



Existing GA Elevation - Facade Elevation
1 : 50



Key Notes - General Arrangement

- 1 Single Bedroom
- 2 Double Bedroom
- 3 Bathroom
- 4 Ensuite
- 5 Storage/Utility
- 6 Entrance Lobby with fully glazed wall and door with painted timber frames
- 7 Hallway
- 8 Terrace
- 9 Kitchen
- 10 Living Room
- 11 Powder coated aluminium brise soleil
- 12 Single ply membrane flat roof to new entrance lobby
- 13 Increase window structural opening. Replace window with good quality painted timber sash window to match existing.
- 14 High quality external porcelain tiles
- 15 New high quality painted timber casement window in enlarged opening
- 16 Infill existing door opening and install new high quality powder coated aluminium window
- 17 All front elevation windows are to be retained and reglazed with slimline double glazed units in existing sashes
- 18 Retain and relocate existing lower ground floor high quality timber casement window to upper ground level. Window to be obscure glazed and non-opening.

P06 14/10/22 Revised for Planning. Additional Details of all proposed windows and doors

STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				DO
Audrey & Jonathan Stevens				CHECKED BY
				SC
ORIGINATOR NO				1214.1

CONSULTANT

E2 E2 Architecture+Interiors
27 Holywell Row
London
EC2A 4JB
02071882285
studio@e2architecture.com

PROJECT

Buckland Crescent
29 Buckland Crescent
Belsize Park, London
NW3 5DJ

DRAWING TITLE

Existing GA Elevation - Facade Elevation

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 50 @ A2
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
1214.1-E2-0023	P06

▼ +132.813
Ridge Level

▼ +130.248
Eaves Level

▼ +127.148
Second Floor Level

▼ +123.598
First Floor Level

▼ +120.098
Upper Ground Floor Level

▼ +117.448
Lower Ground Floor Level

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[STATUS]	REV	DATE	[DESCRIPTION]	REVISED BY
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CLIENT				DO
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Proposed GA Elevation - Facade Elevation

