



Design & Access Statement

Installation of replacement kitchen extract ductwork
66 Belsize Lane, London, NW3 5BJ

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1. Introduction

This Design & Access Statement has been prepared by Eastfield Architecture in support of an application for "Full planning permission" at 66 Belsize Lane, NW3 5BJ.

The applicant leases the ground floor and basement premises from the landlord and wishes to install replacement extract ductwork serving the ground floor kitchen.

2. The Site and Context

The site is located in the London borough of Camden, within the Belsize Ward, approximately 25m south-west of the junction of Belsize Lane and Belsize Crescent.

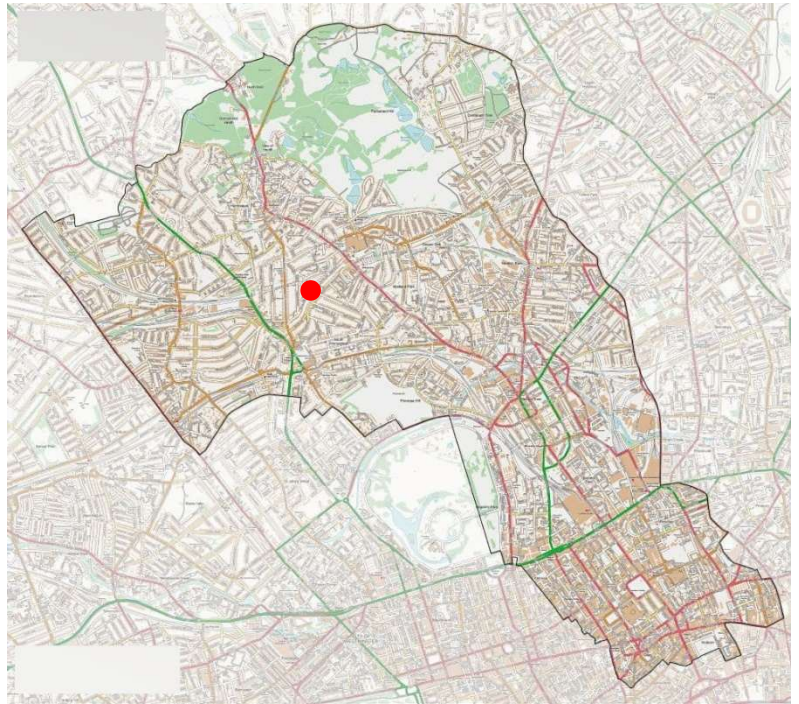
The application site sits within Belsize Park Conservation Area. The building is not statutorily listed or near a listed building or structure. The site measures approximately 73 sqm.

The area is designated as a Neighbourhood Shopping and Service Centre (refer to UDP Policies SH3 and SH9)

Belsize Lane runs south-west to north-east and comprises mainly two, three and four storey buildings with a vibrant mixture of retail, cafes, restaurant and other uses on the ground floor and offices, residential and mixed-use units on the upper floors.

The building sits within flood Zone 1, with low probability of flooding. There are no trees within the site subject to Tree Preservation Orders.

The application site sits on the west side of Belsize Lane and is characterised by a Victorian townscape. The site is part of a four-storey stucco terrace with Italianate detailing.



Map of the London Borough of Camden showing the approximate location of the application site



Location plan showing the application site in red

The Belsize Park Conservation Area Appraisal observes that:

"The terraces in Belsize Village are three and four storeys in height, built to the back edge of the pavement, giving a strong sense of enclosure. They typically have vertically proportioned windows diminishing in height on successive upper floors and shopfronts at ground level, some of which retain original details (pilasters, scrolls, fascia boards, window frames, stallrisers and doors). Some have classical ornamentation including eaves brackets, window surrounds, quoins and horizontal banding."

All buildings along the terrace have commercial units on the ground floor and residential uses on the upper floors. Service access to the commercial units is provided through the ground floor shopfronts. Some units benefit from tables and chairs laid on the public pavement in front of the units.

