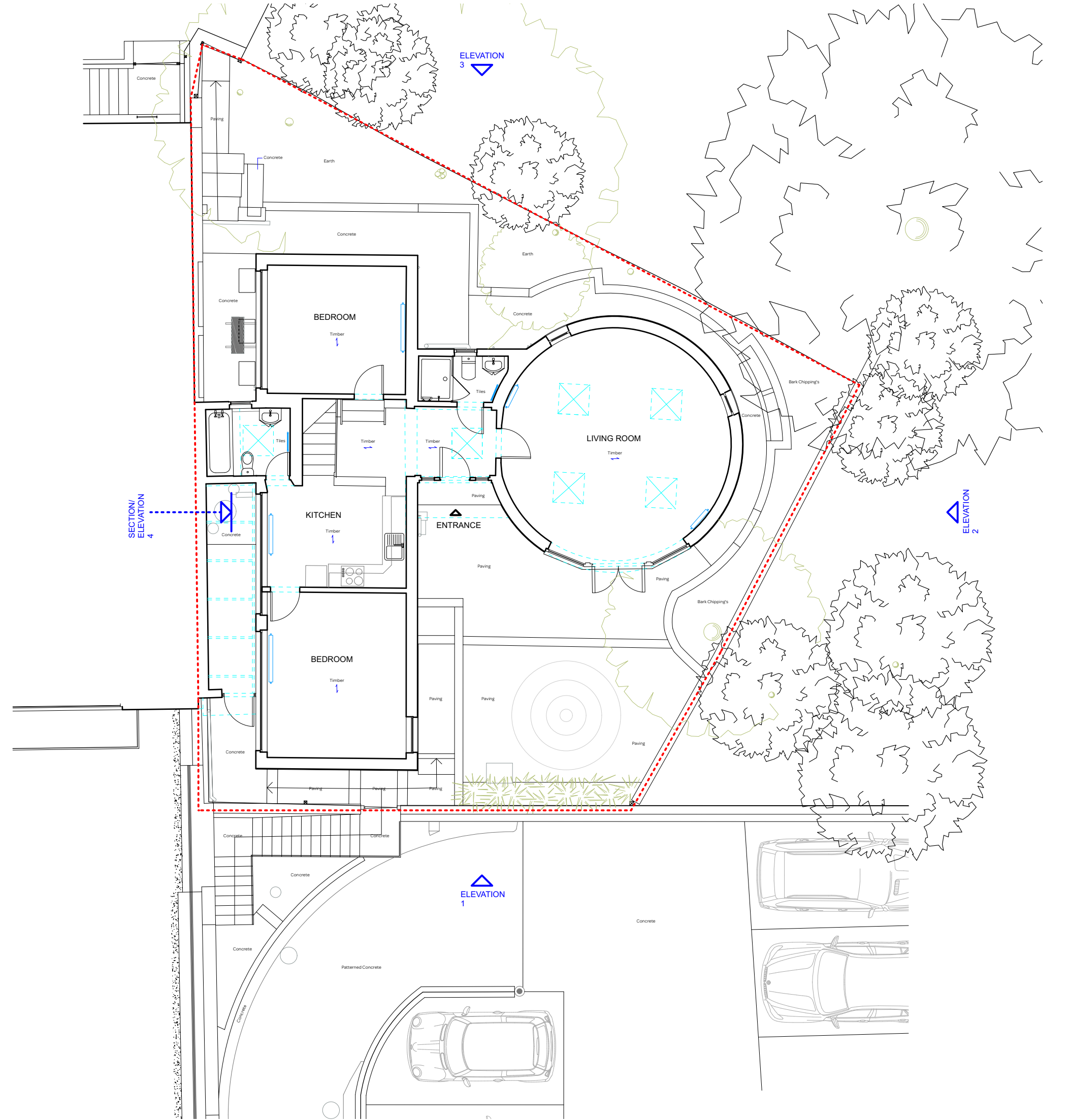
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revision:

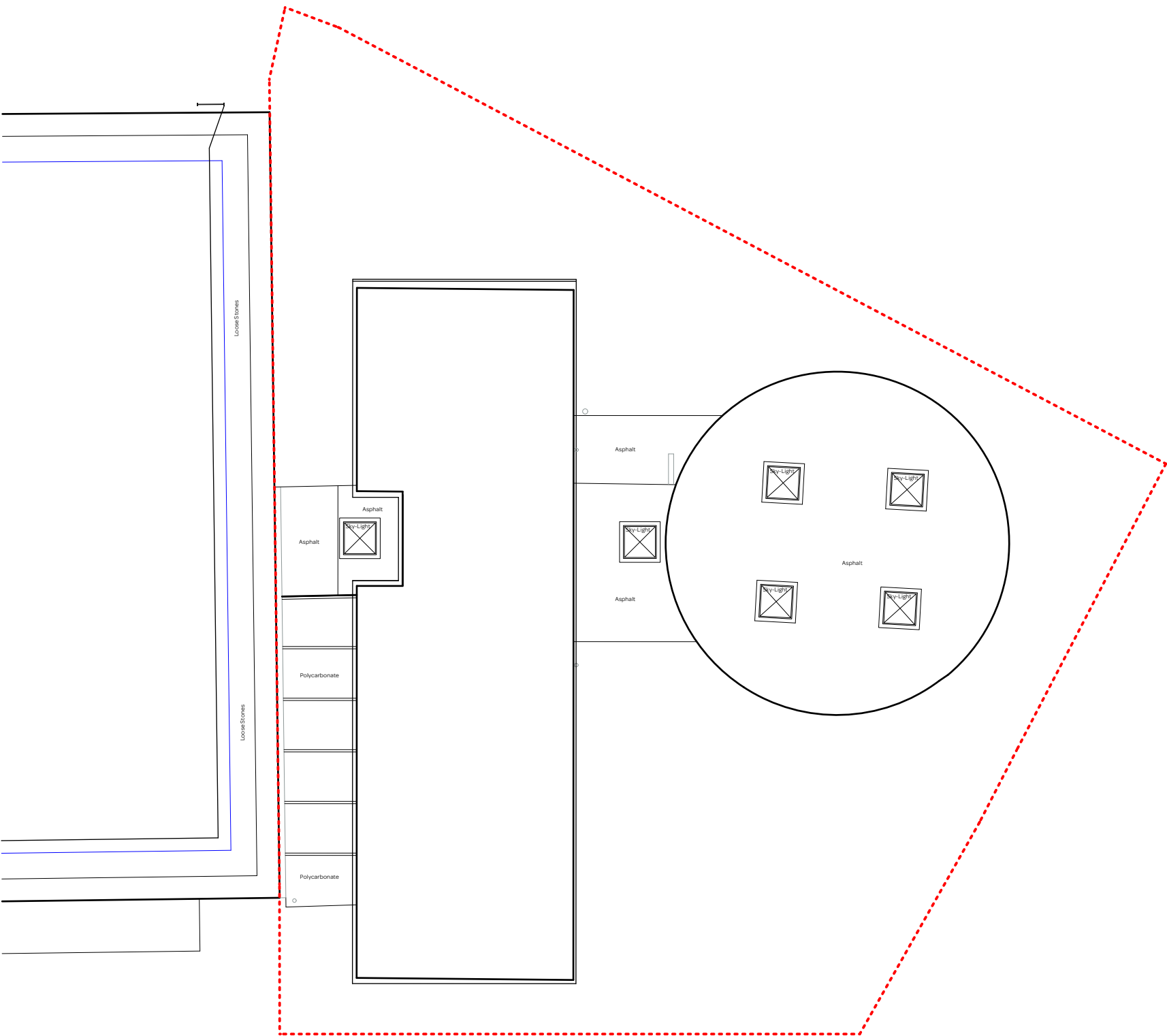
A



notes:		revision:		<div><div>SQUARE FEET ARCHITECTS</div><div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div></div>	drawing title:		
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					client:		
					Mr R Ambrose		
					project:		
					The Rotunda		
					date:	scale:	
					06/04/21	1:100@A3	
					drawing number:	revision:	
					1827_L_011	A	



notes:		revision:		<div><div>SQUARE FEET ARCHITECTS</div><div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div></div>	drawing title:		
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					project:		
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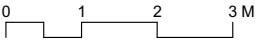
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KEY
black lines existing
green lines to be demolished
red lines proposed



revision:

A 06/04/21 Planning Set



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drawing title:

EXISTING Roof Plan

client:

Mr R Ambrose

project:

The Rotunda

date:

06/04/21

drawing number:

