



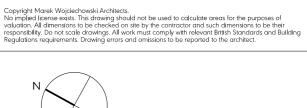
Issued for Planning

Wojciechowski Architects

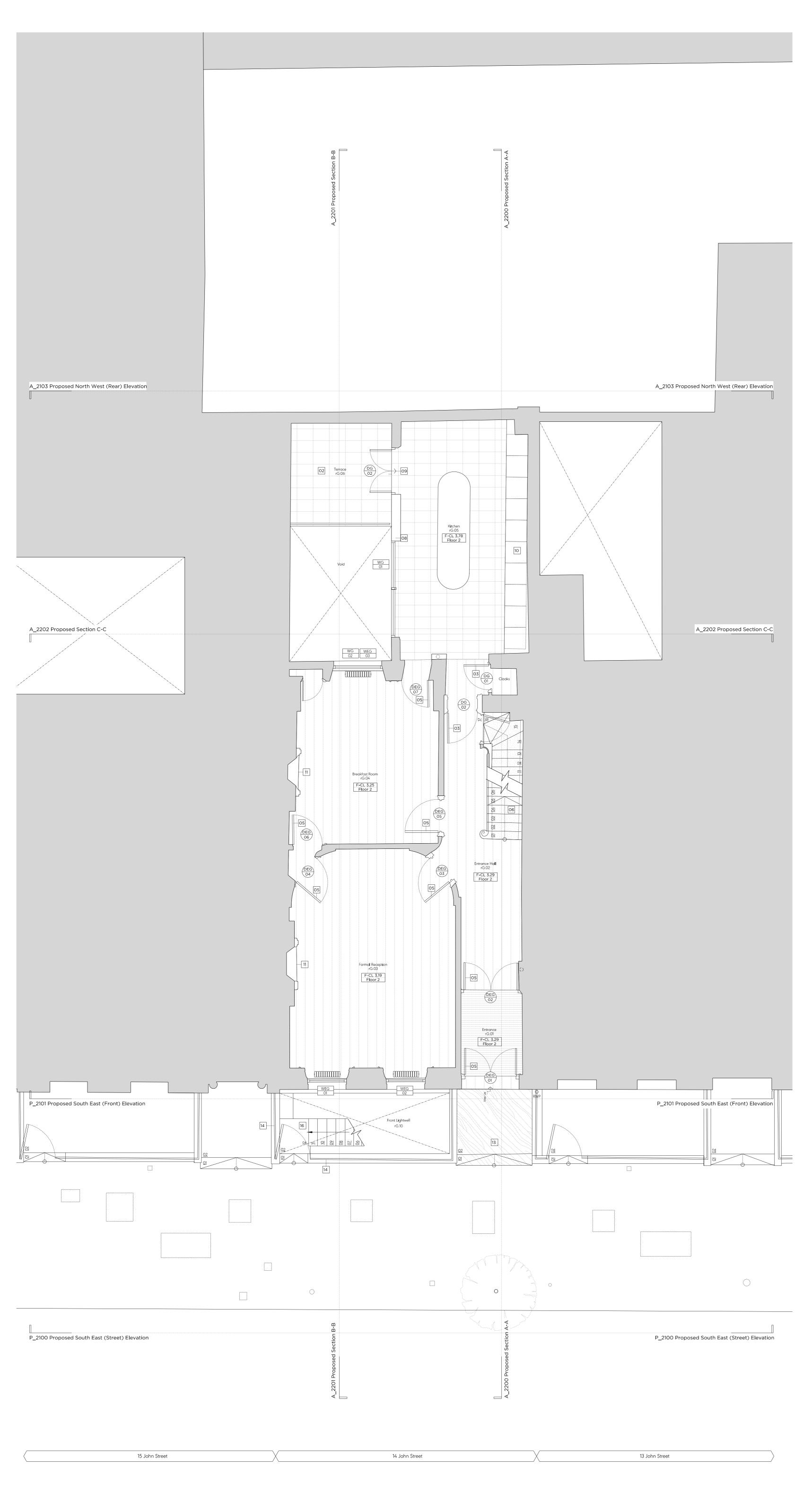
66-68 Margaret Street WIW 8SR

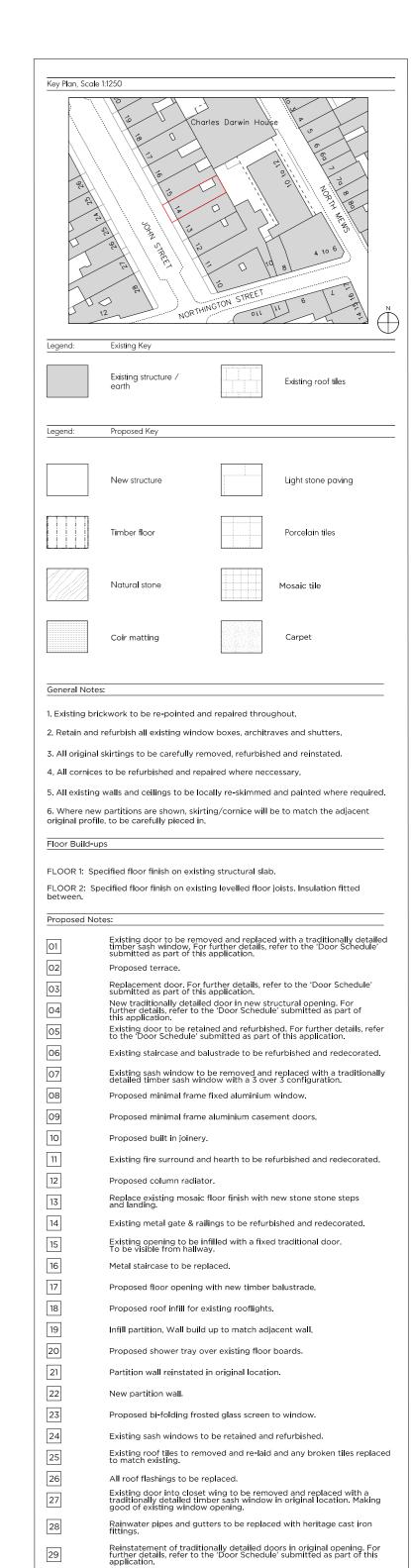
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First Issue





31

32

33

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First Issue



15/07/22

Issued for Planning

Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.

Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

New (newton 500) tanking system to pavement vault.

New conservation rooflight.

New rooflight to replace existing.

