

Key Plan Scale 1:250	
Legend: Existing Key	
	Existing roof tiles
Legend: Proposed Key	
	Light stone paving
	Porcelain tiles
	Mosaic tile
	Carpet
General Notes:	
1. Existing brickwork to be re-pointed and repaired throughout.	
2. Retain and refurbish all existing window boxes, architraves and shutters.	
3. All original skirtings to be carefully removed, refurbished and reinstated.	
4. All cornices to be refurbished and repaired where necessary.	
5. All existing walls and ceilings to be locally re-skimmed and painted where required.	
6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.	
Floor Bulkheads	
FLOOR 1: Specified floor finish on existing structural slab.	
FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.	
Proposed Notes:	
01	Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.
02	Proposed terrace.
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing staircase and balustrade to be refurbished and redecorated.
07	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 5 configuration.
08	Proposed minimal frame fixed aluminium window.
09	Proposed minimal frame aluminium casement doors.
10	Proposed built in joinery.
11	Existing fire surround and hearth to be refurbished and redecorated.
12	Proposed column radiator.
13	Replace existing mosaic floor finish with new stone stone steps and landing.
14	Existing metal gate & railings to be refurbished and redecorated.
15	Existing opening to be infilled with a fixed traditional door. To be visible from hallway.
16	Metal staircase to be replaced.
17	Proposed floor opening with new timber balustrade.
18	Proposed roof infill for existing rooflights.
19	Infill partition. Wall build up to match adjacent wall.
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed Basement Floor Plan

Drawing No. P_1999 Rev.

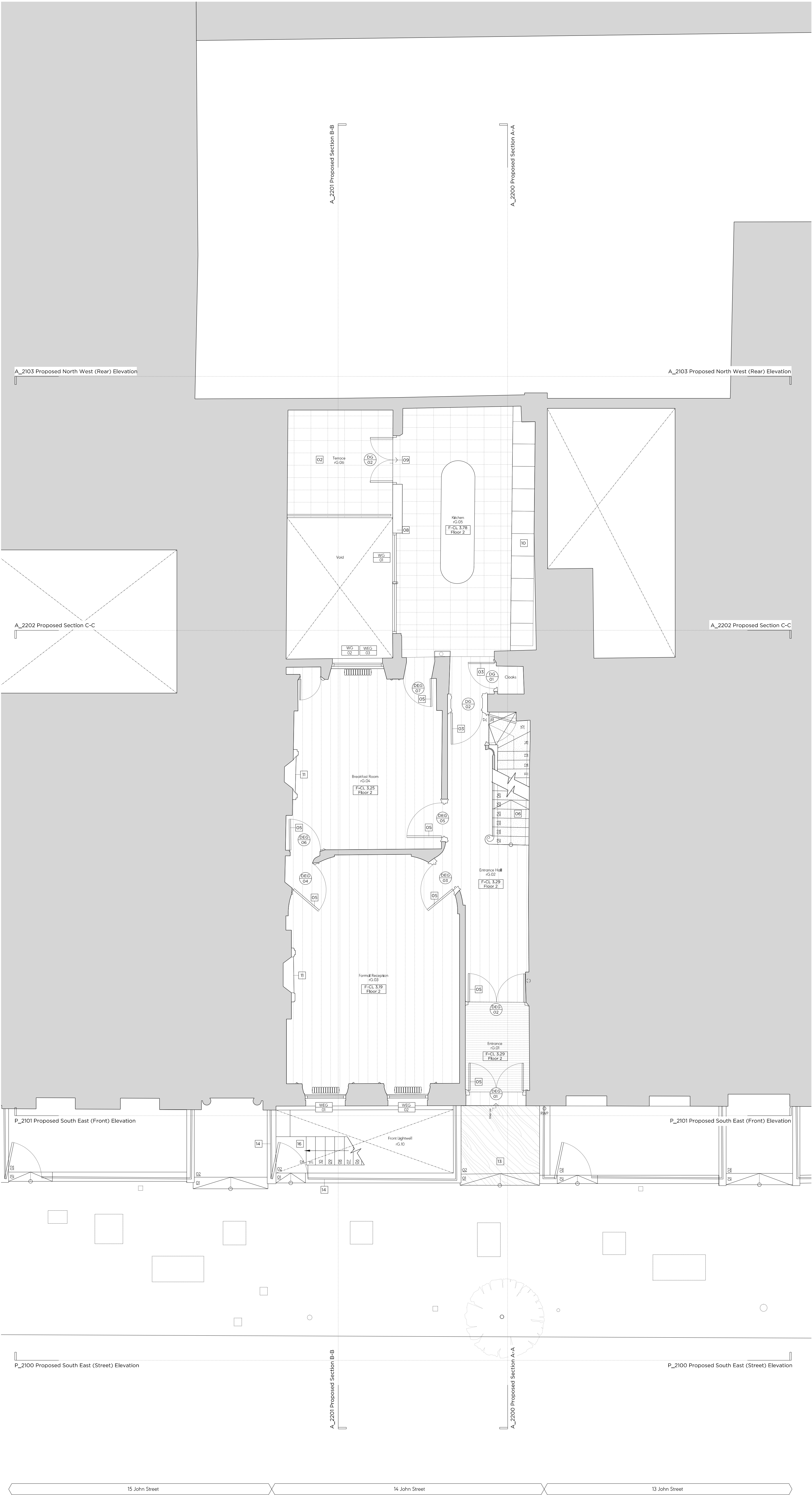
Drawn AA Approved PB Signed MW

Marek Wojciechowski Architects

66-68 Margaret Street WTM BSR T: 020 7580 9336 www.mwa.co.uk

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N



Key Plan Scale 1:250

Legend: Existing Key

Existing structure / earth

Existing roof tiles

Legend: Proposed Key

New structure

Light stone paving

Timber floor

Porcelain tiles

Natural stone

Mosaic tile

Car matting

Carpet

General Notes:

1. Existing brickwork to be re-pointed and repaired throughout.

2. Retain and refurbish all existing window boxes, architraves and shutters.

3. All original skirtings to be carefully removed, refurbished and reinstated.

4. All cornices to be refurbished and repaired where necessary.

5. All existing walls and ceilings to be locally re-skimmed and painted where required.

6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Bulkheads

FLOOR 1: Specified floor finish on existing structural slab.

FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01 Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.

02 Proposed terrace.

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Existing staircase and balustrade to be refurbished and redecorated.

07 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 5 configuration.

08 Proposed minimal frame fixed aluminium window.

09 Proposed minimal frame aluminium casement doors.

10 Proposed built in joinery.

11 Existing fire surround and hearth to be refurbished and redecorated.

12 Proposed column radiator.

13 Replace existing mosaic floor finish with new stone stone steps and landing.

14 Existing metal gate & railings to be refurbished and redecorated.

15 Existing opening to be infilled with a fixed traditional door. To be visible from hallway.

16 Metal staircase to be replaced.

17 Proposed floor opening with new timber balustrade.

18 Proposed roof infill for existing rooflights.

19 Infill partition. Wall build up to match adjacent wall.

20 Proposed shower tray over existing floor boards.

21 Partition wall reinstated in original location.

22 New partition wall.

23 Proposed bi-folding frosted glass screen to window.

24 Existing sash windows to be retained and refurbished.

25 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.

26 All roof flashings to be replaced.

27 Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.

28 Rainwater pipes and gutters to be replaced with heritage cast iron fittings.

29 Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

30 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.

31 New conservation rooflight.

32 New (newton 500) tanking system to pavement vault.

33 New rooflight to replace existing.

34 Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

First Issue15/07/22Issued for Planning

PLANNING

Project No.21002

ClientJ & B Ashley Ltd. / Anthony Osoff

DateJuly 2022

Scale1:100 @ A3 / 1:50 @ A1

Project14 John Street

Drawing Title:Proposed Ground Floor Plan

Drawing No.P_2000Rev.

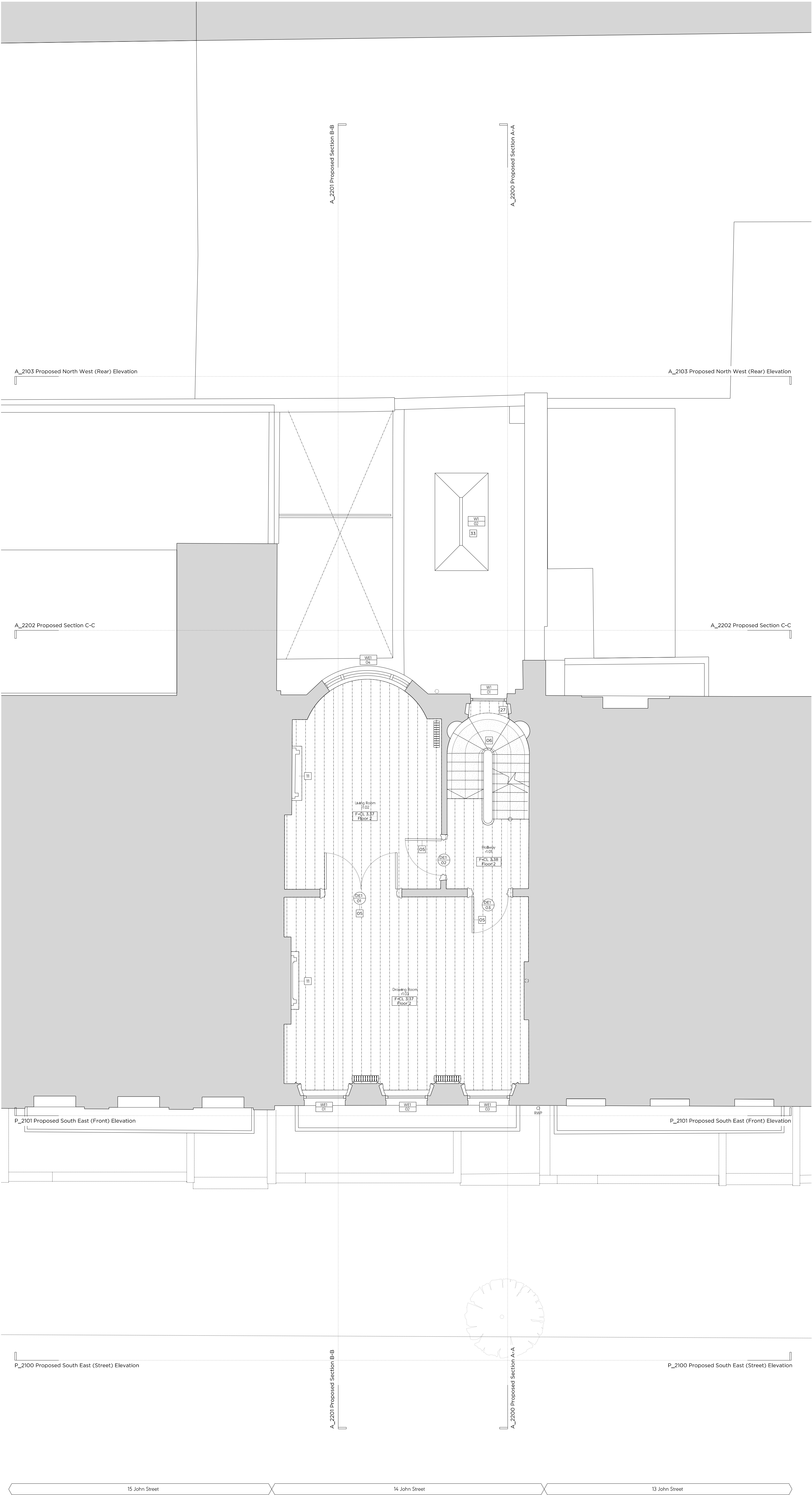
DrawnAAApprovedPBSignedMW

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N



Key Plan Scale 1:250

Legend: Existing Key

Existing structure / earth	Existing roof tiles
----------------------------	---------------------

Legend: Proposed Key

New structure	Light stone paving
Timber floor	Porcelain tiles
Natural stone	Mosaic tile
Color matting	Carpet

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated.
- All cornices to be refurbished and repaired where necessary.
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Bulkheads

FLOOR 1: Specified floor finish on existing structural slab.

FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01	Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.
02	Proposed terrace.
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing staircase and balustrade to be refurbished and redecorated.
07	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 6 configuration.
08	Proposed minimal frame fixed aluminium window.
09	Proposed minimal frame aluminium casement doors.
10	Proposed built in joinery.
11	Existing fire surround and hearth to be refurbished and redecorated.
12	Proposed column radiator.
13	Replace existing mosaic floor finish with new stone stone steps and landing.
14	Existing metal gate & railings to be refurbished and redecorated.
15	Existing opening to be infilled with a fixed traditional door. To be visible from hallway.
16	Metal staircase to be replaced.
17	Proposed floor opening with new timber balustrade.
18	Proposed roof infill for existing rooflights.
19	Infill partition. Wall build up to match adjacent wall.
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed First Floor Plan

Drawing No. P_2001 Rev.

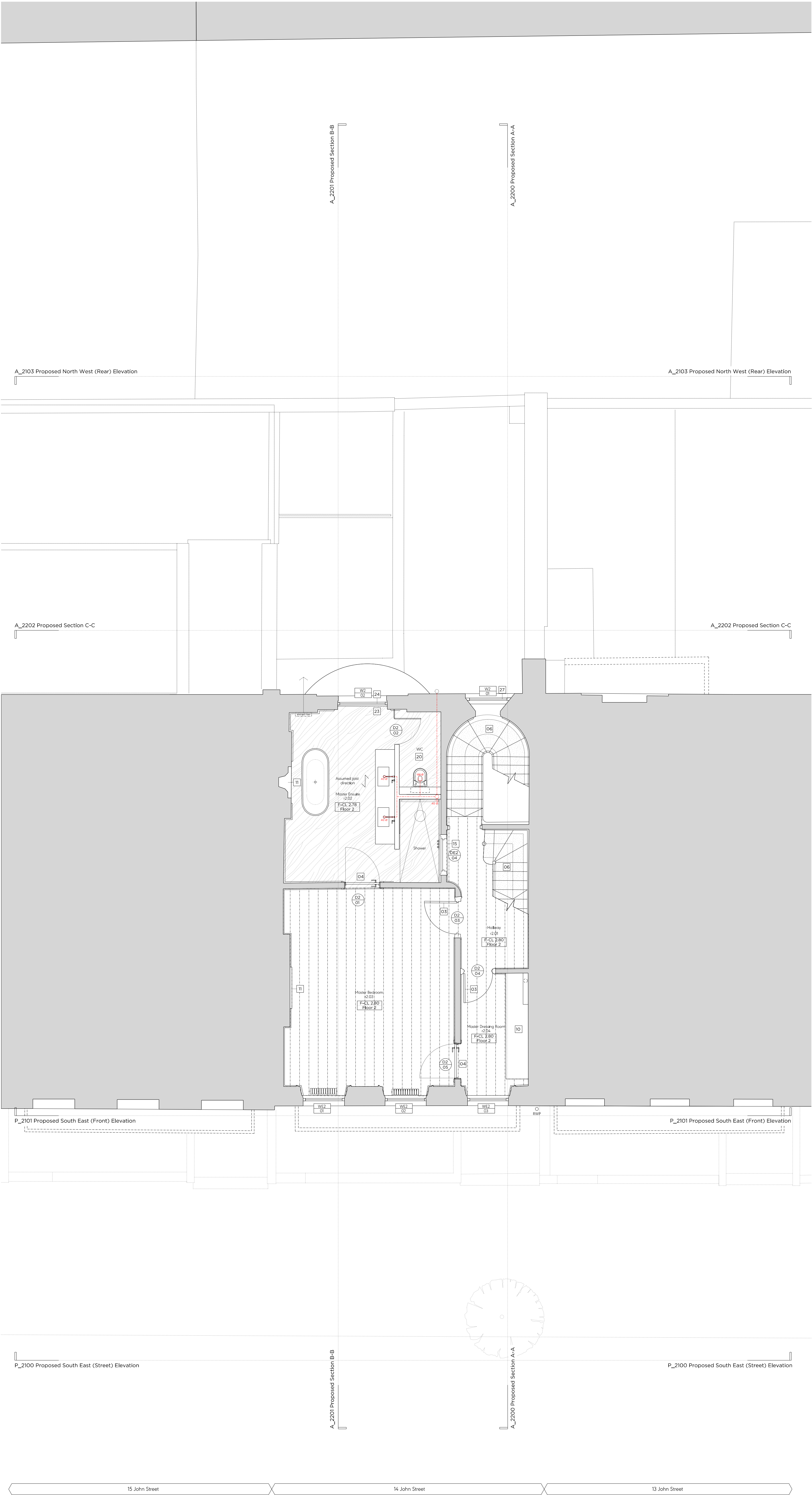
Drawn AA Approved PB Signed MW

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N



Key Plan Scale 1:250

Legend: Existing Key

Existing structure / earth

Existing roof tiles

Legend: Proposed Key

New structure

Light stone paving

Timber floor

Porcelain tiles

Natural stone

Mosaic tile

Carpet matting

Carpet

General Notes:

1. Existing brickwork to be re-pointed and repaired throughout.

2. Retain and refurbish all existing window boxes, architraves and shutters.

3. All original skirtings to be carefully removed, refurbished and reinstated.

4. All cornices to be refurbished and repaired where necessary.

5. All existing walls and ceilings to be locally re-skimmed and painted where required.

6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Bulkheads

FLOOR 1: Specified floor finish on existing structural slab.

FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01 Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.

02 Proposed terrace.

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Existing staircase and balustrade to be refurbished and redecorated.

07 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 6 configuration.

08 Proposed minimal frame fixed aluminium window.

09 Proposed minimal frame aluminium casement doors.

10 Proposed built in joinery.

11 Existing fire surround and hearth to be refurbished and redecorated.

12 Proposed column radiator.

13 Replace existing mosaic floor finish with new stone stone steps and landing.

14 Existing metal gate & railings to be refurbished and redecorated.

15 Existing opening to be infilled with a fixed traditional door. To be visible from hallway.

16 Metal staircase to be replaced.

17 Proposed floor opening with new timber balustrade.

18 Proposed roof infill for existing rooflights.

19 Infill partition. Wall build up to match adjacent wall.

20 Proposed shower tray over existing floor boards.

21 Partition wall reinstated in original location.

22 New partition wall.

23 Proposed bi-folding frosted glass screen to window.

24 Existing sash windows to be retained and refurbished.

25 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.

26 All roof flashings to be replaced.

27 Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.

28 Rainwater pipes and gutters to be replaced with heritage cast iron fittings.

29 Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

30 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.

31 New conservation rooflight.

32 New (newton 500) tanking system to pavement vault.

33 New rooflight to replace existing.

34 Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

First Issue

15/07/22

Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed Second Floor Plan

Drawing No. P_2002

Drawn AA Approved PB Signed MW

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N



Key Plan Scale 1:250

Legend: Existing Key

Existing structure / earth

Existing roof tiles

Legend: Proposed Key

New structure

Timber floor

Natural stone

Colt matting

Light stone paving

Porcelain tiles

Mosaic tile

Carpet

General Notes:

1. Existing brickwork to be re-pointed and repaired throughout.

2. Retain and refurbish all existing window boxes, architraves and shutters.

3. All original skirtings to be carefully removed, refurbished and reinstated.

4. All cornices to be refurbished and repaired where necessary.

5. All existing walls and ceilings to be locally re-skimmed and painted where required.

6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Bulkheads

FLOOR 1: Specified floor finish on existing structural slab.

FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01 Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.

02 Proposed terrace.

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Existing staircase and balustrade to be refurbished and redecorated.

07 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 6 configuration.

08 Proposed minimal frame fixed aluminium window.

09 Proposed minimal frame aluminium casement doors.

10 Proposed built in joinery.

11 Existing fire surround and hearth to be refurbished and redecorated.

12 Proposed column radiator.

13 Replace existing mosaic floor finish with new stone stone steps and landing.

14 Existing metal gate & railings to be refurbished and redecorated.

15 Existing opening to be infilled with a fixed traditional door. To be visible from hallway.

16 Metal staircase to be replaced.

17 Proposed floor opening with new timber balustrade.

18 Proposed roof infill for existing rooflights.

19 Infill partition. Wall build up to match adjacent wall.

20 Proposed shower tray over existing floor boards.

21 Partition wall reinstated in original location.

22 New partition wall.

23 Proposed bi-folding frosted glass screen to window.

24 Existing sash windows to be retained and refurbished.

25 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.

26 All roof flashings to be replaced.

27 Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.

28 Rainwater pipes and gutters to be replaced with heritage cast iron fittings.

29 Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

30 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.

31 New conservation rooflight.

32 New (newton 500) tanking system to pavement vault.

33 New rooflight to replace existing.

34 Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

First Issue15/07/22Issued for Planning

PLANNING

Project No.21002

ClientJ & B Ashley Ltd. / Anthony Osoff

DateJuly 2022

Scale1:100 @ A3 / 1:50 @ A1

Project14 John Street

Drawing Title:Proposed Third Floor Plan

Drawing No.P_2003Rev.