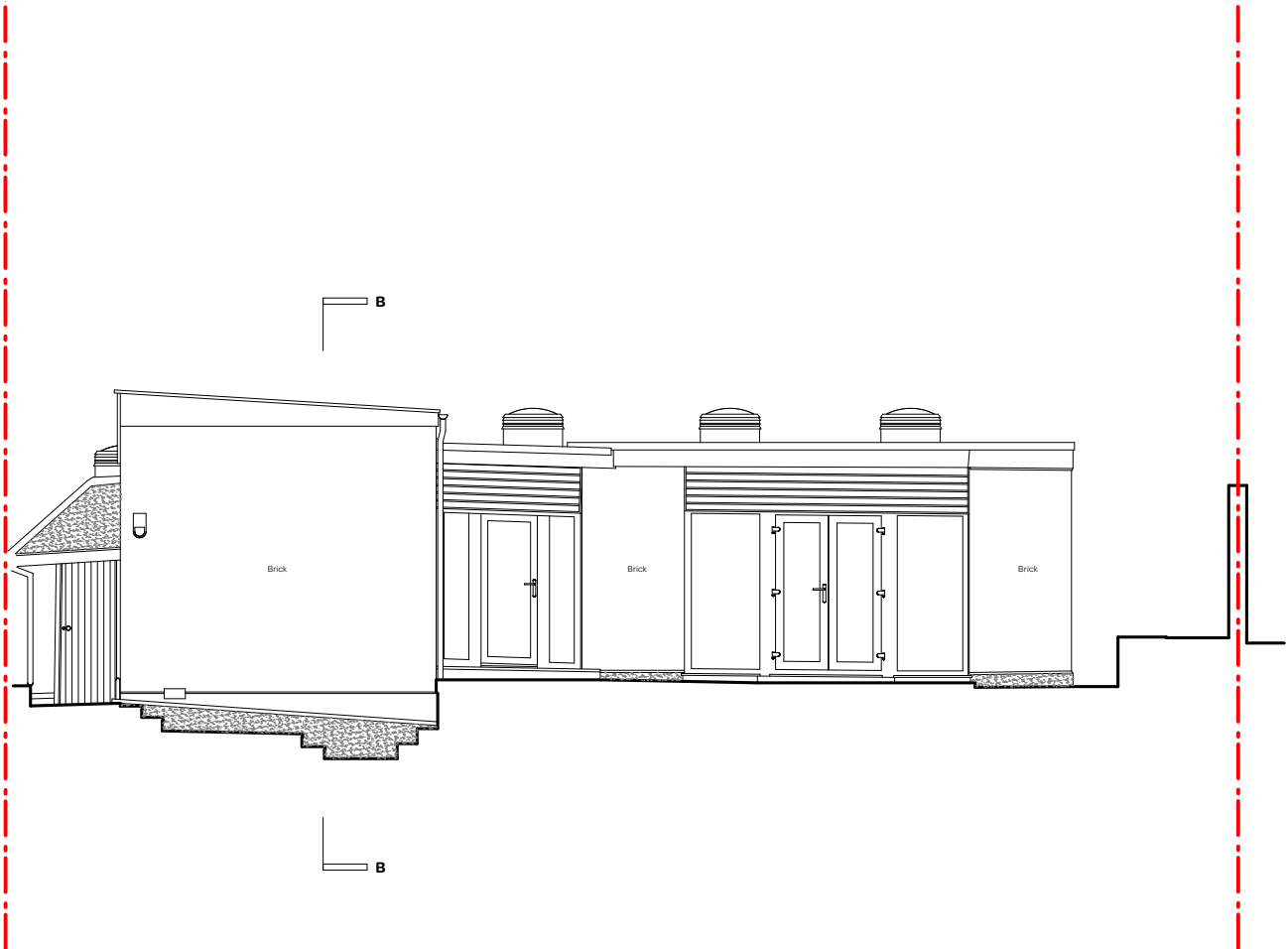
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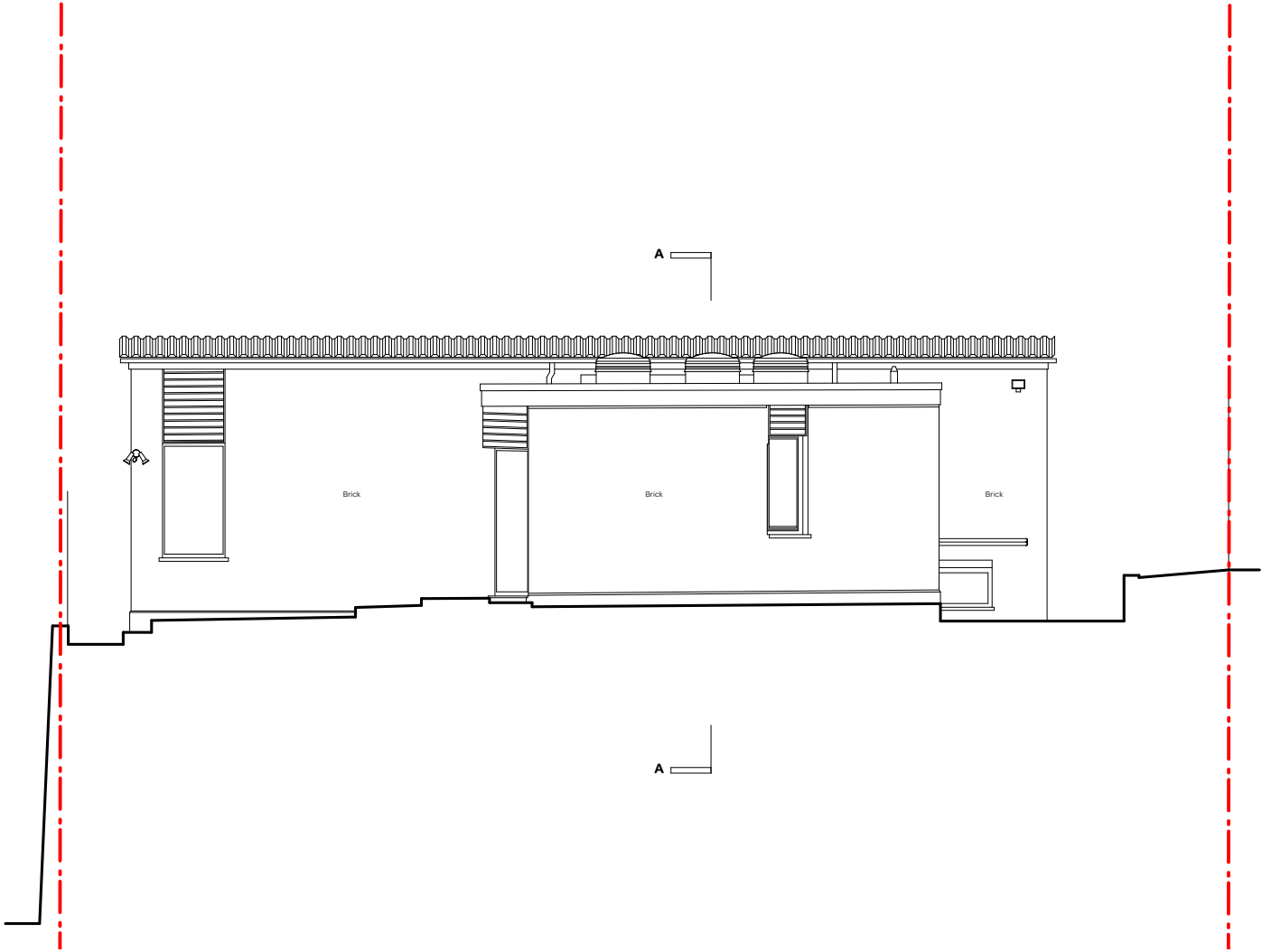
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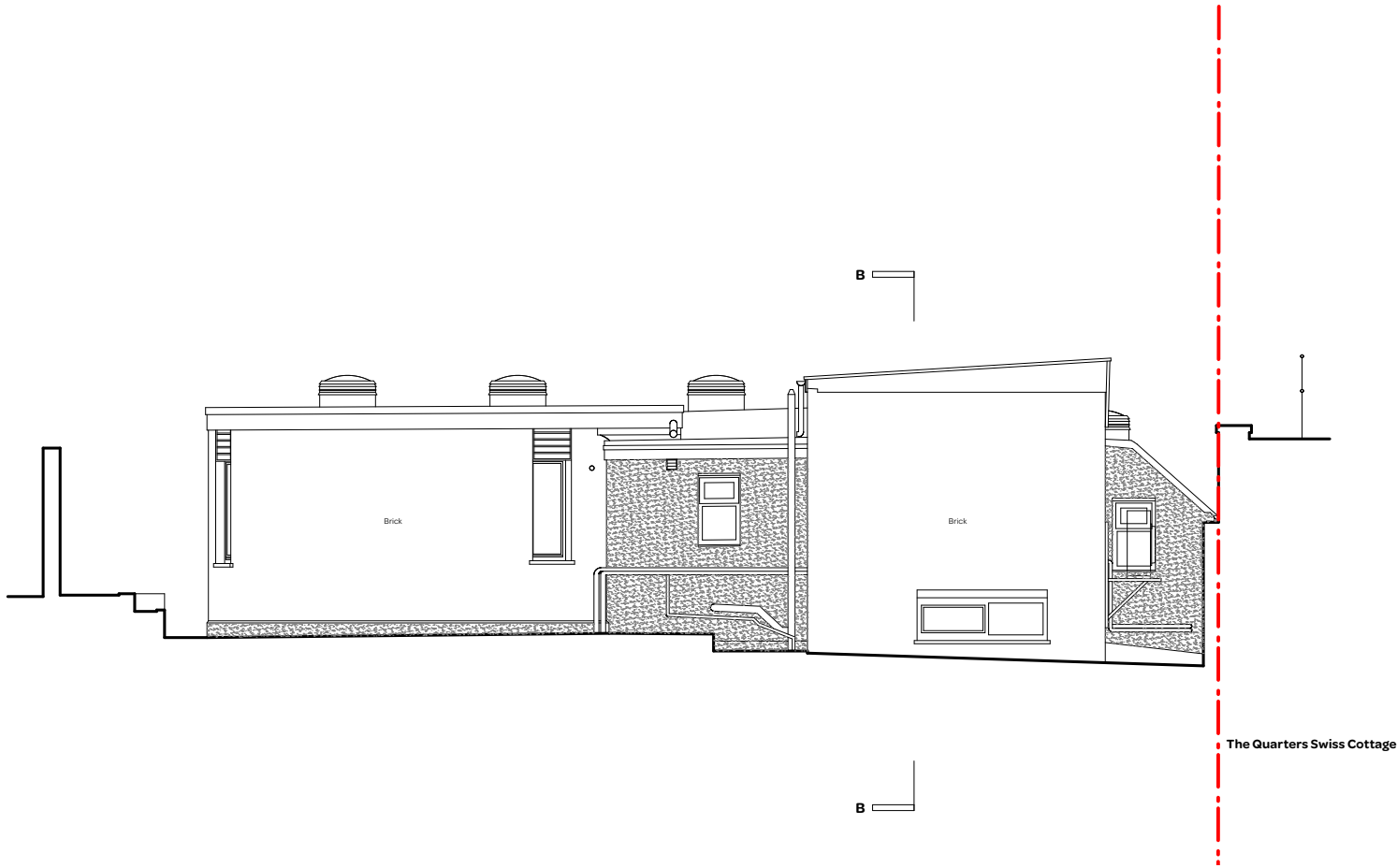