Date 1:100 @ A3 / 1:50 @ A1 Scale Project 14 John Street

Drawing Title: Proposed Ground Floor Plan

Drawing No. P_2000 Drawn Approved Signed PB AA MW

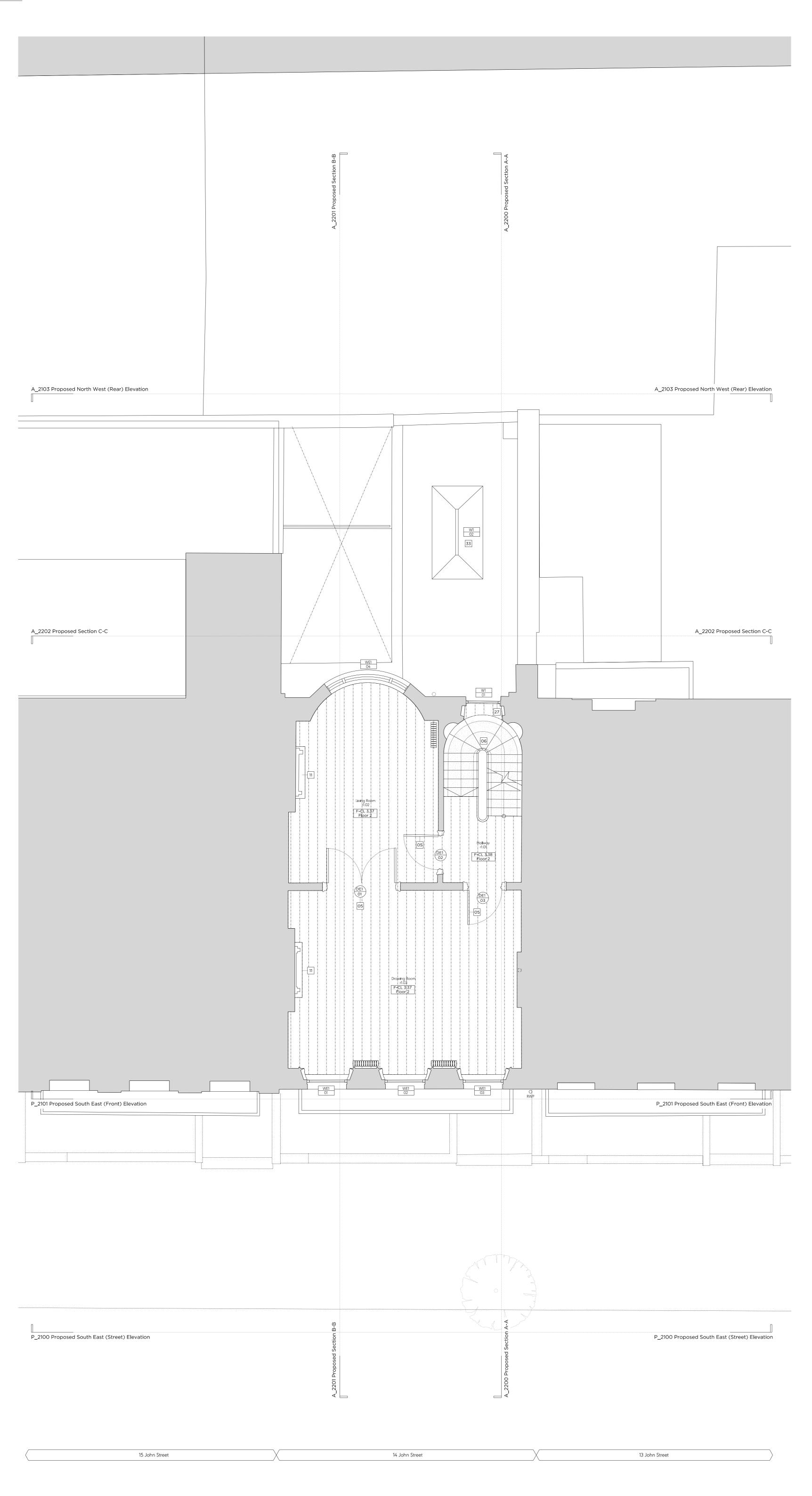


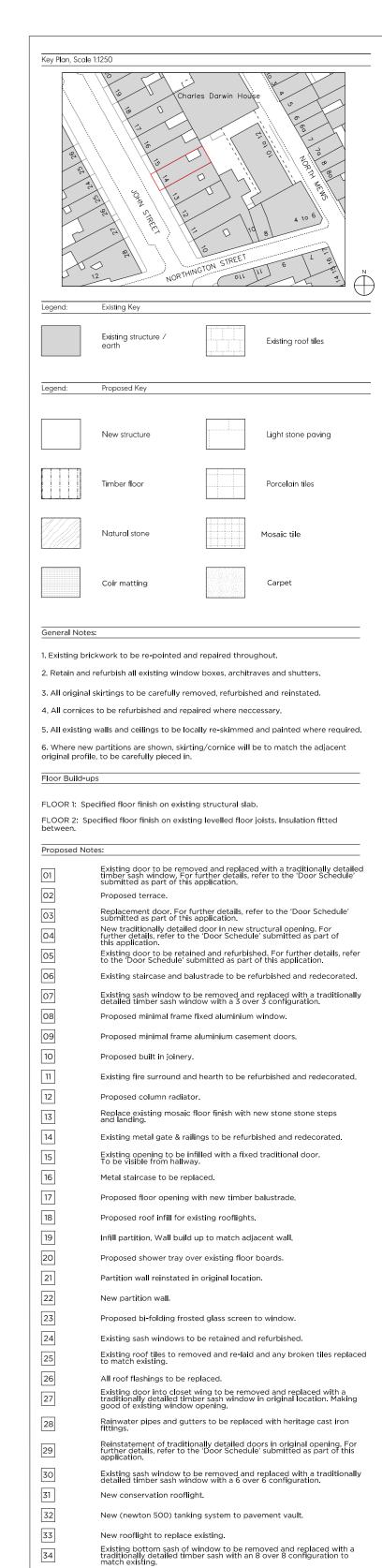
Wojciechowski

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Drawn Approved Signed AA PB MW