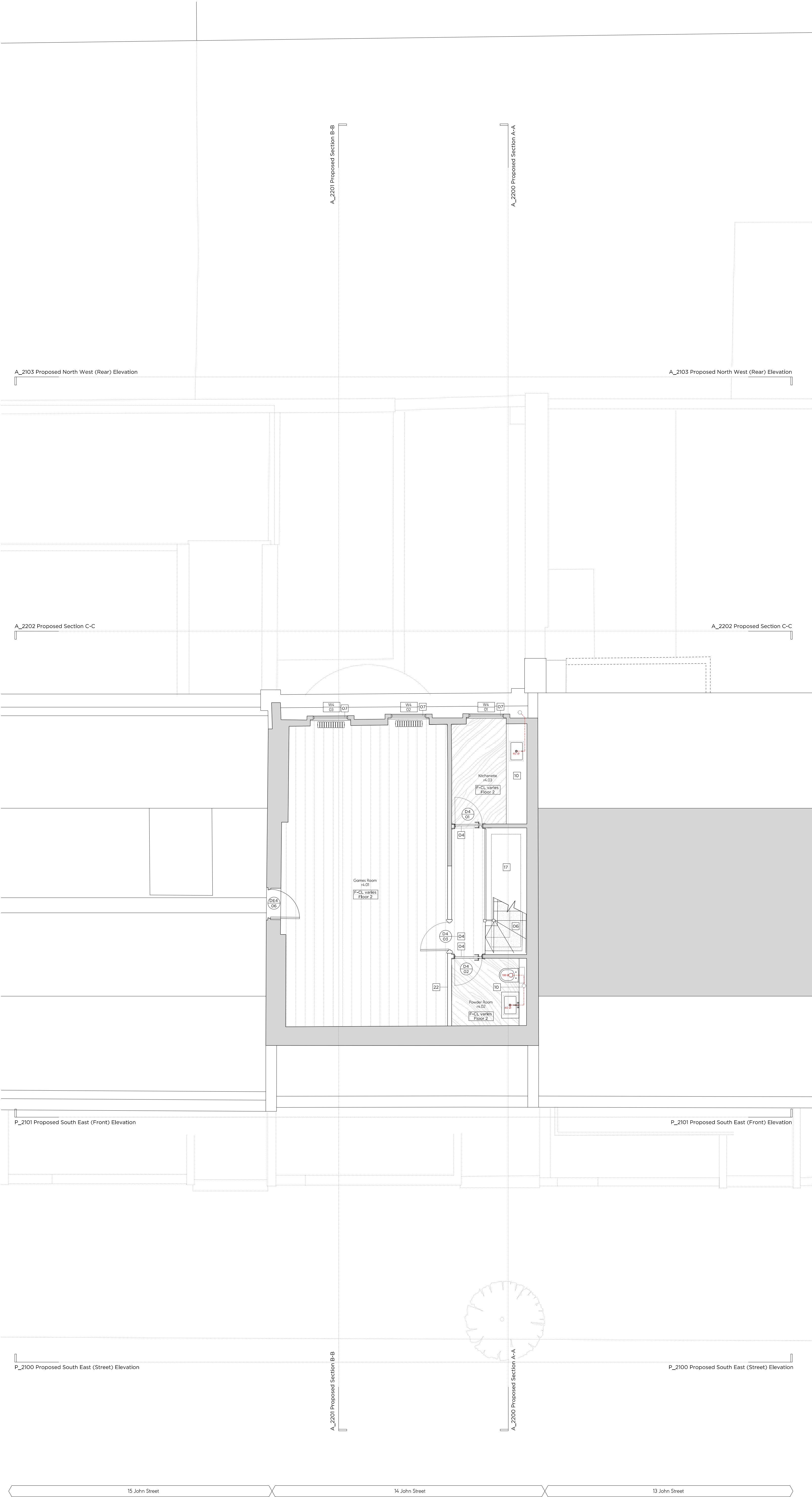
DrawnAAApprovedPBSignedMW

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N



Key Plan Scale 1:250	
Legend: Existing Key	
	Existing roof tiles
Legend: Proposed Key	
	Light stone paving
	Porcelain tiles
	Mosaic tile
	Carpet
General Notes:	
1. Existing brickwork to be re-pointed and repaired throughout.	
2. Retain and refurbish all existing window boxes, architraves and shutters.	
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5. All existing walls and ceilings to be locally re-skimmed and painted where required.	
6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.	
Floor Bulkheads	
FLOOR 1: Specified floor finish on existing structural slab.	
FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.	
Proposed Notes:	
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02	Proposed terrace.
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
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06	Existing staircase and balustrade to be refurbished and redecorated.
07	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 6 configuration.
08	Proposed minimal frame fixed aluminium window.
09	Proposed minimal frame aluminium casement doors.
10	Proposed built in joinery.
11	Existing fire surround and hearth to be refurbished and redecorated.
12	Proposed column radiator.
13	Replace existing mosaic floor finish with new stone stone steps and landing.
14	Existing metal gate & railings to be refurbished and redecorated.
15	Existing opening to be infilled with a fixed traditional door. To be visible from hallway.
16	Metal staircase to be replaced.
17	Proposed floor opening with new timber balustrade.
18	Proposed roof infill for existing rooflights.
19	Infill partition. Wall build up to match adjacent wall.
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed Fourth Floor Plan

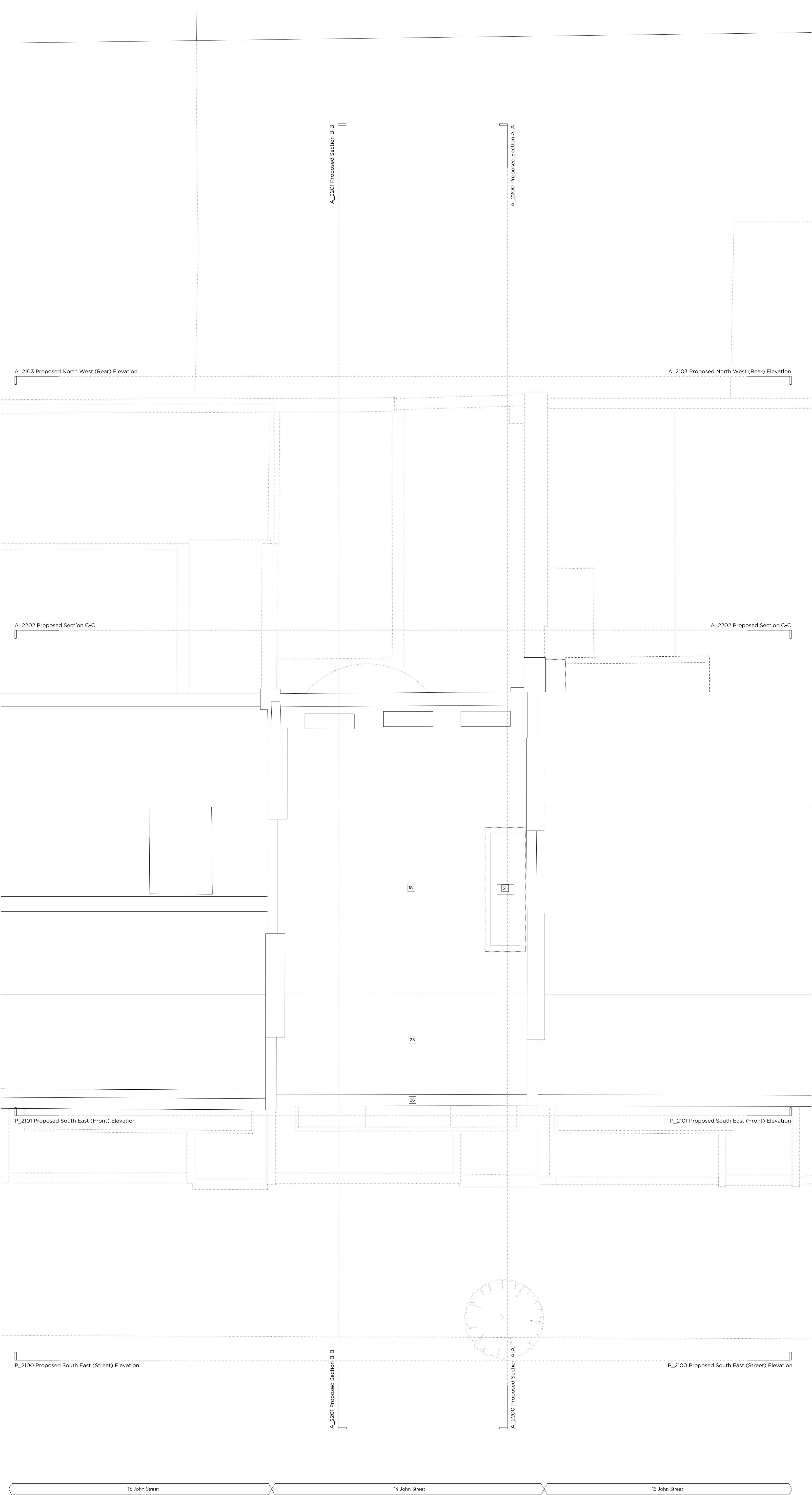
Drawing No. P_2004 Rev.