ELEVATION 1 (SOUTH-WEST FACING)

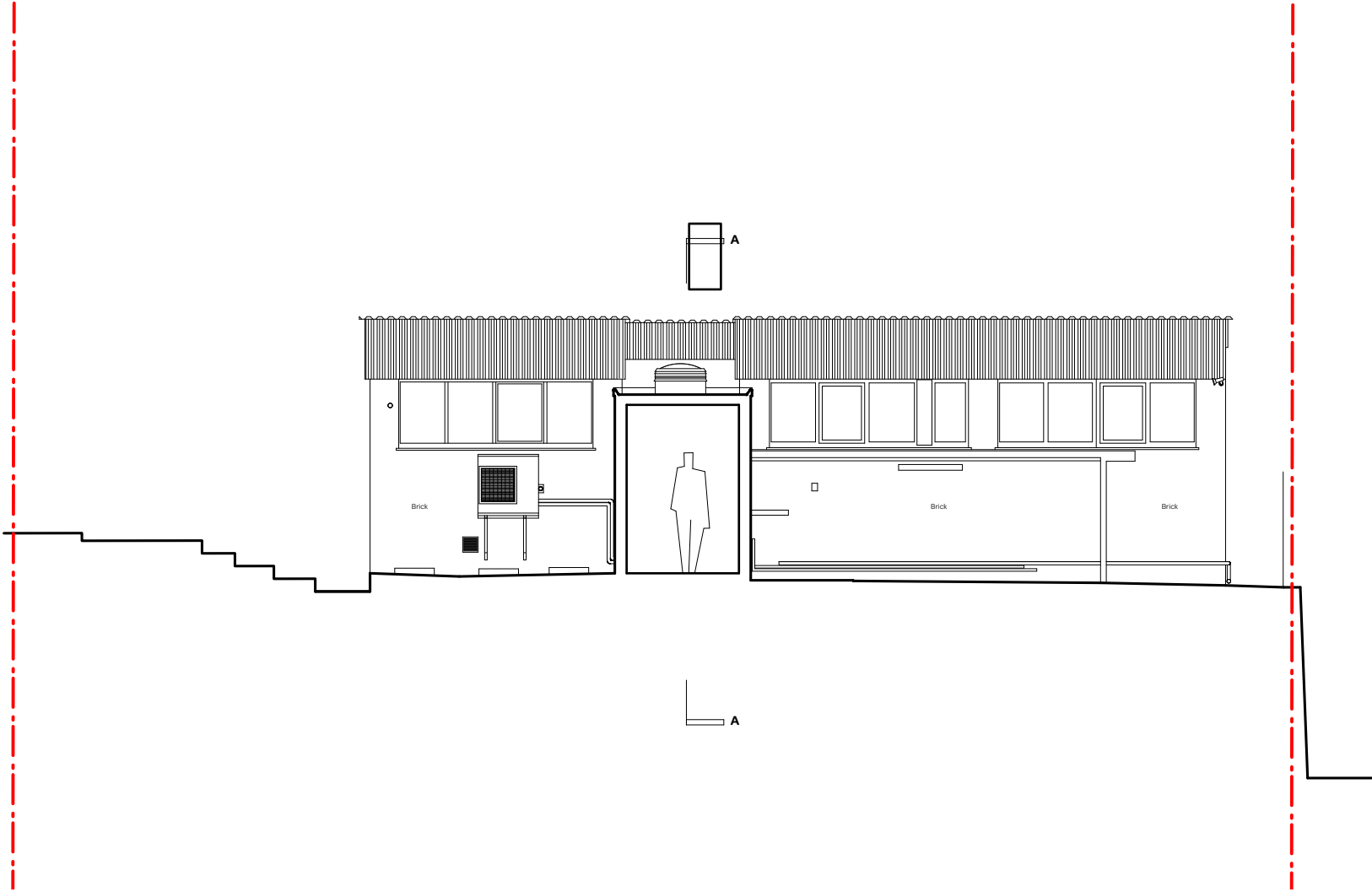


ELEVATION 2 (SOUTH-EAST FACING)


notes:		revision:		<div></div> <div>SQUARE FEET ARCHITECTS</div> <div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div>	drawing title:							
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		black lines	existing									
		green lines	to be demolished									
		red lines	proposed									
					client:							
					Mr R Ambrose							
					project:							
					The Rotunda							
		date:	scale:									
		06/04/21	1:100@A3									
		drawing number:	revision:									
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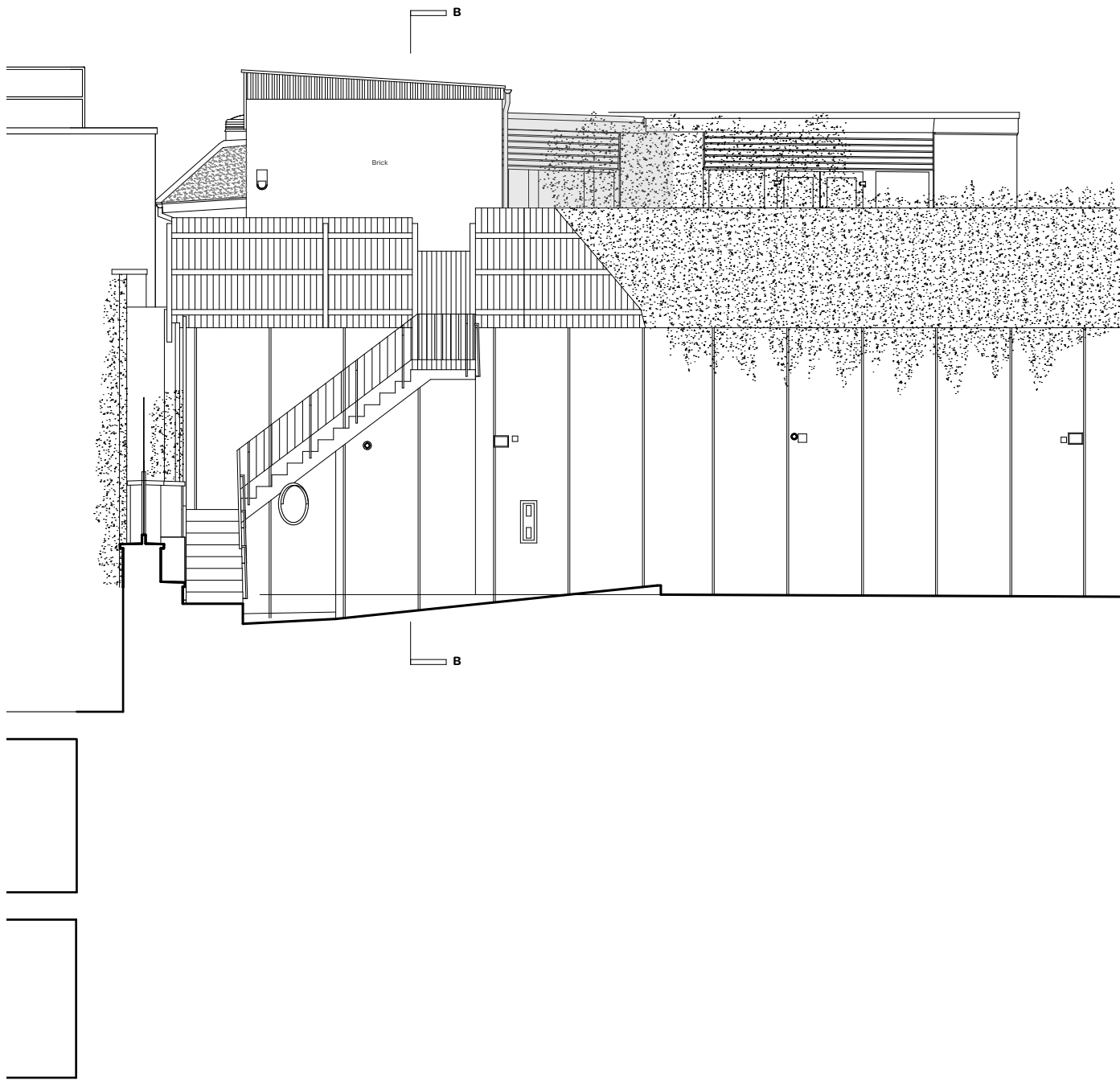