SUITABILITY STATUS

PL : PLANNING

SCALE

1 : 50 @ A2

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASSIFICATION | NUMBER

1214.1-E2-0123

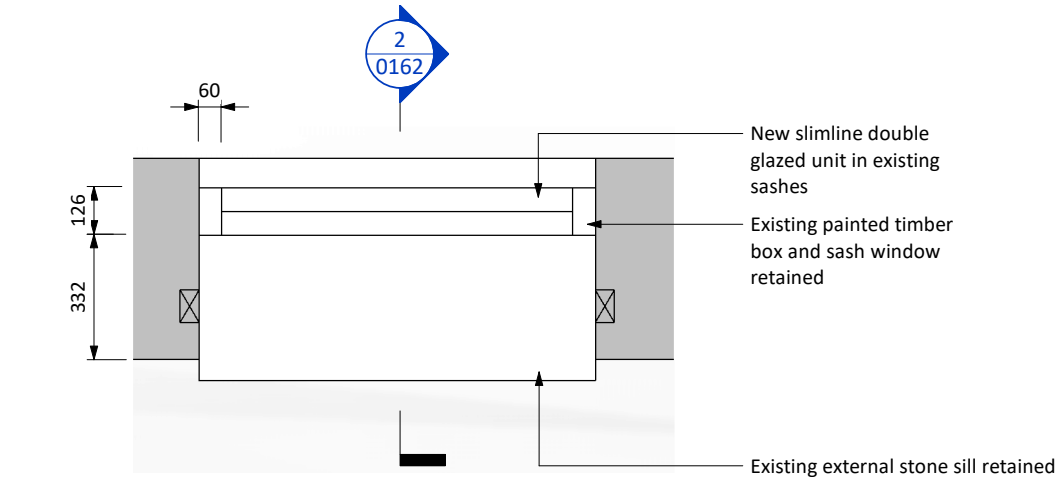
REVISION

P06

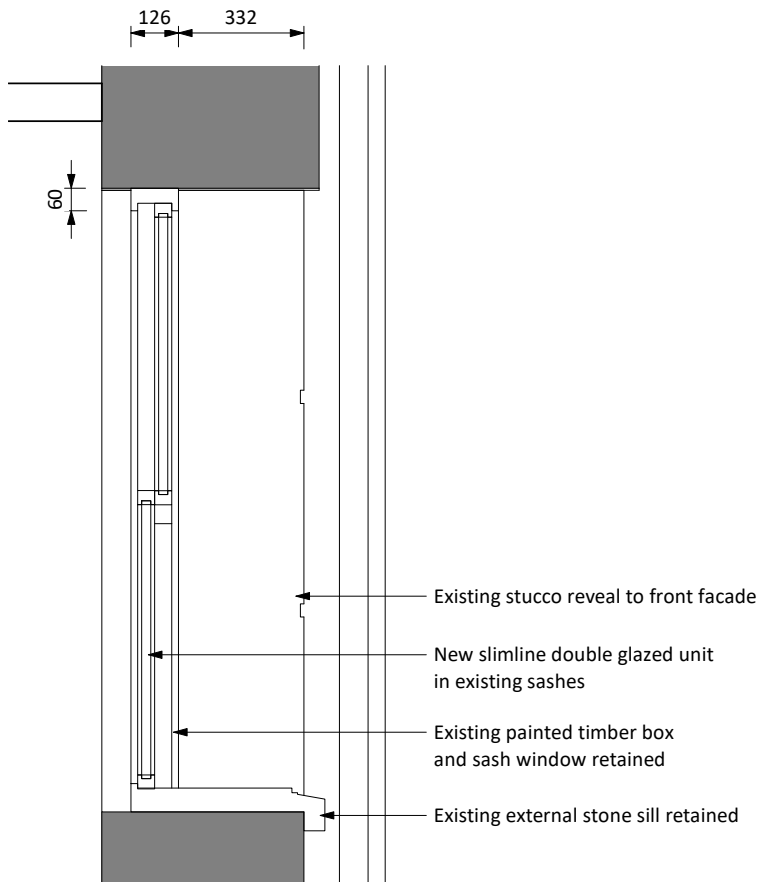
Proposed GA Elevation - Facade Elevation