Drawn AA Approved PB Signed MW

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Key Plan Scale 1:250

Legend: Existing Key

Existing structure / earth

Existing roof tiles

Legend: Proposed Key

New structure

Timber floor

Natural stone

Colt matting

Light stone paving

Porcelain tiles

Mosaic tile

Carpet

General Notes:

1. Existing brickwork to be re-pointed and repaired throughout.

2. Retain and refurbish all existing window boxes, architraves and shutters.

3. All original skirtings to be carefully removed, refurbished and reinstated.

4. All cornices to be refurbished and repaired where necessary.

5. All existing walls and ceilings to be locally re-skimmed and painted where required.

6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Bulkheads

FLOOR 1: Specified floor finish on existing structural slab.

FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01 Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.

02 Proposed terrace.

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Existing staircase and balustrade to be refurbished and redecorated.

07 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 6 configuration.

08 Proposed minimal frame fixed aluminium window.

09 Proposed minimal frame aluminium casement doors.

10 Proposed built in joinery.

11 Existing fire surround and hearth to be refurbished and redecorated.

12 Proposed column radiator.

13 Replace existing mosaic floor finish with new stone stone steps and landing.

14 Existing metal gate & railings to be refurbished and redecorated.

15 Existing opening to be infilled with a fixed traditional door. To be visible from hallway.

16 Metal staircase to be replaced.

17 Proposed floor opening with new timber balustrade.

18 Proposed roof infill for existing rooflights.

19 Infill partition. Wall build up to match adjacent wall.

20 Proposed shower tray over existing floor boards.

21 Partition wall reinstated in original location.

22 New partition wall.

23 Proposed bi-folding frosted glass screen to window.

24 Existing sash windows to be retained and refurbished.

25 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.

26 All roof flashings to be replaced.

27 Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.

28 Rainwater pipes and gutters to be replaced with heritage cast iron fittings.

29 Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

30 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.

31 New conservation rooflight.

32 New (newton 500) tanking system to pavement vault.

33 New rooflight to replace existing.

34 Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

First Issue

15/07/22

Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed Roof Plan

Drawing No. P_2005

Rev.

Drawn AA Approved PB Signed MW

Marek Wojciechowski Architects

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N

Proposed Ridge Level
38.48m

Proposed Fourth Floor FFL
35.75m

Proposed Third Floor FFL
33.02m

Proposed Second Floor FFL
29.84m

Proposed First Floor FFL
26.09m

Proposed Ground Floor FFL
22.42m

Proposed Basement FFL
19.42m



Proposed Notes Cont.	
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

Rev. Plan, Scale 1:250

Legend:

Existing structure / earth

Existing roof tiles

New brickwork to match existing

Proposed structure

Existing external painted stucco render

Existing brick

General Notes:

1. Existing brickwork to be re-pointed and repaired throughout.

2. Retain and refurbish all existing window boxes, architraves and shutters.

3. All original skirtings to be carefully removed, refurbished and reinstated.

4. All cornices to be refurbished and repaired where necessary.

5. All existing walls and ceilings to be locally re-skimmed and painted where required.

6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

Floor Build-ups

FLOOR 1: Specified floor finish on existing structural slab.

FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01 Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.

02 Proposed terrace.

03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.

04 New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.

05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

06 Existing staircase and balustrade to be refurbished and redecorated.

07 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 3 configuration.

08 Proposed minimal frame fixed aluminium window.

09 Proposed minimal frame aluminium casement doors.

10 Proposed built in joinery.

11 Existing fire surround and hearth to be refurbished and redecorated.

12 Proposed column radiator.

13 Replace existing mosaic floor finish with new stone stone steps and landing.

14 Existing metal gate & railings to be refurbished and redecorated.

15 Existing opening to be infilled with a fixed traditional door. To be visible from hallway.

16 Metal staircase to be replaced.

17 Proposed floor opening with new timber balustrade.

18 Proposed roof infill for existing rooflights.

19 Infill partition. Wall build up to match adjacent wall.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed South East (Street) Elevation

Drawing No. A2100 Rev. -

Drawn AA Approved PB Signed MW

Marek Wojciechowski Architects

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Proposed Notes Cont.	
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.