The roofline is characterised by inverted butterfly roofs concealed from street view by a parapet. No 68 and 70 have erected mansard roof dormers, set back from the front elevation.

The rear elevation is characterised by two columns of fenestrations in each building, sash windows to the left service habitable rooms and sash windows to the right providing light to the half-landings across all floors

All rear elevations have exposed waste pipes (SVPs and branches) painted black. At present, No 72, 68 and 66 have external kitchen ductworks running vertically and terminating at high level.

This proposal deals with the replacement of the existing ductwork at No 66.

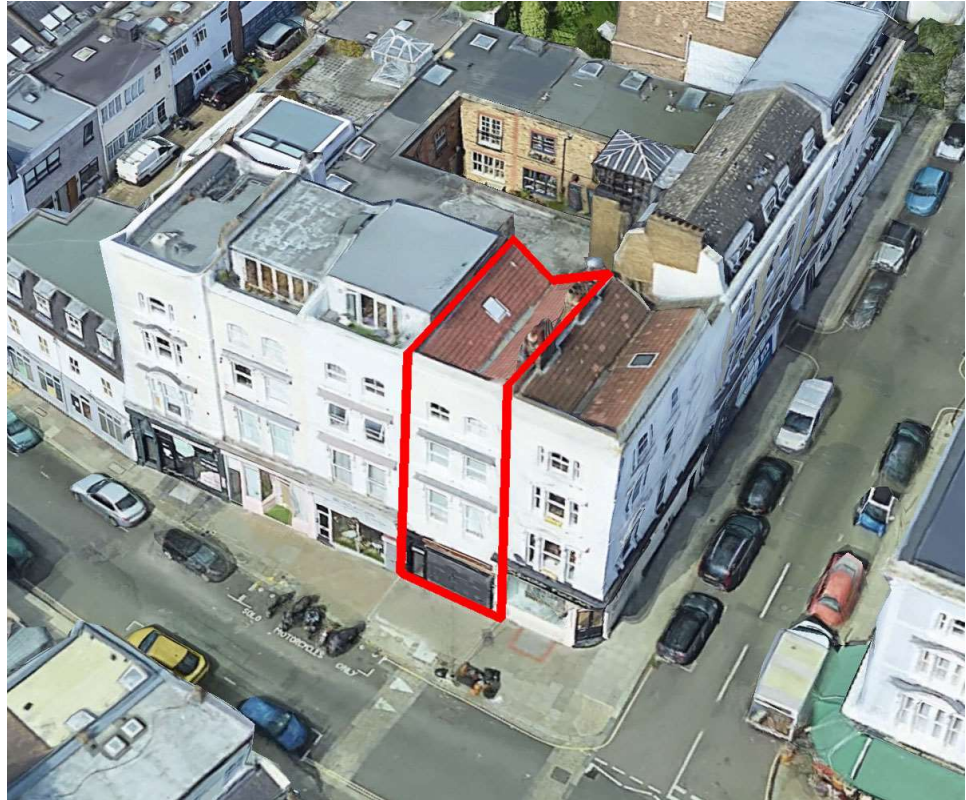
The application site is currently used as a restaurant, trading as "Cinder", under the use class E(a) "*Sale of food and drink for consumption (mostly) on the premises*".