1 : 50

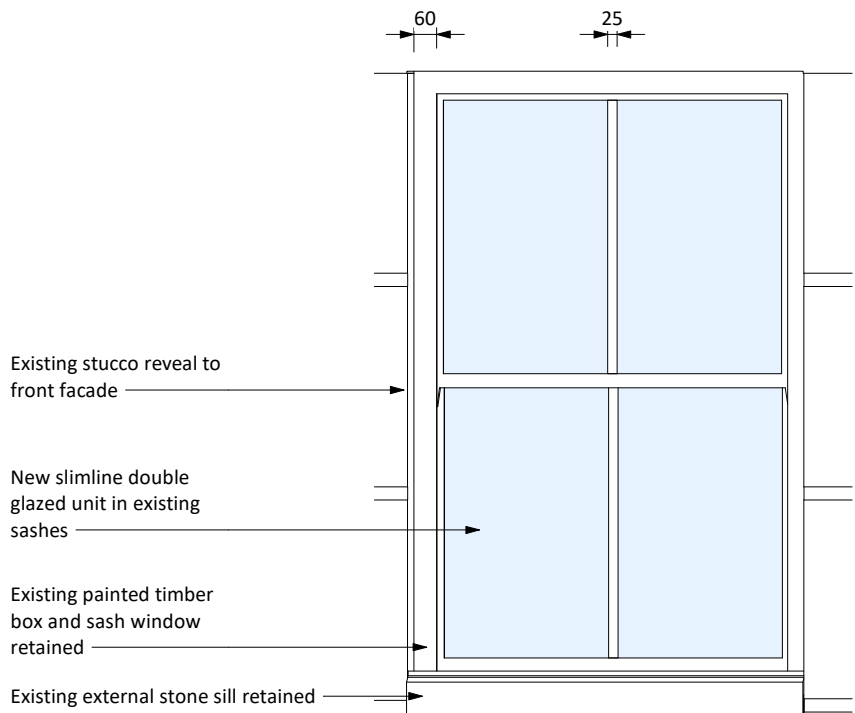
0 5m



1 Proposed - Lower Ground Floor Timber Sash Window - Jamb Detail
1 : 20



2 Proposed - Lower Ground Floor Timber Sash Window - Head and Sill Detail
1 : 20



3 Proposed - Lower Ground Floor Timber Sash Window - Elevation Detail
1 : 20

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Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.

0mm 50mm

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CLIENT	REVISED BY
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Audrey & Jonathan Stevens DO

CHECKED BY	SC
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ORIGINATOR NO	1214.1
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PROJECT