Legend: Existing Key	
	Existing structure / earth
	Proposed structure
	Existing roof tiles
	Existing external painted stucco render
	New brickwork to match existing
	Existing brick

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
 - Retain and refurbish all existing window boxes, architraves and shutters.
 - All original skirtings to be carefully removed, refurbished and reinstated.
 - All cornices to be refurbished and repaired where necessary.
 - All existing walls and ceilings to be locally re-skimmed and painted where required.
 - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

Floor Build-ups

FLOOR 1: Specified floor finish on existing structural slab.
FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:	
01	Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.
02	Proposed terrace.
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing staircase and balustrade to be refurbished and redecorated.
07	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 3 configuration.
08	Proposed minimal frame fixed aluminium window.
09	Proposed minimal frame aluminium casement doors.
10	Proposed built in joinery.
11	Existing fire surround and hearth to be refurbished and redecorated.
12	Proposed column radiator.
13	Replace existing mosaic floor finish with new stone stone steps and landing.
14	Existing metal gate & railings to be refurbished and redecorated.
15	Existing opening to be infilled with a fixed traditional door. To be visible from hallway.
16	Metal staircase to be replaced.
17	Proposed floor opening with new timber balustrade.
18	Proposed roof infill for existing rooflights.
19	Infill partition. Wall build up to match adjacent wall.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002
Client J & B Ashley Ltd. / Anthony Osoff
Date July 2022
Scale 1:100 @ A3 / 1:50 @ A1
Project 14 John Street

Drawing Title: Proposed South East (Front) Elevation		
Drawing No.	A2101	Rev. -
Drawn AA	Approved PB	Signed MW

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Proposed Notes Cont.	
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

Rev. Plan, Scale 1:250

Legend:

Existing structure / earth	Proposed structure
Existing roof tiles	Existing external painted stucco render
New brickwork to match existing	Existing brick

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated.
- All cornices to be refurbished and repaired where necessary.
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

Floor Build-ups

FLOOR 1: Specified floor finish on existing structural slab.
FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01	Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.
02	Proposed terrace.
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing staircase and balustrade to be refurbished and redecorated.
07	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 3 configuration.
08	Proposed minimal frame fixed aluminium window.
09	Proposed minimal frame aluminium casement doors.
10	Proposed built in joinery.
11	Existing fire surround and hearth to be refurbished and redecorated.
12	Proposed column radiator.
13	Replace existing mosaic floor finish with new stone stone steps and landing.
14	Existing metal gate & railings to be refurbished and redecorated.
15	Existing opening to be infilled with a fixed traditional door. To be visible from hallway.
16	Metal staircase to be replaced.
17	Proposed floor opening with new timber balustrade.
18	Proposed roof infill for existing rooflights.
19	Infill partition. Wall build up to match adjacent wall.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed North West (Rear) Elevation

Drawing No. A2102 Rev. -

Drawn AA	Approved PB	Signed MW
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Proposed Notes Cont.	
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

Key Plan, Scale 1:250

Legend:

Existing structure / earth	Proposed structure
Existing roof tiles	Existing external painted stucco render
New brickwork to match existing	Existing brick

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated.
- All cornices to be refurbished and repaired where necessary.
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

Floor Build-ups

FLOOR 1: Specified floor finish on existing structural slab.
FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01	Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.
02	Proposed terrace.
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing staircase and balustrade to be refurbished and redecorated.
07	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 5 configuration.
08	Proposed minimal frame fixed aluminium window.
09	Proposed minimal frame aluminium casement doors.
10	Proposed built in joinery.
11	Existing fire surround and hearth to be refurbished and redecorated.
12	Proposed column radiator.
13	Replace existing mosaic floor finish with new stone stone steps and landing.
14	Existing metal gate & railings to be refurbished and redecorated.
15	Existing opening to be filled with a fixed traditional door. To be visible from hallway.
16	Metal staircase to be replaced.
17	Proposed floor opening with new timber balustrade.
18	Proposed roof infill for existing rooflights.
19	Infill partition. Wall build up to match adjacent wall.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed Section A-A