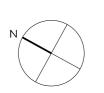
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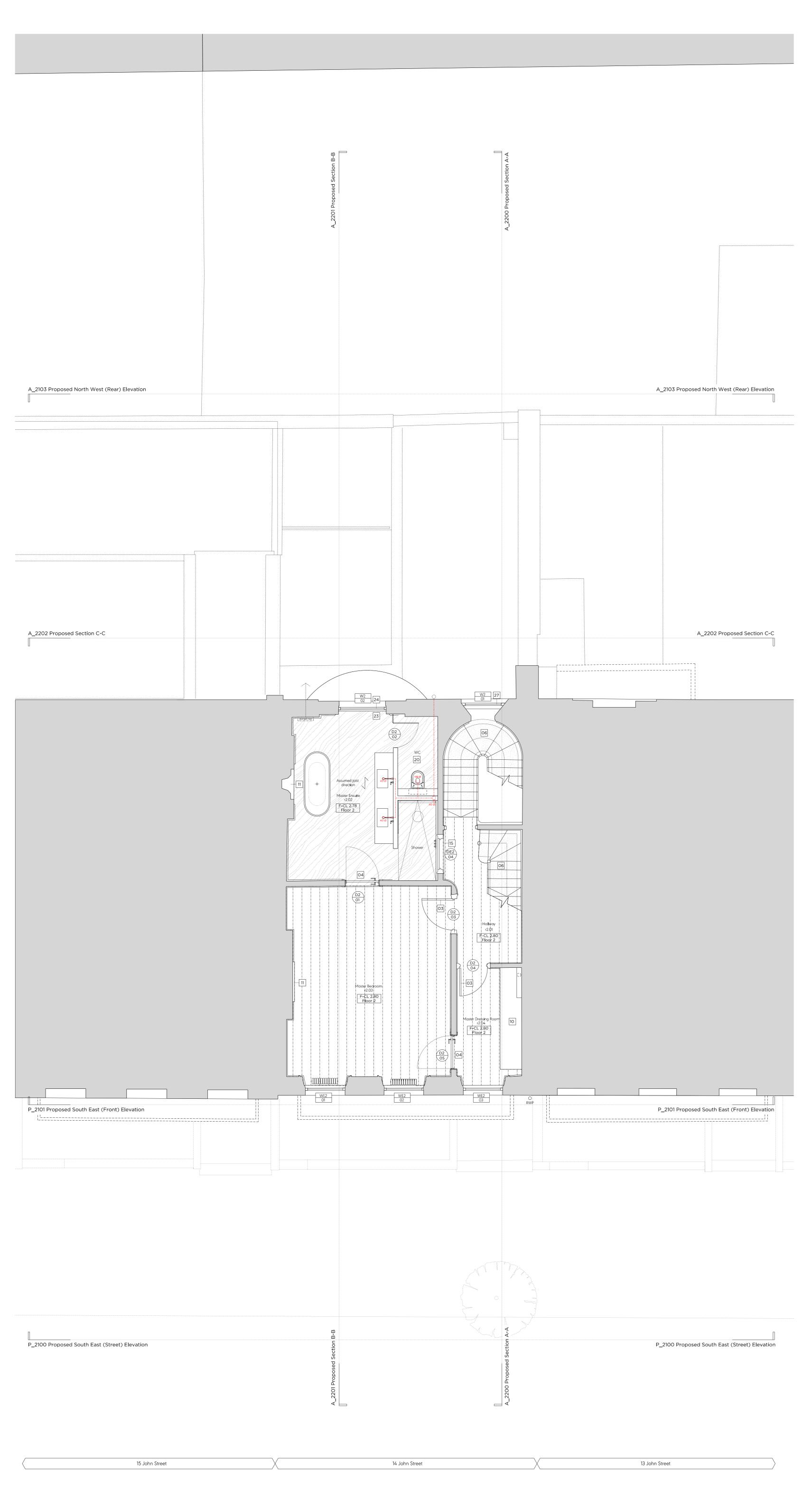
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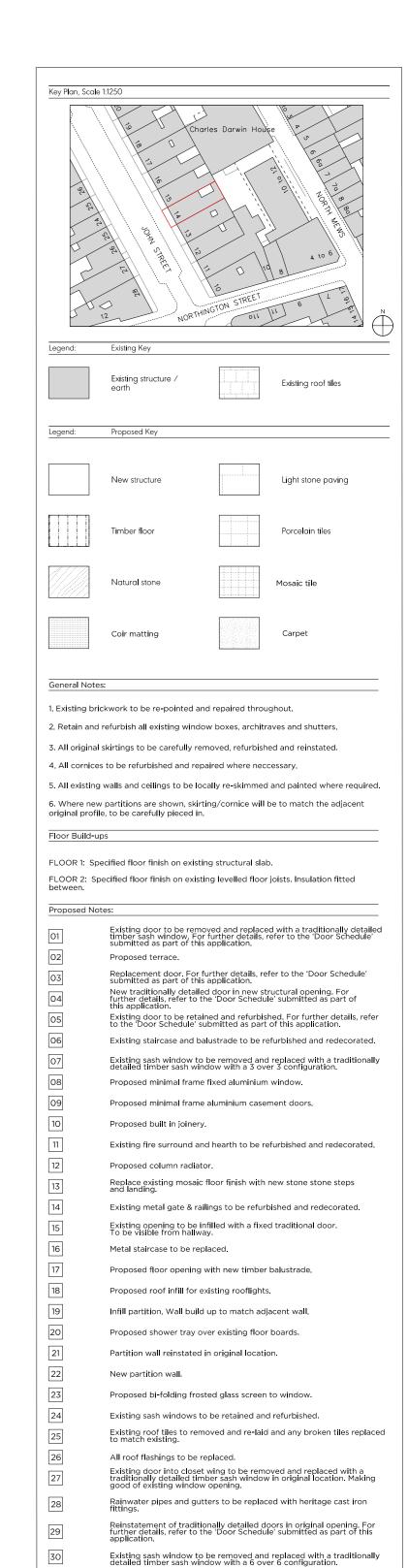
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First Issue





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New conservation rooflight.

New rooflight to replace existing.

New (newton 500) tanking system to pavement vault.

Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.