ELEVATION 3 (NORTH-EAST FACING)

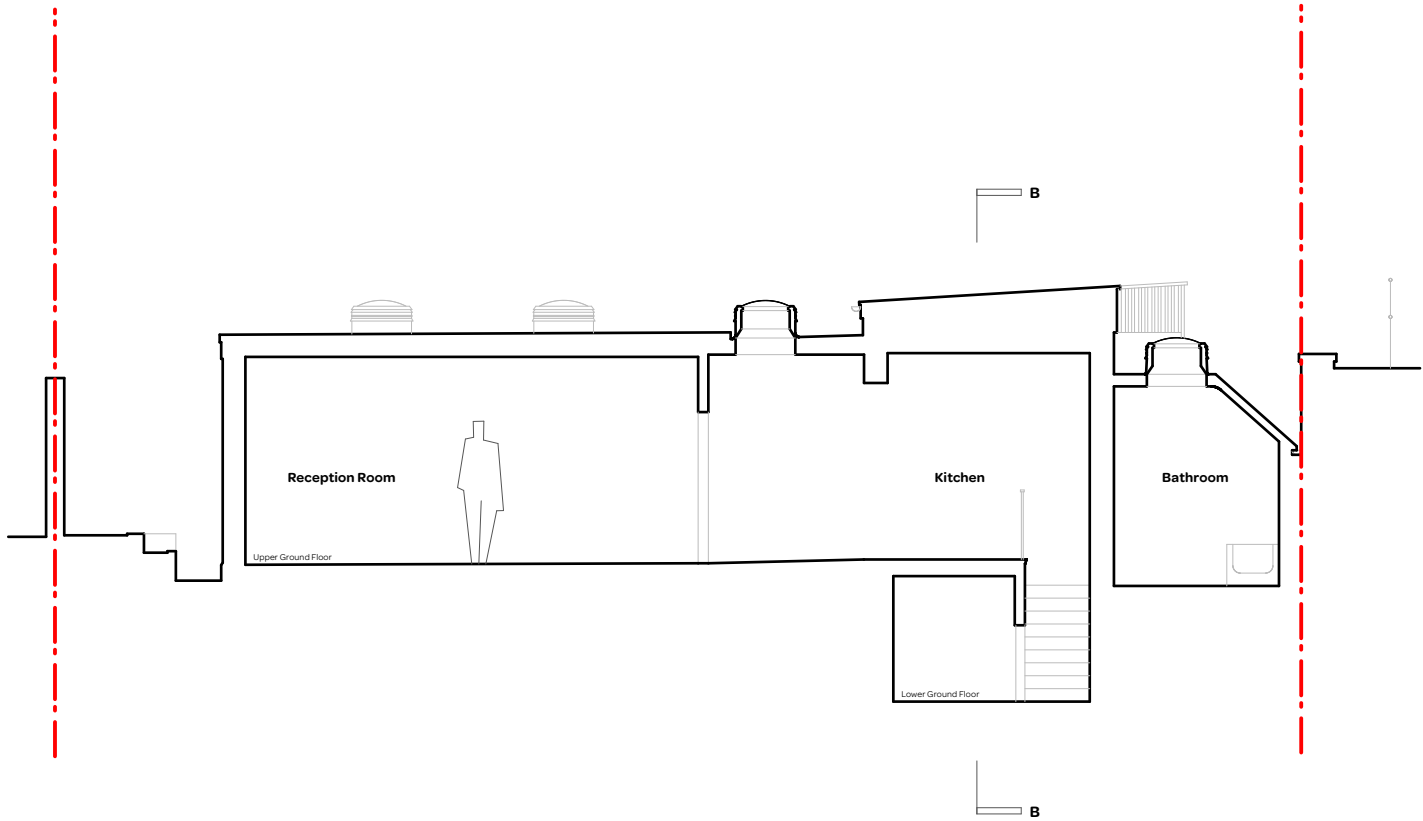


SECTIONAL ELEVATION 4 (NORTH-WEST FACING)

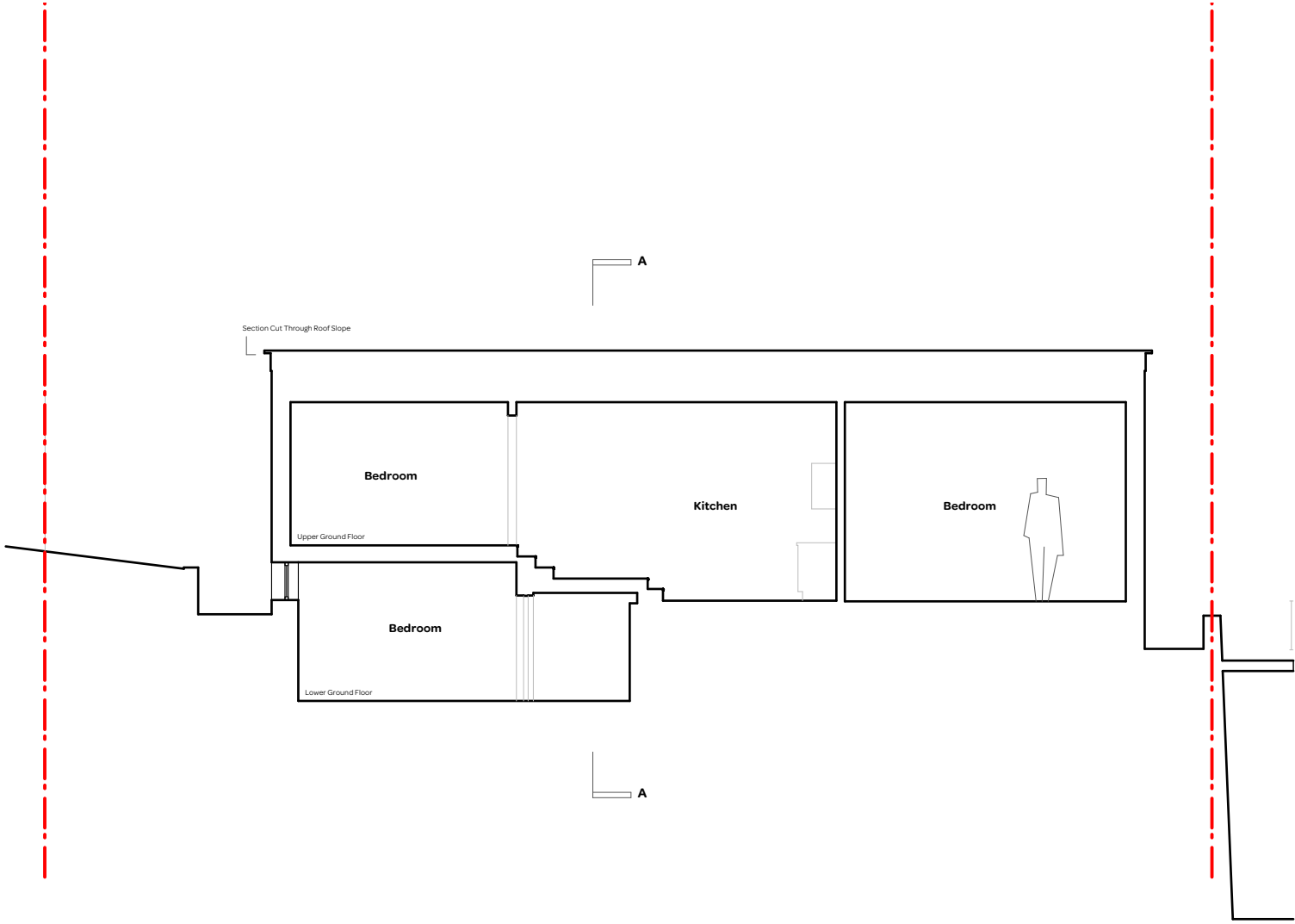
notes:		revision:		<div><div>SQUARE FEET ARCHITECTS</div><div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div></div>	drawing title:	
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					client:	
					Mr R Ambrose	
					project:	
					The Rotunda	
					date:	scale:
					06/04/21	1:100@A3
					drawing number:	revision:
					1827_L_021	A