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NW3 5DJ

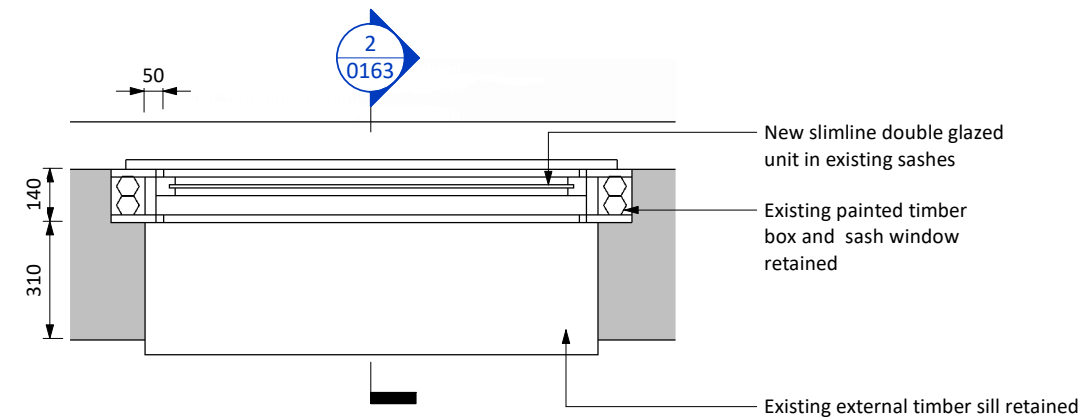
DRAWING TITLE

Proposed GA Detail - LGF - Reglazed Painted
Timber Sash Window Detail

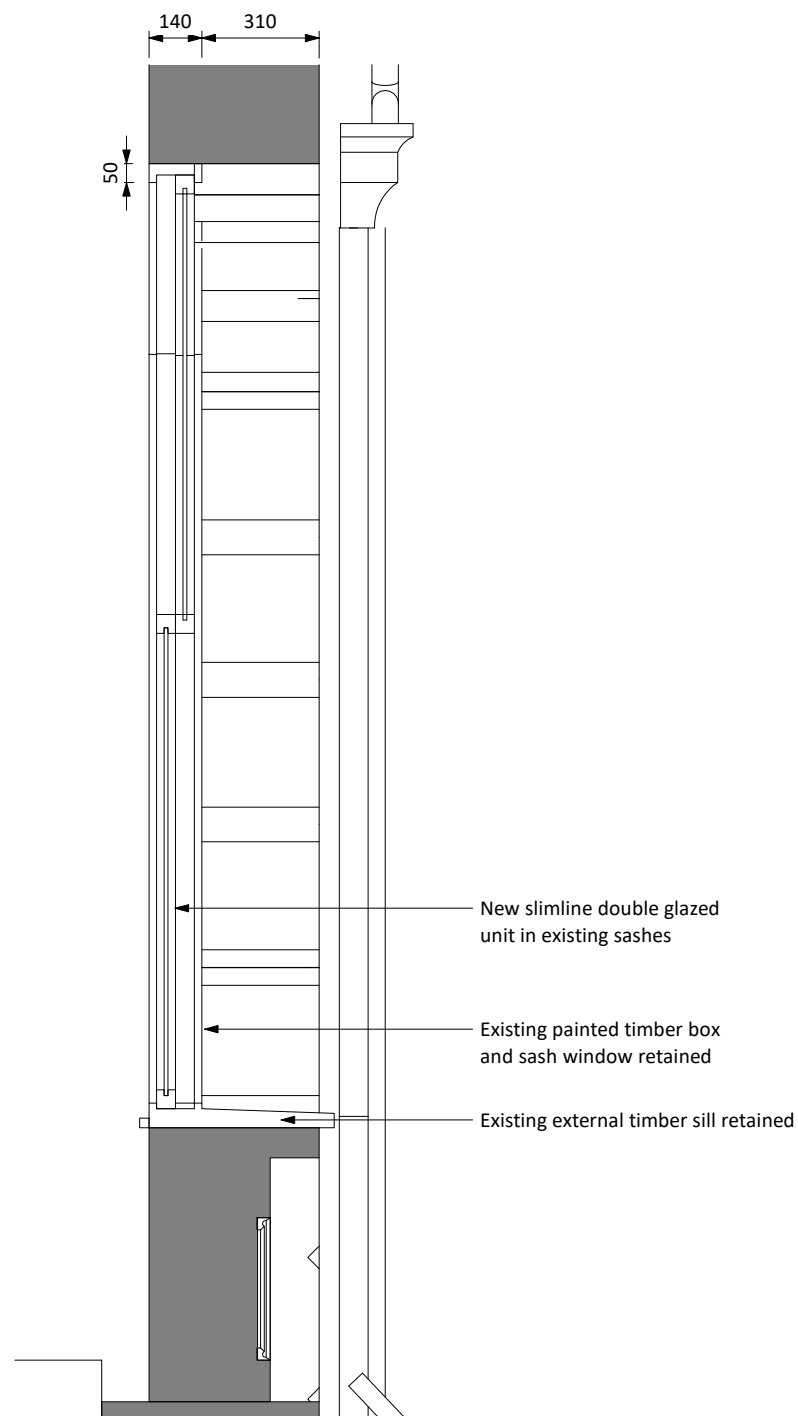
SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 20 @ A3