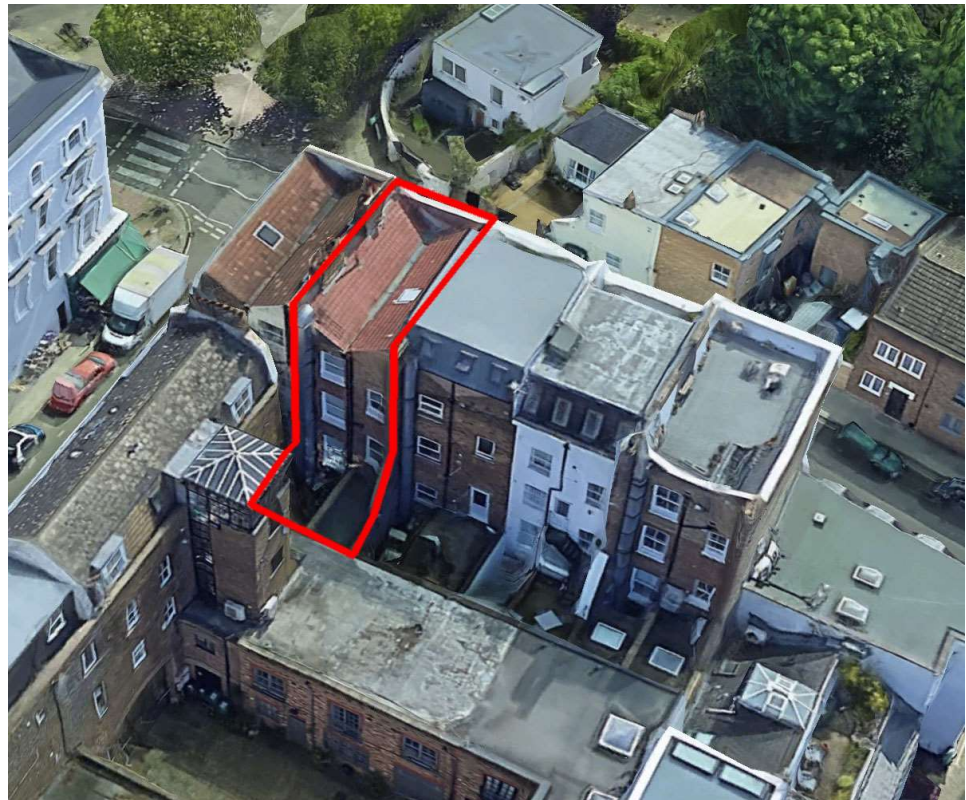
Aerial view of the site from the west



Photo of the rear elevation showing the existing ductwork to be replaced



Aerial view of the site from the east



Aerial view of the site from the west

3. Relevant Planning History

2018/6075/INVALID

Display of fascia sign and 1x hanging sign.

Status: Withdrawn Decision

2021/5669/PVL

5 Tables and 14 Chairs Monday to Sunday 08:00 - 22:00 New Application

Status: Granted

2021/1646/PVL

5 Tables and 14 Chairs Monday - Sunday 08:00-22:00 New Application

Status: Granted

2018/3913/P

Replacement of front single glazed upper floor windows with timber double glazed fittings.

Status: Granted

4. Proposal

Background

The applicant wishes to replace the existing extraction ductwork, with one that provides adequate filtration, noise attenuation and that terminates 1m above the ridgeline.

The scheme submitted with this application has been designed in accordance with development plan policy in respect of design, heritage and amenity issues. The designs are the result of a process involving the applicant, landlord and technical team. The scheme submitted reflects the design that is most in line with the relevant planning policies and conservation area audit. We believe that the scheme preserves or enhances the character of the conservation area and contributes positively to the townscape and amenity of the area.