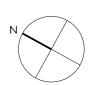
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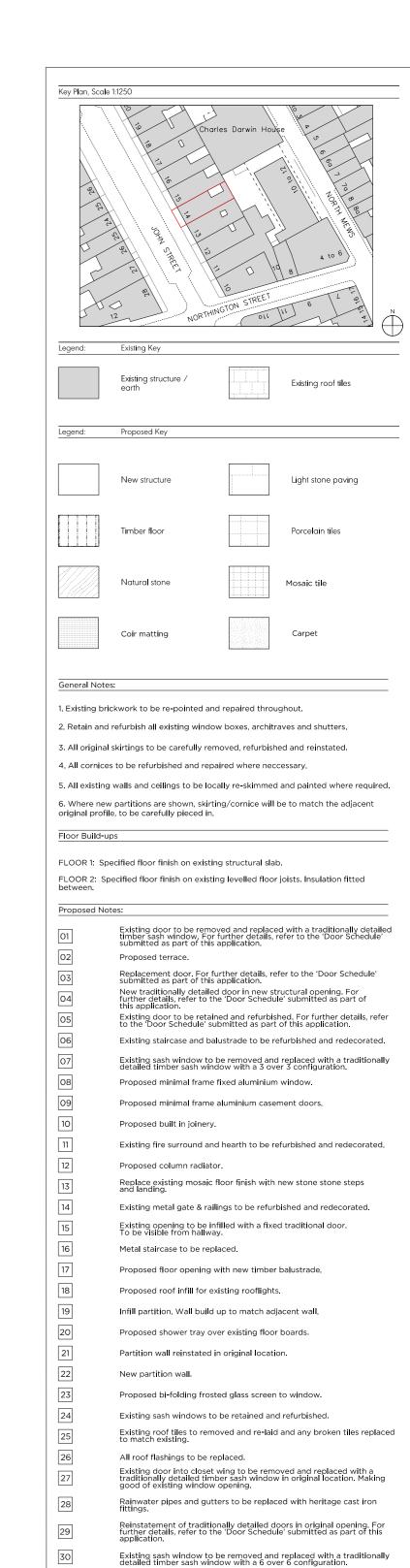
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AA





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First Issue

New conservation rooflight.

New rooflight to replace existing.

New (newton 500) tanking system to pavement vault.

Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.