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
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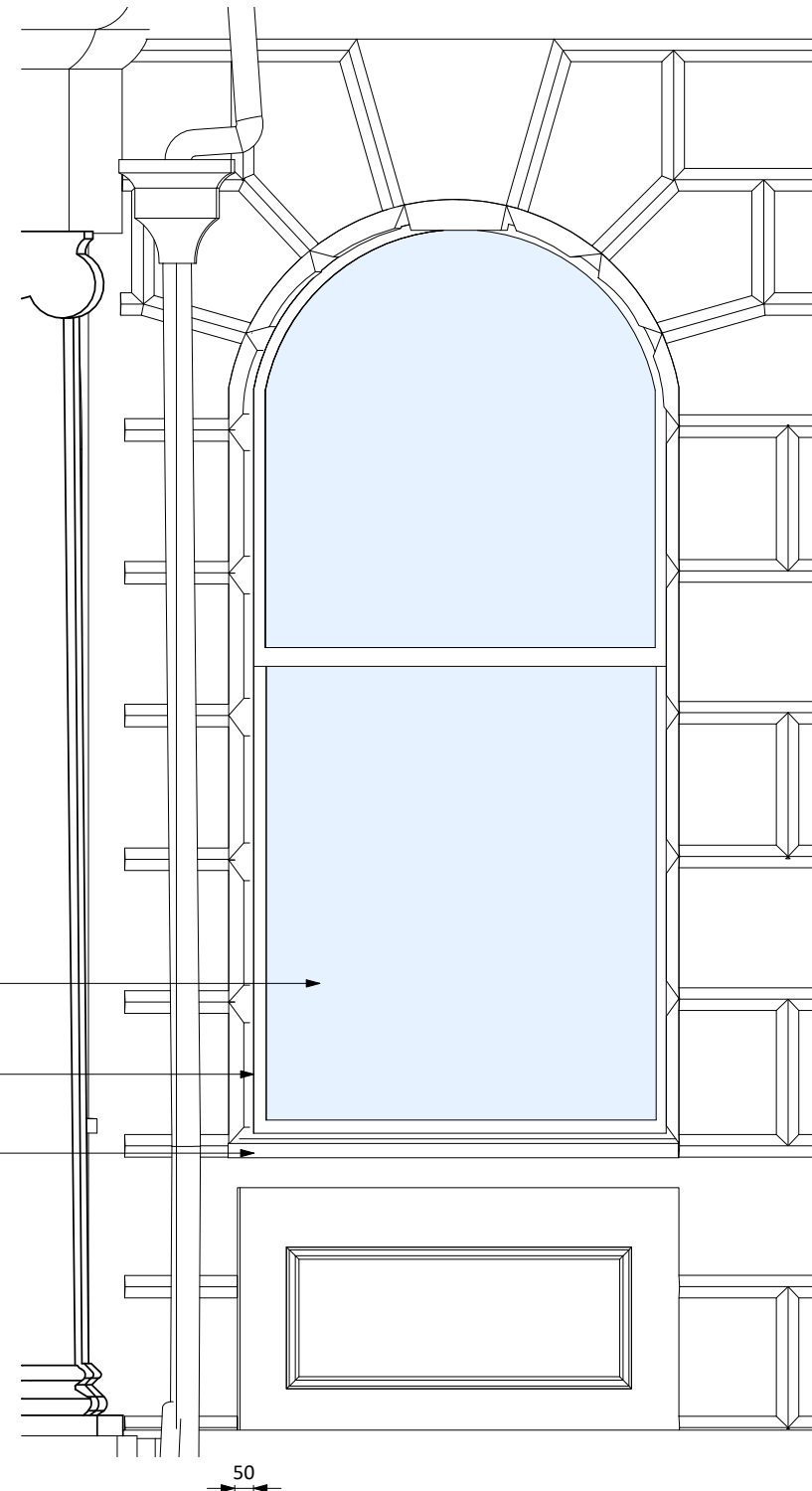
1214.1-E2-0162 P06



