

**3 BENHAM'S PLACE, HAMPSTEAD,
LONDON, NW3 6QX**

DESIGN & ACCESS STATEMENT AND HERITAGE IMPACT ASSESSMENT



3 Benham's Place - Front Elevation

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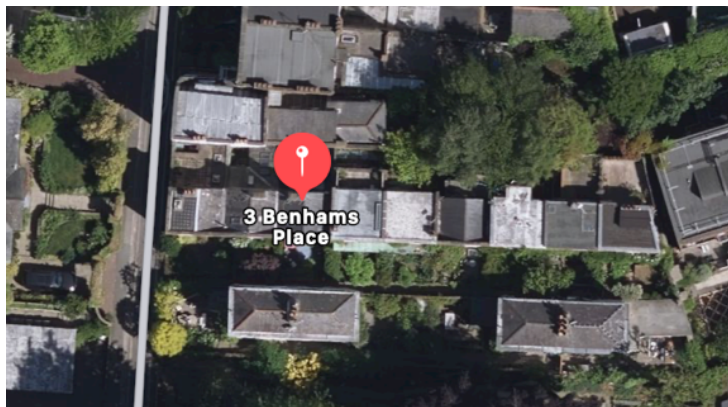
DESIGN & ACCESS STATEMENT AND HERITAGE IMPACT ASSESSMENT

1.0 INTRODUCTION

- 1.1 This Design & Access Statement and Heritage Impact Assessment has been prepared by Kerr Parker Associates Ltd in support of the listed building application for the reinstatement of a replica timber panelled division wall on the ground floor together with minor alterations.
- 1.2 The application follows the receipt of a letter dated 24th August 2022 from the London Borough of Camden served on the current owner alleging that works had been carried out to 3 Benham's Place without the benefit of a listed building consent. The alleged works were stated as the removal of an internal stud partition, the stripping out of a bathroom, the repaving of the patio with stone slabs, alterations to fencing with areas significantly raised along the passage and the removal of all vegetation.
- 1.3 The letter required all works to cease forthwith and the submission of a listed building application to assess the works that have been undertaken and any proposed works so that the Council can be satisfied that they do not have any detrimental impact on the special historic interest of this statutorily listed Grade II building.

2.0 LOCATION AND HISTORICAL CONTEXT

- 2.1 Benham's Place is a Regency Terrace situated in the Hampstead Conservation Area of the London Borough of Camden. It is one of a terrace of nine house constructed in 1813 by William Benham who was a grocer and cheesemonger with a premises in Hampstead High Street.



3 Benham's Place located off Holly Walk, Hampstead

- 2.2 Benham's Place lies within sub-area four of Church Row/Hampstead Grove which is described within the Conservation Area appraisal as an area that still preserves something of the village character Hampstead must have had before the late Victorian development. Three narrow paths with tiny cottages on one side lead off Holly Walk on either side of Holly Place: Benham's Place (1813)

and Prospect Place (1790s) to the south, with small front gardens overlooking the graveyard, and Holly Berry Lane to the north.



Aerial view of 3 Benham's Place, Hampstead NW3 6QX

3.0 LISTED BUILDING DETAILS

3.1 The Listed Building Description for 1-9 Benham's Place is as below:

CAMDEN

TQ2685NW BENHAM'S PLACE 798-1/26/89 Nos.1-9 (Consecutive) 14/05/74

GV II

Terrace of 9 houses. c1813. Built for William Benham; Nos 4 & 5 rebuilt mid C20. Yellow stock brick with red brick dressings. 3 storeys, single window each. Round-arched doorways with stuccoed tympani; Nos 4 & 5 with penthouse roof extending over square-headed doorways. Gauged red brick flat arches to flush framed sashes; Nos 4 & 5 with ground floor bay windows. Parapets. No.1 with stone plaque inscribed "Benham's Place, 1813". INTERIORS: not inspected. HISTORICAL NOTE: William Benham was a grocer and cheesemonger in Hampstead High Street.