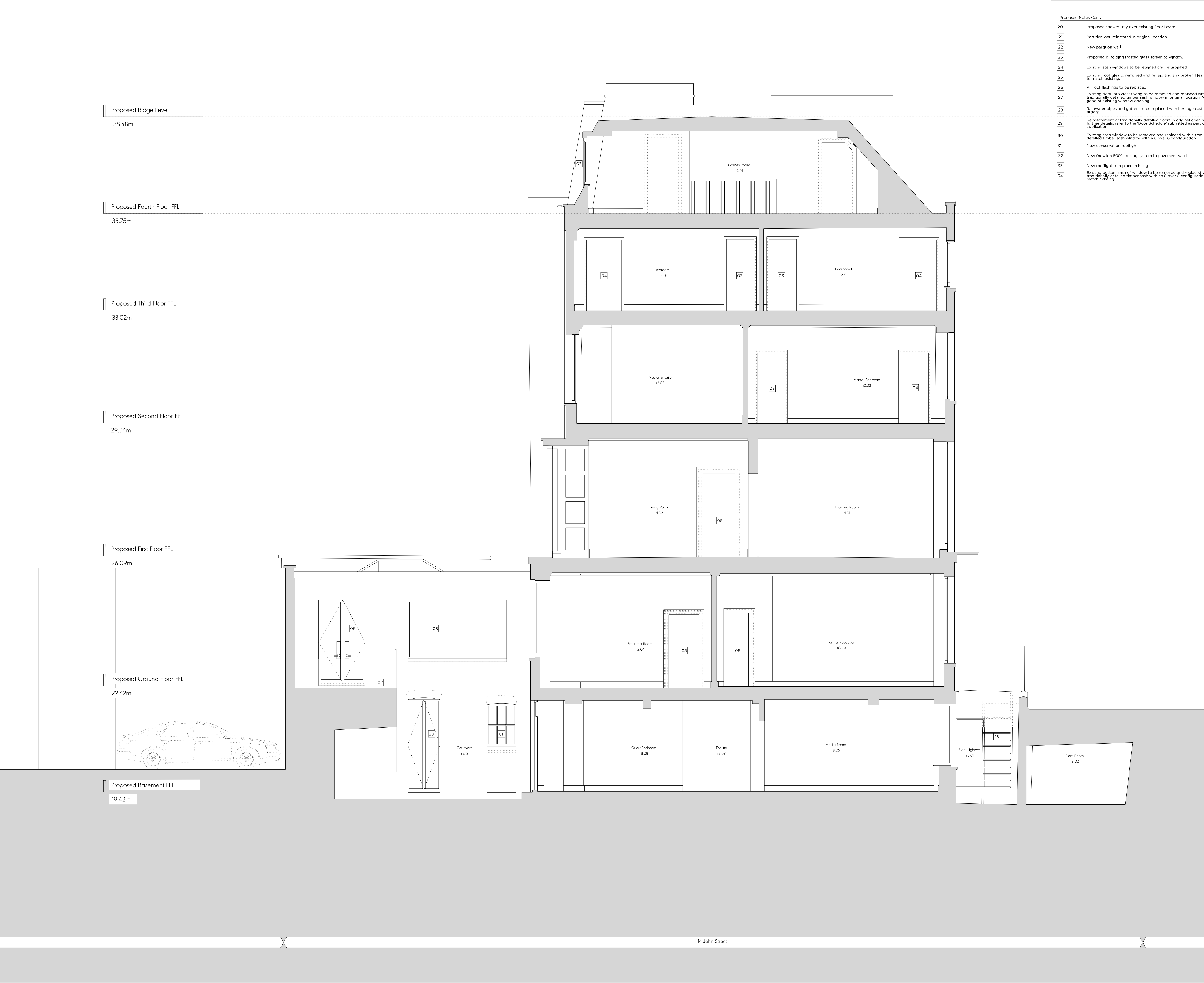
Drawing No. A2200 Rev. -

Drawn AA Approved PB Signed MW

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Proposed Notes Cont.	
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into dormer wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

Key Plan, Scale 1:250

Legend: Existing Key

Existing structure / south	Proposed structure
Existing roof tiles	Existing external painted stucco render
New brickwork to match existing	Existing brick

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated.
- All cornices to be refurbished and repaired where necessary.
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

Floor Build-ups

FLOOR 1: Specified floor finish on existing structural slab.
FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01	Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.
02	Proposed terrace.
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing staircase and balustrade to be refurbished and redecorated.
07	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 3 configuration.
08	Proposed minimal frame fixed aluminium window.
09	Proposed minimal frame aluminium casement doors.
10	Proposed built in joinery.
11	Existing fire surround and hearth to be refurbished and redecorated.
12	Proposed column radiator.
13	Replace existing mosaic floor finish with new stone stone steps and landing.
14	Existing metal gate & railings to be refurbished and redecorated.
15	Existing opening to be infilled with a fixed traditional door. To be visible from hallway.
16	Metal staircase to be replaced.
17	Proposed floor opening with new timber balustrade.
18	Proposed roof infill for existing rooflights.
19	Infill partition. Wall build up to match adjacent wall.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed Section B-B

Drawing No. A2201 Rev. -

Drawn AA	Approved PB	Signed MW
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Proposed Notes Cont.	
20	Proposed shower tray over existing floor boards.
21	Partition wall reinstated in original location.
22	New partition wall.
23	Proposed bi-folding frosted glass screen to window.
24	Existing sash windows to be retained and refurbished.
25	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
26	All roof flashings to be replaced.
27	Existing door into direct wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.
28	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.
29	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
30	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.
31	New conservation rooflight.
32	New (newton 500) tanking system to pavement vault.
33	New rooflight to replace existing.
34	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

Key Plan, Scale 1:250

Legend: Existing Key

	Existing structure / south		Proposed structure
	Existing roof tiles		Existing external painted stucco render
	New brickwork to match existing		Existing brick

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated.
- All cornices to be refurbished and repaired where necessary.
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.

Floor Build-ups

FLOOR 1: Specified floor finish on existing structural slab.
FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.

Proposed Notes:

01	Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.
02	Proposed terrace.
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing staircase and balustrade to be refurbished and redecorated.
07	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 3 configuration.
08	Proposed minimal frame fixed aluminium window.
09	Proposed minimal frame aluminium casement doors.
10	Proposed built in joinery.
11	Existing fire surround and hearth to be refurbished and redecorated.
12	Proposed column radiator.
13	Replace existing mosaic floor finish with new stone stone steps and landing.
14	Existing metal gate & railings to be refurbished and redecorated.
15	Existing opening to be infilled with a fixed traditional door. To be visible from hallway.
16	Metal staircase to be replaced.
17	Proposed floor opening with new timber balustrade.
18	Proposed roof infill for existing rooflights.
19	Infill partition. Wall build up to match adjacent wall.

First Issue 15/07/22 Issued for Planning

PLANNING

Project No. 21002

Client J & B Ashley Ltd. / Anthony Osoff

Date July 2022

Scale 1:100 @ A3 / 1:50 @ A1

Project 14 John Street

Drawing Title: Proposed Section C-C

Drawing No. A0802 Rev. -

Drawn AA Approved PB Signed MW

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