1 Proposed - Upper Ground Floor Timber Sash Window - Jamb Detail
1 : 20



2 Proposed - Upper Ground Floor Timber Sash Window - Head and Sill Detail
1 : 20



3 Proposed - Upper Ground Floor Timber Sash Window - Elevation Detail
1 : 20

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0mm 50mm

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DRAWING TITLE

Proposed GA Detail - UGF - Reglazed Painted Timber Sash Window Detail

SUITABILITY STATUS
PL : PLANNING

SCALE
1 : 20 @ A3

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASSIFICATION | NUMBER

REVISION

1214.1-E2-0163

P06

Key Notes - General Arrangement

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PROJECT

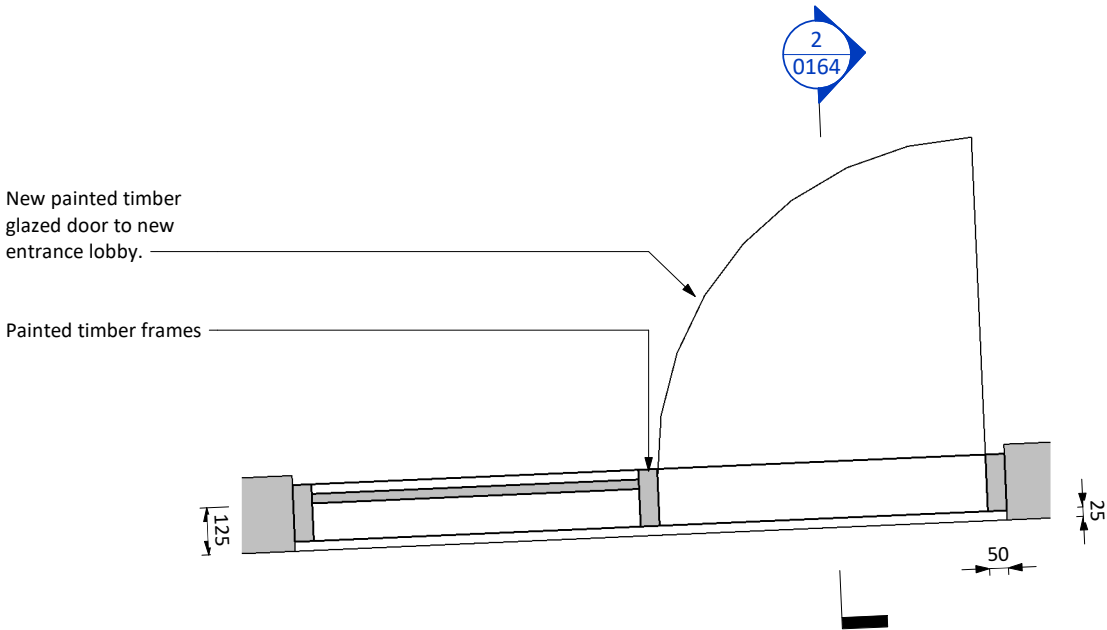
Buckland Crescent
29 Buckland Crescent
Belsize Park, London
NW3 5DJ

DRAWING TITLE

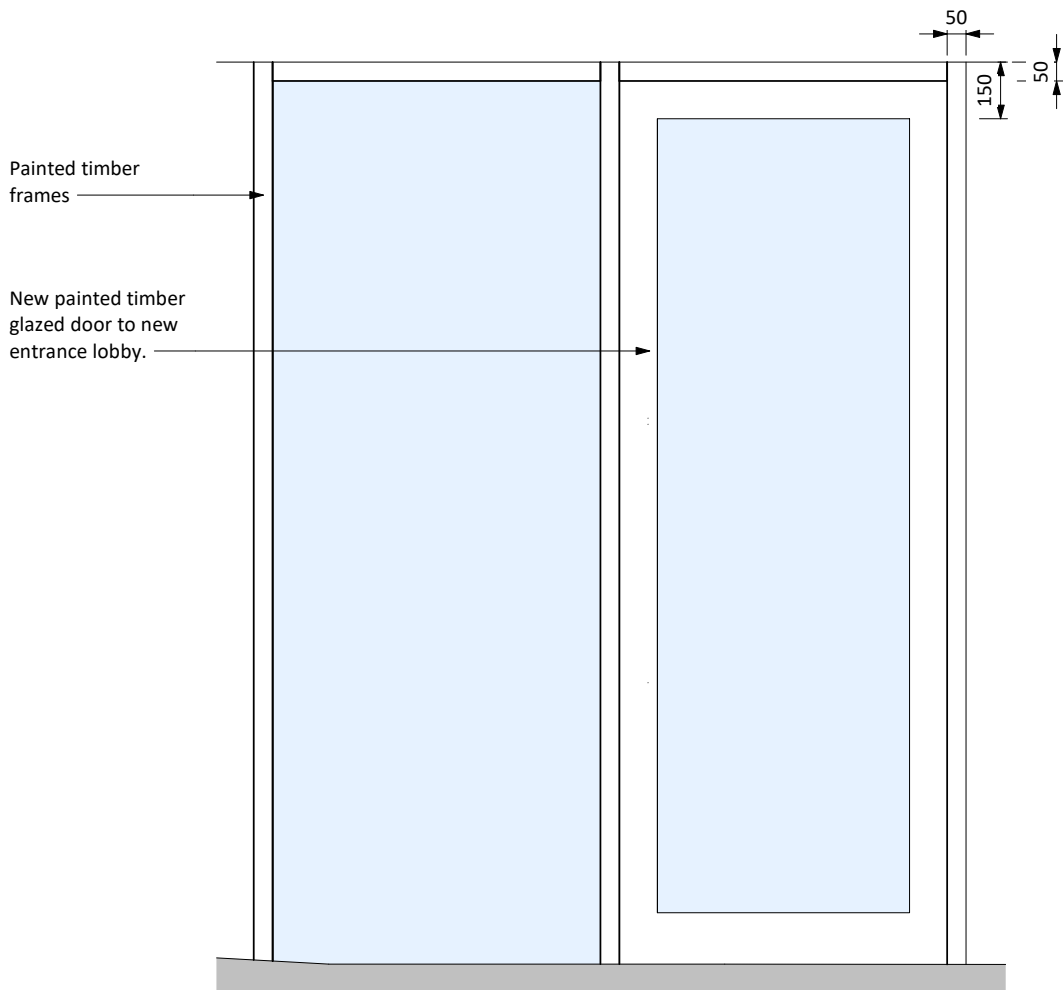
Proposed GA Detail - LGF - New Painted Timber Glazed Door Detail