New supply and extract ductwork

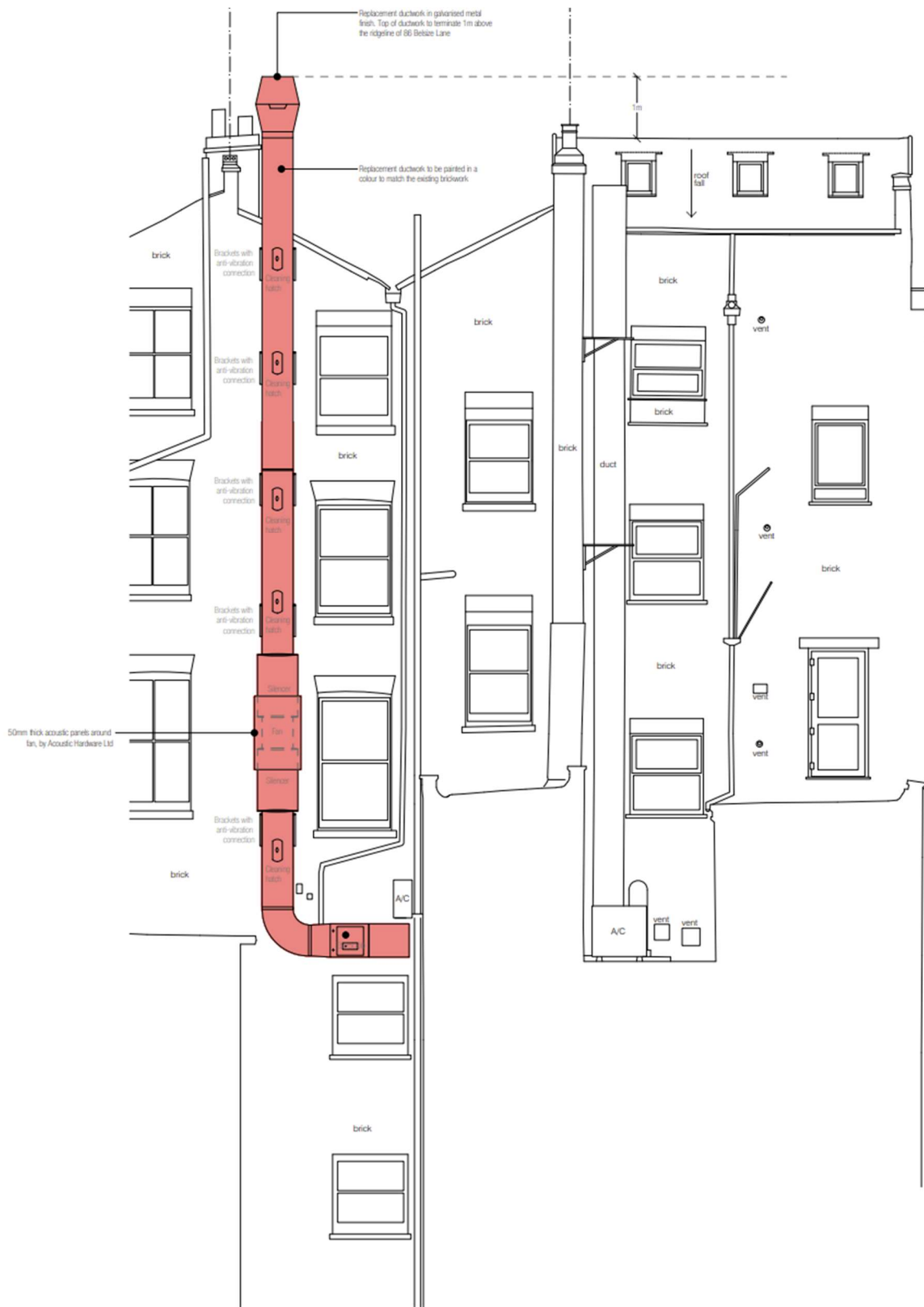
The proposal is for the replacement of the existing ductwork at the rear elevation with new ductwork, filtration unit and acoustically enclosed fan.

The proposal is for the replacement of the existing ductwork at the rear elevation with new ductwork providing extract air to the new kitchen on the ground floor.