notes:		revision:		<div></div> <div>SQUARE FEET ARCHITECTS</div> <div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div>	drawing title:	
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					client:	
					Mr R Ambrose	
					project:	
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					date:	scale:
					06/04/21	1:100@A3
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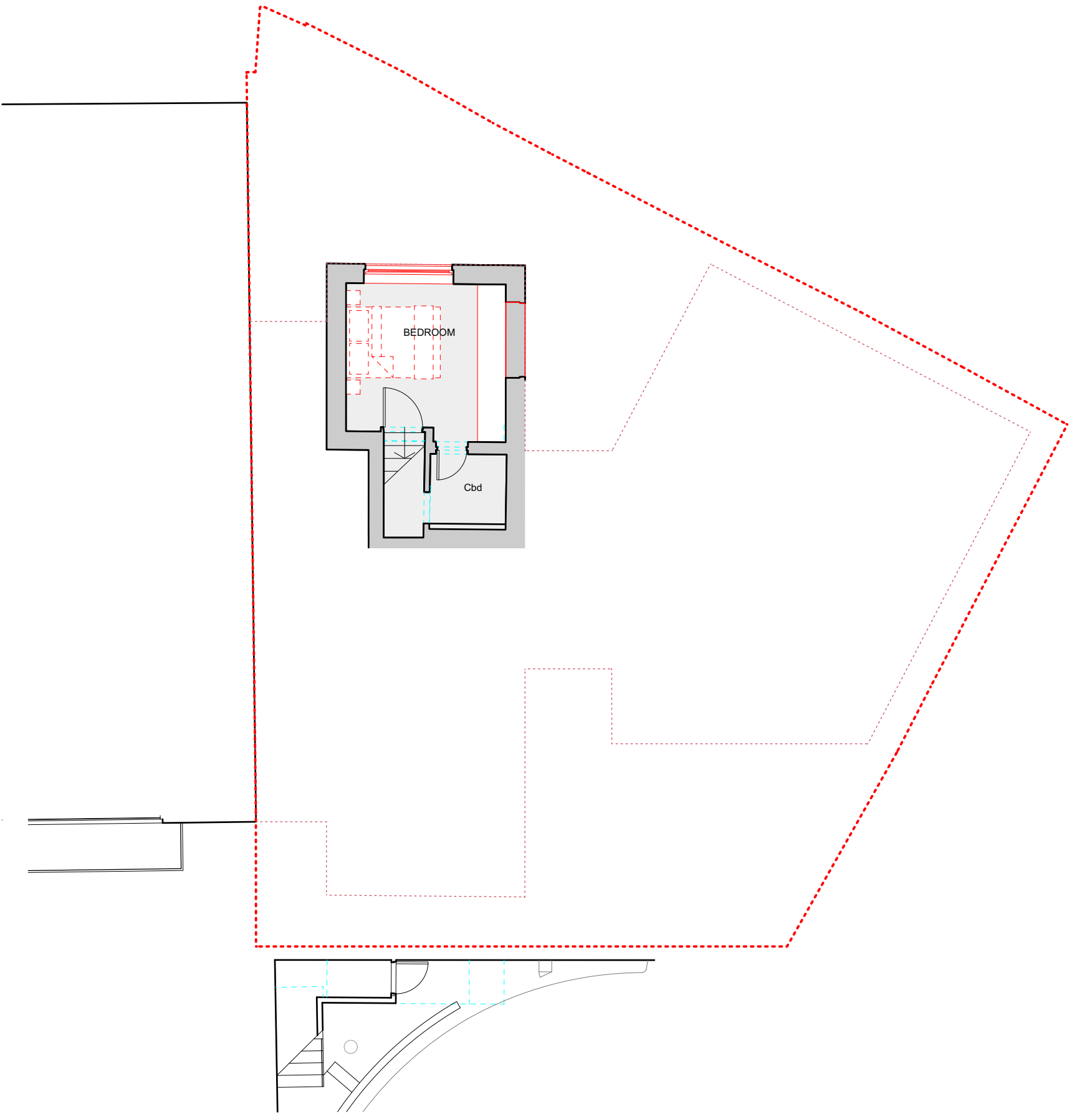


SECTION AA



SECTION BB

notes:		revision:		<div><div>SQUARE FEET ARCHITECTS</div><div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div></div>	drawing title:		
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					project:		
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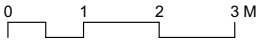
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KEY
black lines existing
green lines to be demolished
red lines proposed



revision:

A	06/04/21	Planning Set
B	18/07/22	Revised Planning Set



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drawing title:

PROPOSED Lower Ground Floor Plan

client:

Mr R Ambrose

project:

The Rotunda

date:

06/04/21

drawing number:

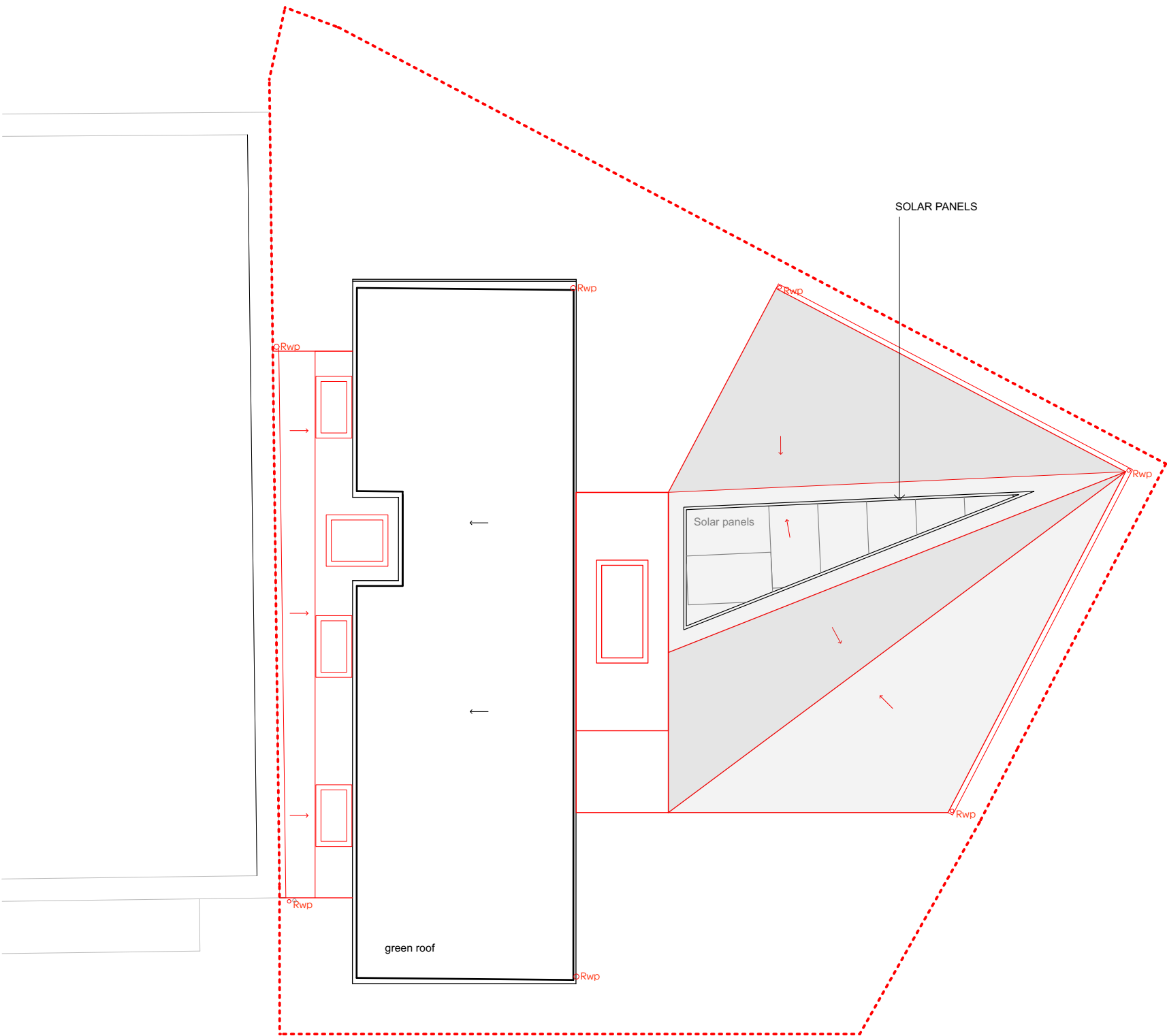
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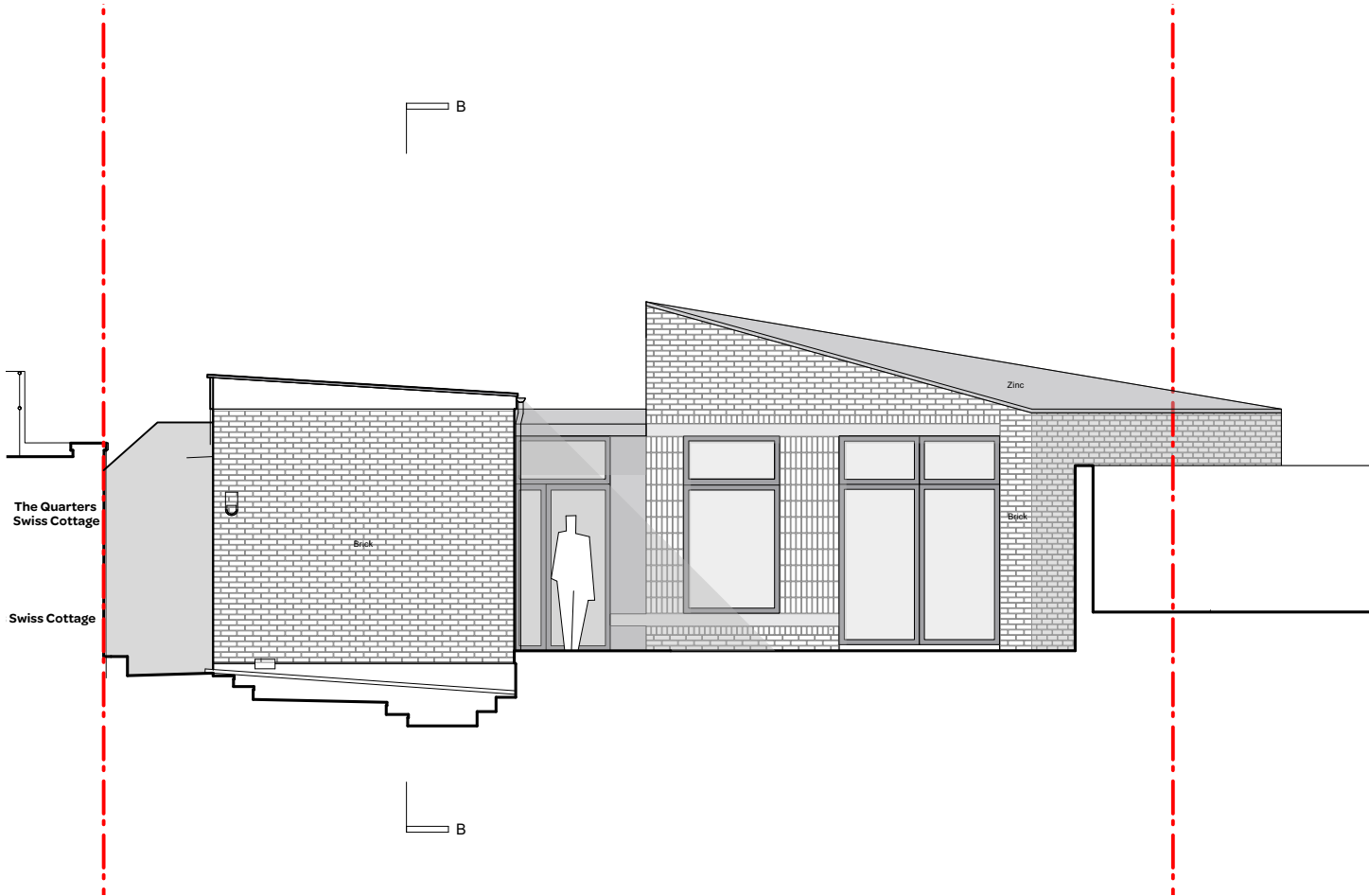
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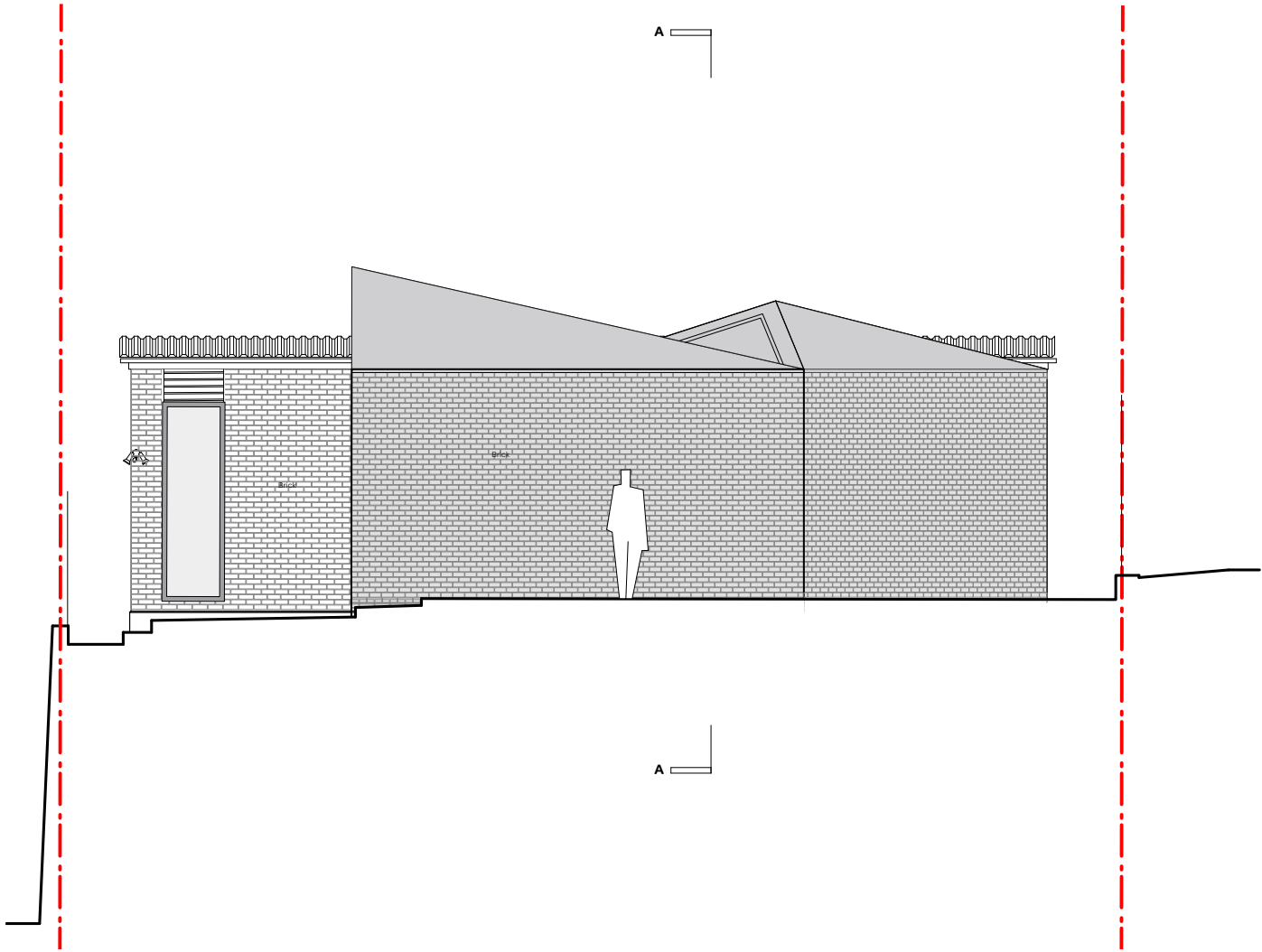
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		B18/07/22Revised Planning Set			client:	
					Mr R Ambrose	
					project:	
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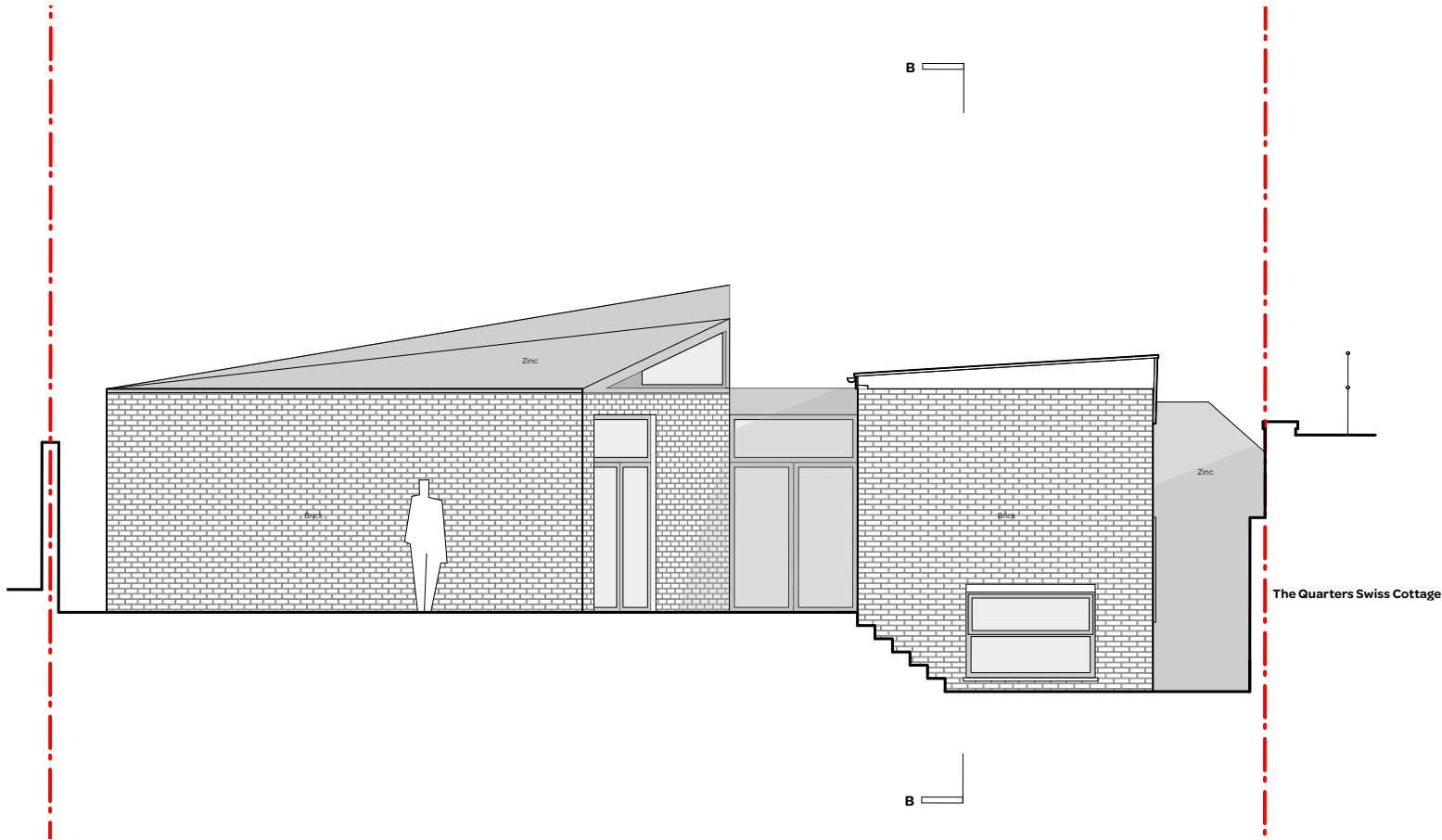