Listing NGR: TQ2625185764

4.0 PLANNING HISTORY OF 3 BENHAM'S PLACE

4.1 The application references are taken from the London Borough of Camden Planning History web site.

8770108

Listed building and Conservation Area consent was granted on 23/03/1987 for the erection of a single-storey rear extension and works of alteration at rear ground floor level as shown on drawings No.135/01 and 02.

9170220, 9101289 & 9101288

Listed building and planning permission were granted on 22/11/1991 for the erection of glazed roof over existing patio at rear ground level as shown on drawing numbers 240/01 and 03. Extension to main roof and insertion of new window to rear elevation as shown on drawing numbers 240/01 and 02.

9170221

Listed building and Conservation Area consent was granted on 22/11/1991 for works of alteration and extension to main roof and insertion of new window to rear elevation as shown on drawing numbers 240/01 and 02

2004/0665/P & 2004/0455/L

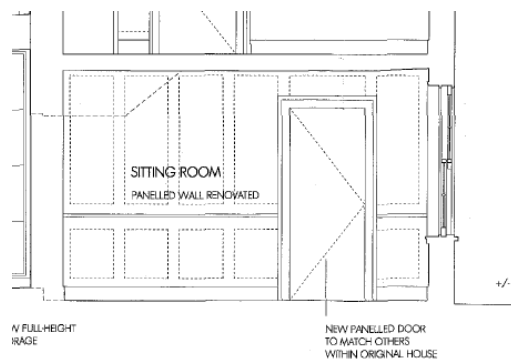
Planning permission and listed building consent were obtained on 26/02/2004 for the Demolition of the existing structure within the rear back yard and its replacement with a new extension with the same floor area and monopitched roof incorporating three rooflights together with some minor internal alterations.

5.0 DESIGN & HISTORICAL IMPACT

NB: This section of the report describes the proposed works and its historical impact and should be read in conjunction with Kerr Parker Associates Limited drawings that accompany the application.

5.1 The Removal of the Existing Stud Partition on the Ground Floor between the Front Reception Room and the Entrance Hallway.

- 5.1.1 The existing timber panelled partition on the ground floor was removed to allow access for the owner's sister who uses a wheelchair. It was removed without seeking listed building consent for its removal. The owner mistakenly believed that as the work was internal it did not require listed building consent.

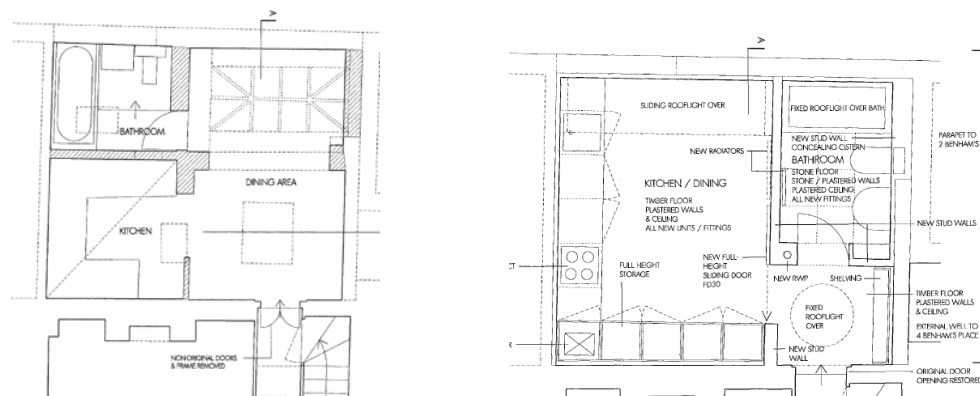


Extracts from Muma's Section Drawing approved under App Ref: 2004/0665/P & 2004/0455/L on 26/02/2004 Showing Existing Panelled Partition at Ground Floor Level and Insertion of a New Panelled Door

- 5.1.2 The owner now accepts that the removal of the partition required listed building approval. The removal of the partition results in an undesirable alteration to the historic floor plan and loss of fabric. Unfortunately, a section of the partition has been disposed of but to rectify matters the current application seeks approval to reinstate a replica of the section of the missing partition to match the original source details of construction on a like for like basis. Details for the proposed replacement panelled partition are shown on drawing number K-2212.03 that forms part of the application. Fortunately, the end sections of the original partition have been retained as has the new four panelled door dating from 2004 and these elements will be incorporated in the reconstruction of the partition.