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 20 @ A3

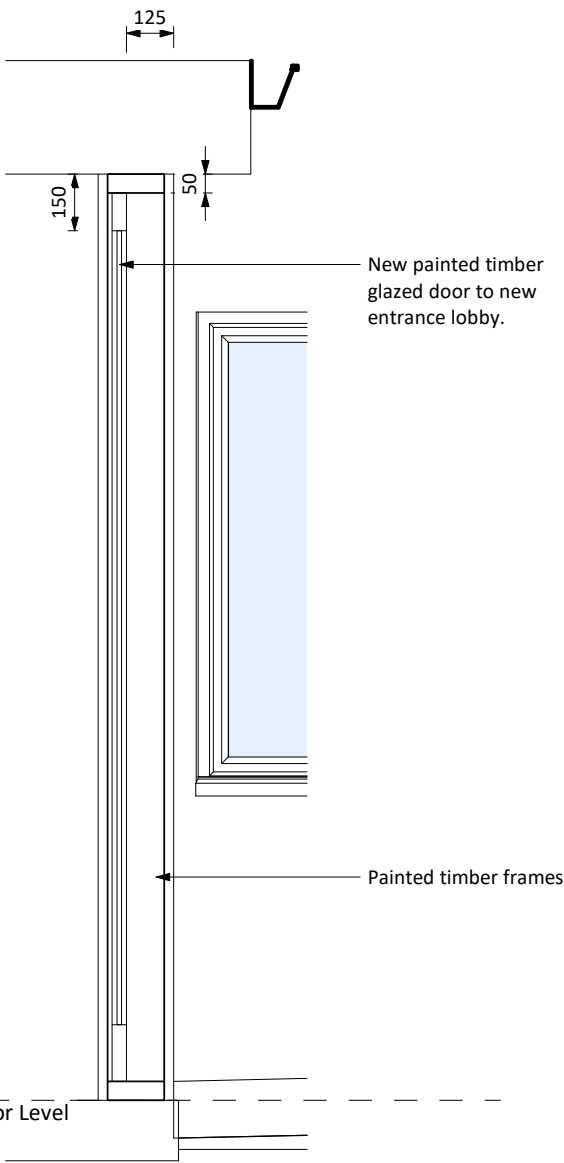
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
1214.1-E2-0164	P06



1 Proposed - Lower Ground Floor Painted Timber Glazed Door - Jamb Detail
1 : 20



3 Proposed - Lower Ground Floor Painted Timber Glazed Door - Elevation Detail
1 : 20



2 Proposed - Lower Ground Floor Painted Timber Glazed Door - Head and Threshold Detail
1 : 20