ELEVATION 1 (SOUTH-WEST FACING)

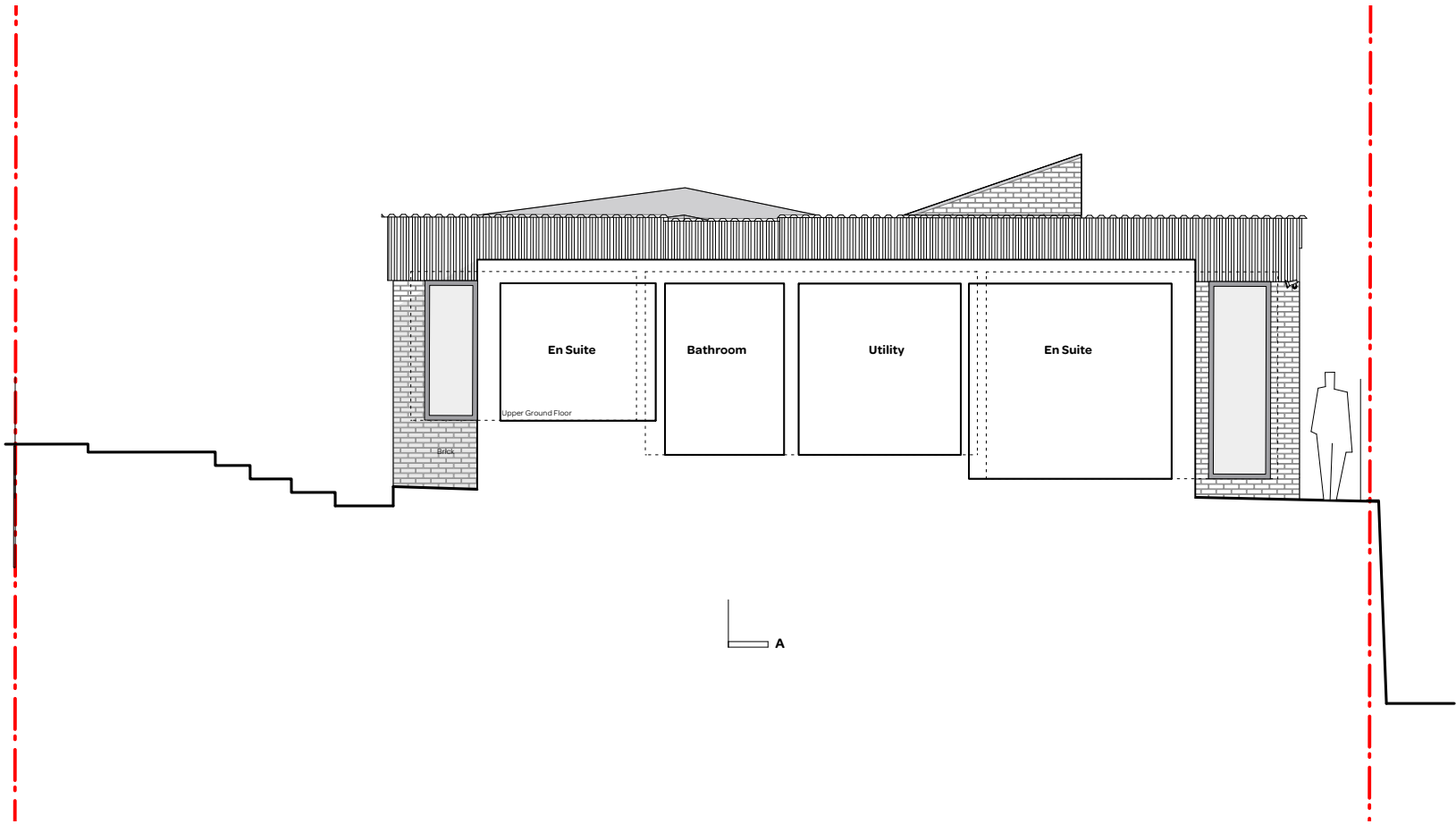


ELEVATION 2 (SOUTH-EAST FACING)


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		B18/07/22Revised Planning Set			Mr R Ambrose	
					project:	
					The Rotunda	
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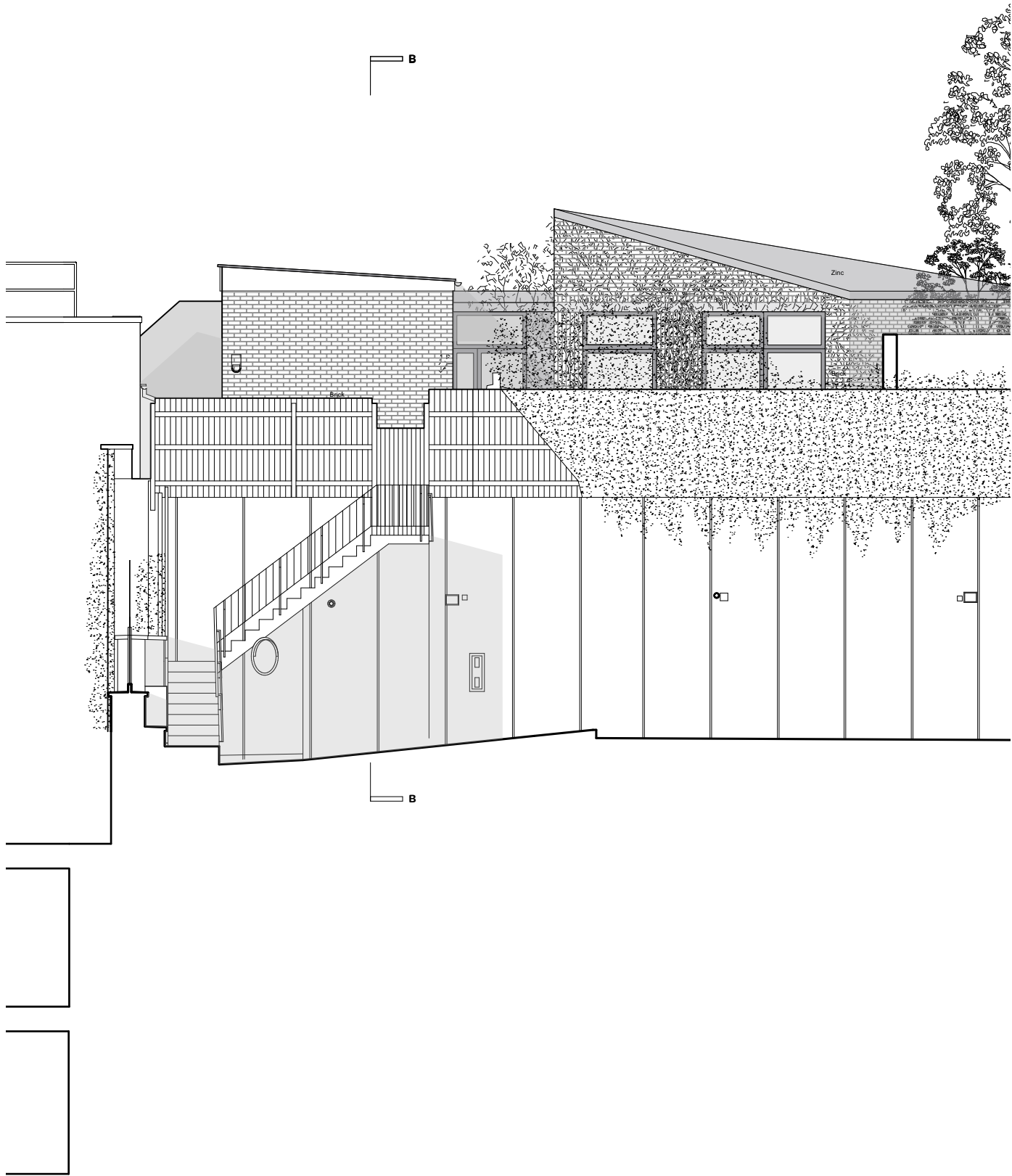



ELEVATION 3 (NORTH-EAST FACING)