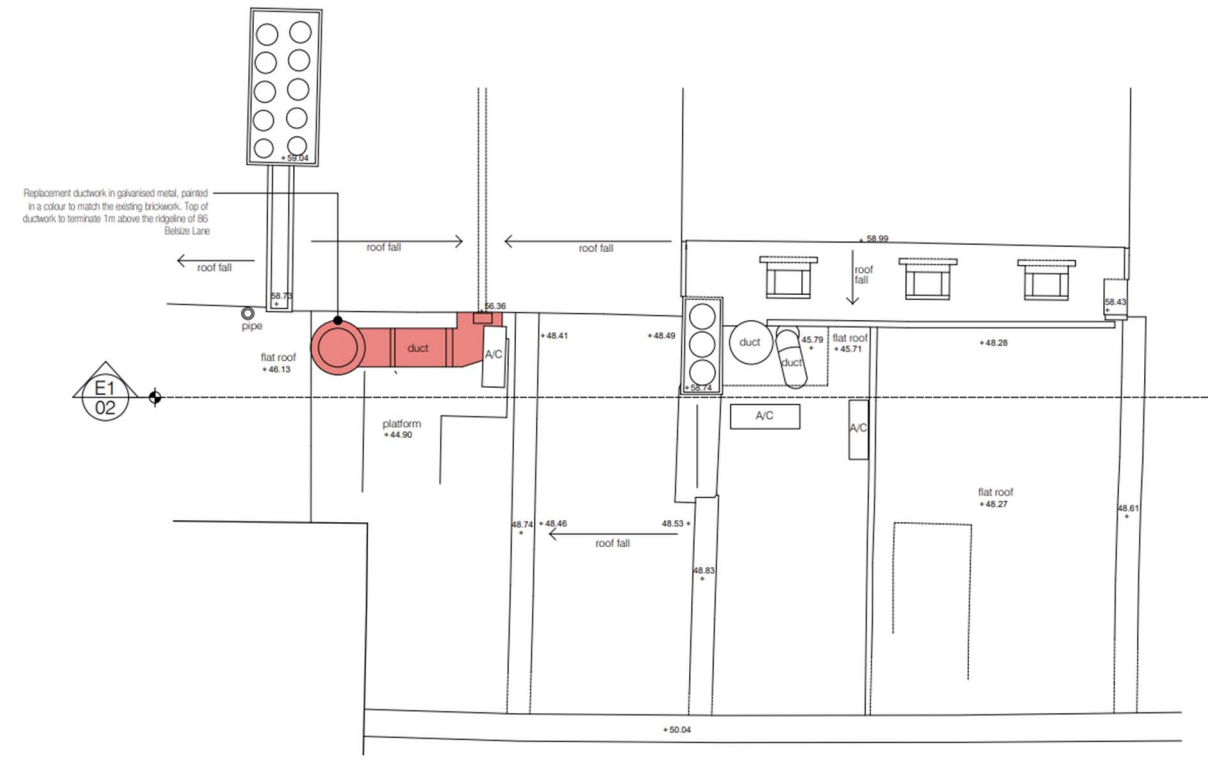
The proposed ductwork includes an ESP filtration unit and extract fan with associated silencers and acoustic enclosure, in order to ensure no adverse impact on the amenity of nearby occupiers.

The ductwork will be fixed to the external brickwork via brackets fitted with anti-vibration connections. Cleaning hatches will be provided at frequent intervals to eliminate the risk of fat build up.

The ductwork will be painted in a colour to match the existing brickwork.



Proposed rear elevation with kitchen extract ductwork shown in red for clarity



Proposed roof plan with kitchen extract ductwork shown in red for clarity

5. Document Schedule

EXISTING

Location Plan	1165-3-OS-01
Existing - Roof Plan	1167-X-GA-RP
Existing - Rear Elevation	1167-X-EL-02

PROPOSED

Site Plan	1165-3-OS-02
Proposed - Roof Plan	1167-3-GA-RP
Proposed - Rear Elevation	1167-3-EL-02

OTHER DOCUMENTS

Noise Impact Assessment	66 Belsize - NIA 2022 08 26
Cleaning and Maintenance Schedule	Cleaning and Maintenance Schedule
Cinders Fan Spec	Cinders Fan Spec
Cinders Silencers	Cinders Silencers spec
AHL Acoustic Panels	AHL Acoustic Panels specs