5.2 The Stripping out of the Bathroom

- 5.2.1 Part of the internal alterations comprise the refitting of sanitaryware to an existing bathroom. The back yard extension is new having been approved on 26/02/2004 and contains no historic original fabric. The present owner is in his 80's and it was proving difficult to access the bath. Hence the existing bath has been changed for a shower tray and glass screen. The WC and wash hand basin have been relocated to allow more room for access. The timber battened walls have been retained and retiled. The below ground drainage remains as existing as does the existing stub stack. The above ground plumbing has been modified to connect to the new sanitaryware. Normally the refitting of sanitaryware to a bathroom would not require listed building consent.



Extracts from Muma's Existing and Proposed Plans approved under App Ref: 2004/0665/P & 2004/0455/L on 26/02/2004 Showing Demolition of Existing Rear Extension to Back Yard at Ground Floor Level and Construction of a New Extension

5.3 The Repaving of the Front Patio with Stone Slabs and the Alleged Alterations to Fencing with Areas Significantly Raised along the Passage and the Removal of all Vegetation

This work is described in more detail under 'Landscape' below.

6.0 **LANDSCAPE**

- 6.1 The small front garden that gives access to a pedestrian footpath has been repaved with natural riven stone. Marketstone is a range of hand cut, responsibly sourced natural sandstone that has a similar appearance to York Stone; autumn multi has earthy tones throughout. The stone is newly laid and has yet to weather down. There is a variety of finishes to the front gardens of

the adjoining properties where each party has made a personal selection of materials and planting. None of the gardens is the same. Indeed, some areas are excavated to form lightwells for basement rooms, some are planted, some have gravel and some have stone of varying types and finishes. This is consistent with the norm and variety found in how owners treat their private garden spaces. This is to be expected in an urban environment and none of these detract from the setting of the listed buildings. Indeed, the variety enhances and humanises the setting of the listed terrace.



Supplier's Specification for Natural Stone Laid to Front Patio

6.2 The railway sleepers that formed the boundary with the adjoining property at 2 Benham's Place have been replaced with a small dwarf brick wall limited in height and lower than the existing brick wall that forms the boundary with the common pedestrian path. The brick boundary wall to the footpath remains unaltered.

6.3 The existing vegetation to the garden has been removed but it comprised sparse low-level planting of poor quality. The front garden is a work in progress and planters are in the process of being installed which will soften the paving and enhance the overall appearance of the garden.

7.0 USE

7.1 The use of the terrace house as a single-family dwelling remains unaltered.

8.0 SIZE AND LAYOUT OF ACCOMMODATION

8.1 The dwelling forms part of a terrace of 9 Regency houses. The houses are single family dwellings, modest in size. A few of the houses have basements. All of the houses have small front gardens that have been landscaped in a variety of styles and treatments. The size and layout of the accommodation is unaltered and remains as existing.

9.0 ACCESS

- 9.1 Benham's Place is a terrace of 9 houses accessed via a pedestrian footpath from Holly Walk. There is no vehicular access to the houses. Holly Walk is a narrow road with limited parking facilities. However, Hampstead, Finchley Road, Belsize Park and West Hampstead Stations are all located under one mile from the property with Hampstead Station being the closest at 0.1 miles distance. Hampstead itself is served by several major bus routes with easy access into the centre of London

10.0 CONCLUSION

- 10.1 The owner regrets that some work was carried out without seeking listed building consent and this application seeks to remedy the alleged breach of planning. It is intended to reconstruct a replica of the missing section of panelling on the ground floor so that the historic floor plan form is restored and the special interest is maintained. The refitting of the sanitaryware to the bathroom is in part of the building that was constructed after 2004 and hence contains no historic fabric. The works to the front garden reflects the variety of treatment of the other gardens in the terrace. The works do not give rise to any adverse impact upon the neighbours' amenity or on the setting of the listed buildings. The effect of the proposed works to the front garden on the heritage significance is neutral. We trust that the Camden Council will have no difficulty approving the application as submitted.