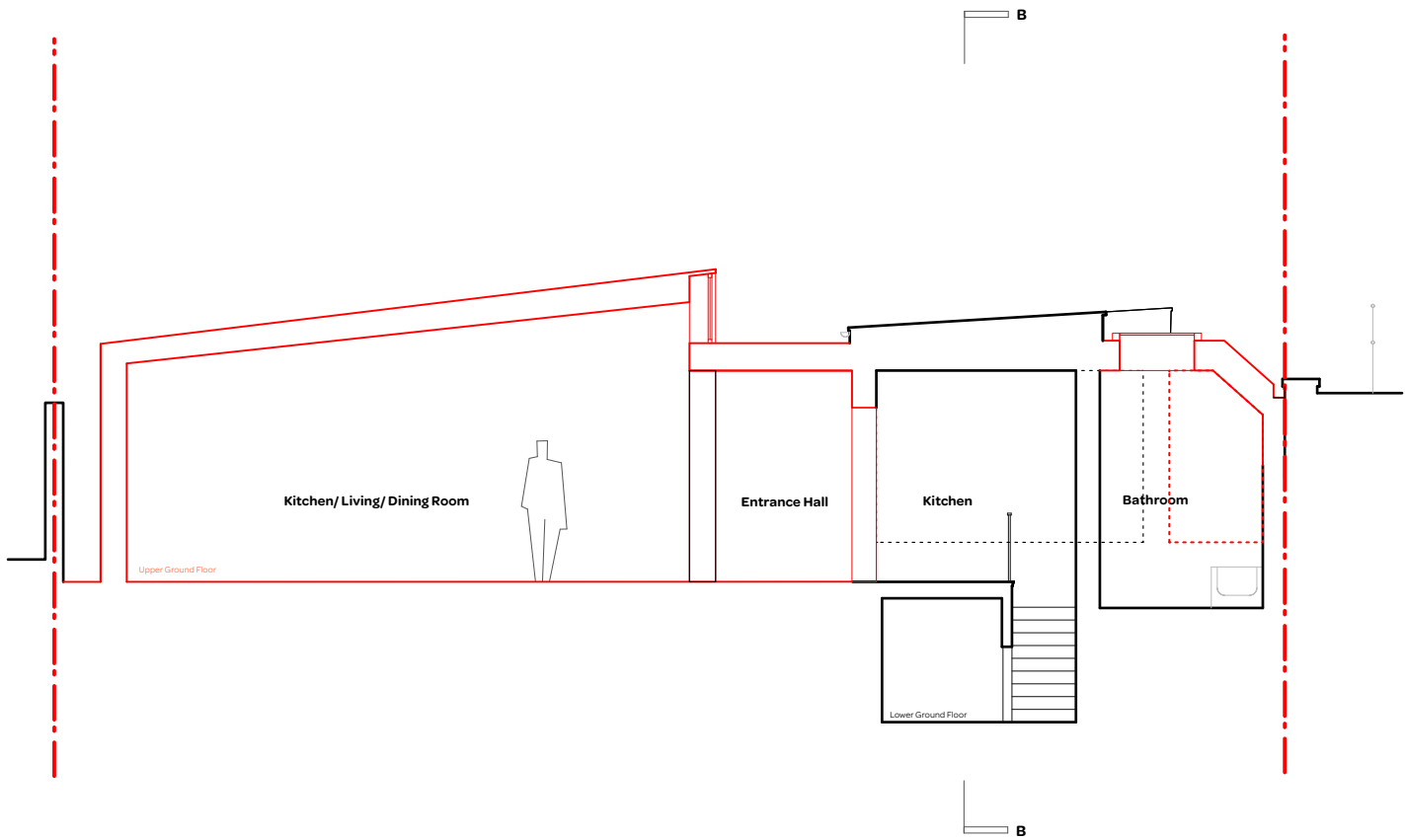


SECTIONAL ELEVATION 4 (NORTH-WEST FACING)

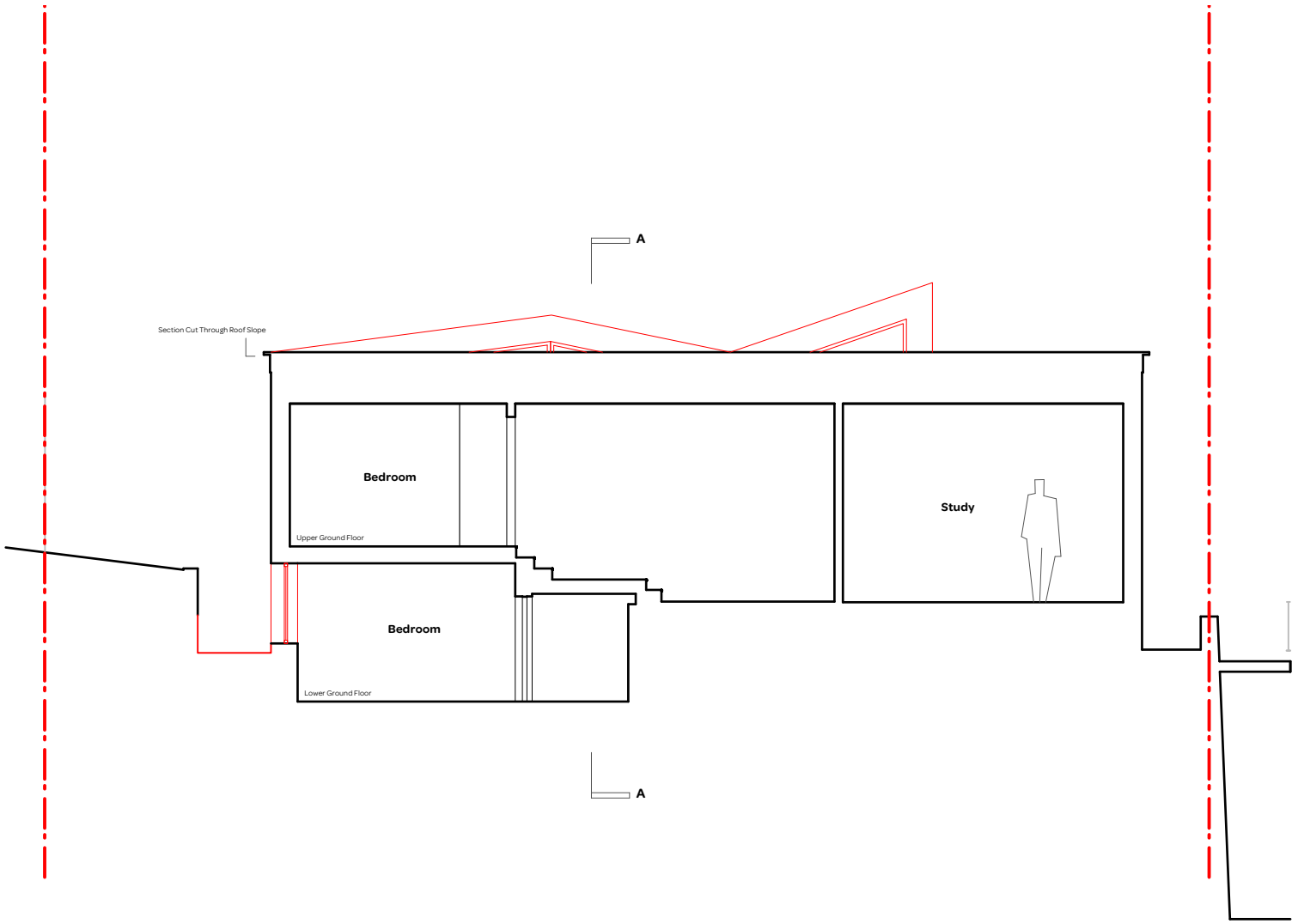
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		B18/07/22Revised Planning Set			Mr R Ambrose	
					project:	
					The Rotunda	
					date:	scale:
					06/04/21	1:100@A3
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					1827_L_121	A




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		B 18/07/22 Revised Planning Set				client:		
						Mr R Ambrose		
						project:		
						The Rotunda		
						date:	scale:	
						06/04/21	1:100@A3	
						drawing number:	revision:	
						1827_L_122	A	



SECTION AA



SECTION BB

notes:		revision:		<div> SQUARE FEET ARCHITECTS</div> <div>A : 95 Bell St, London, NW1 6TL T : 0207 431 4500 E : studio@squarefeetarchitects.co.uk W : www.squarefeetarchitects.co.uk</div>	drawing title:	
<p>General notes:</p> <p>1. Do not scale drawings. Dimensions govern.</p> <p>2. All dimensions are in millimeters unless noted otherwise.</p> <p>3. All dimensions shall be verified on site before proceeding with the work.</p> <p>4. Square Feet Architects shall be notified in writing of any discrepancies.</p> <p>Party Wall Act 1996:</p> <p>Note: If the project progresses onto site without the involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining property owners to be served with a statutory notice.</p> <p>C.D.M. Regulations 2015:</p> <p>These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 2015.</p> <p>If advice is required please do not hesitate to contact Square Feet Architects.</p> <p>KEY</p> <div><div>black lines</div>existing</div> <div><div>green lines</div>to be demolished</div> <div><div>red lines</div>proposed</div> <div><div>0</div><div>1</div><div>2</div><div>3 M</div></div>		A06/04/21Planning Set			PROPOSED Sections	
		B18/07/22Revised Planning Set			client:	
					Mr R Ambrose	
					project:	
					The Rotunda	
					date:	scale:
					06/04/21	1:100@A3
					drawing number:	revision:
		1827_L_125	A			