P_2003

15/07/22

Issued for Planning

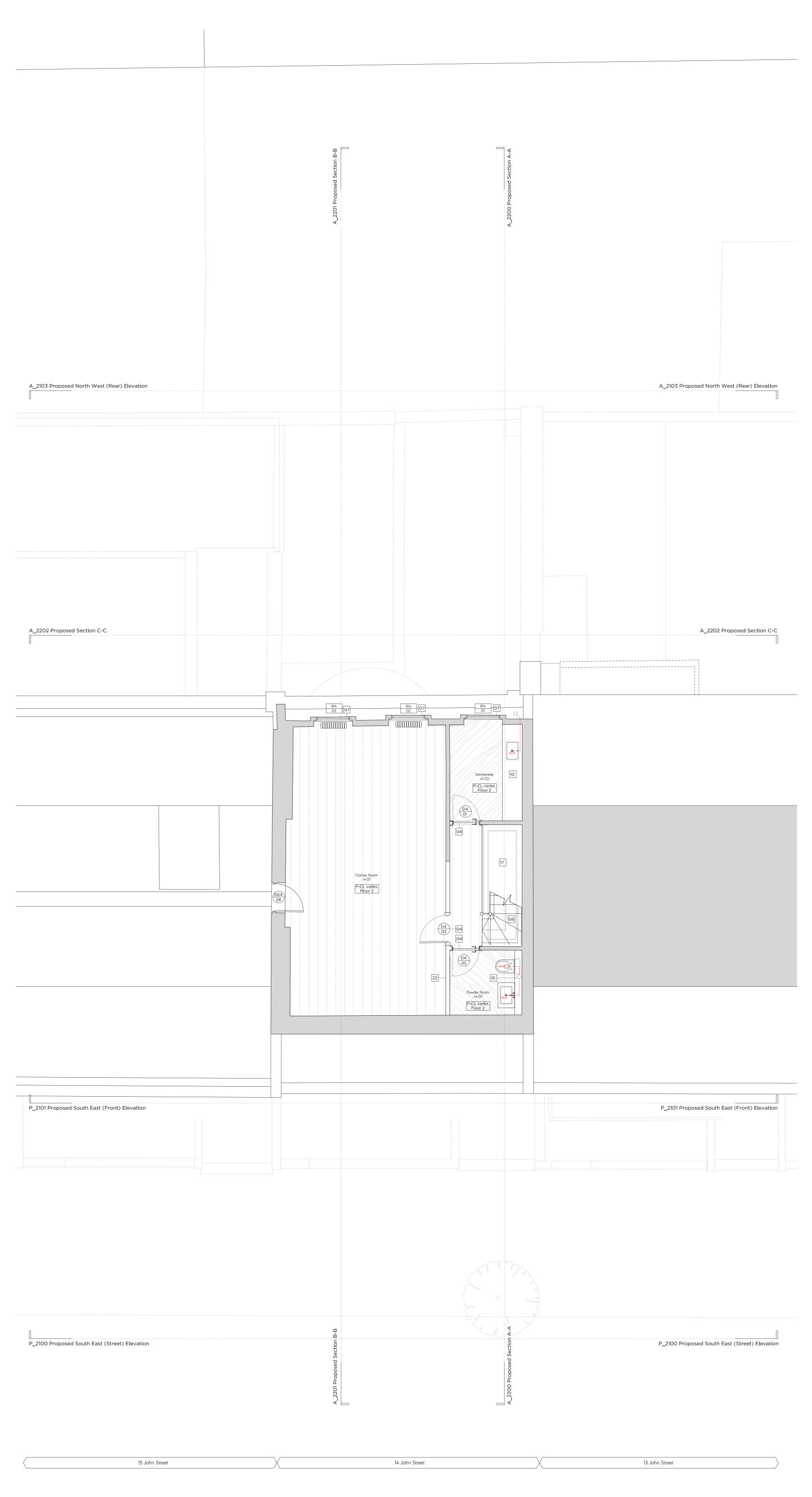


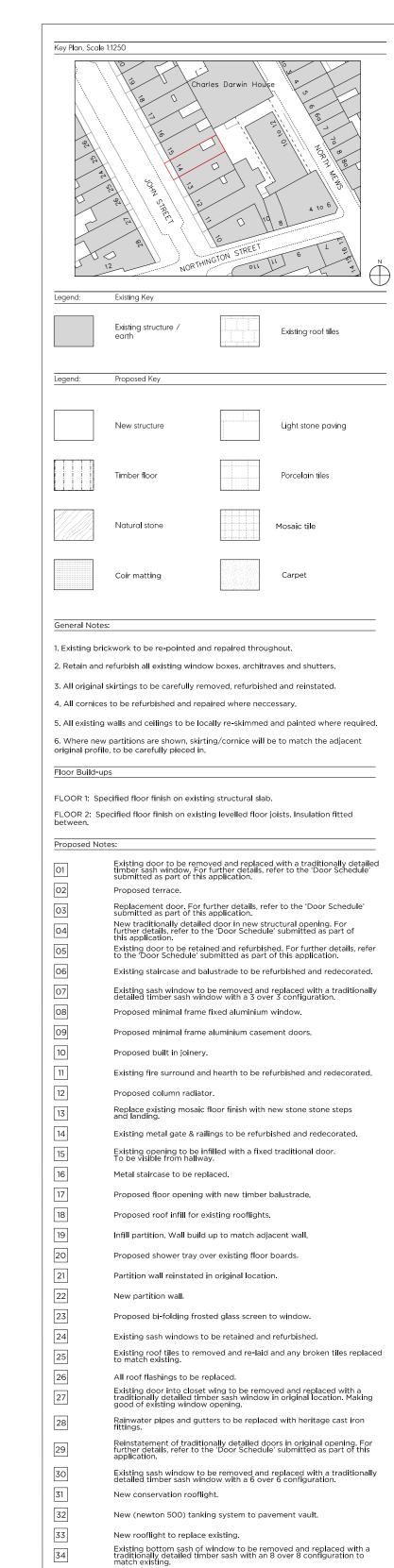
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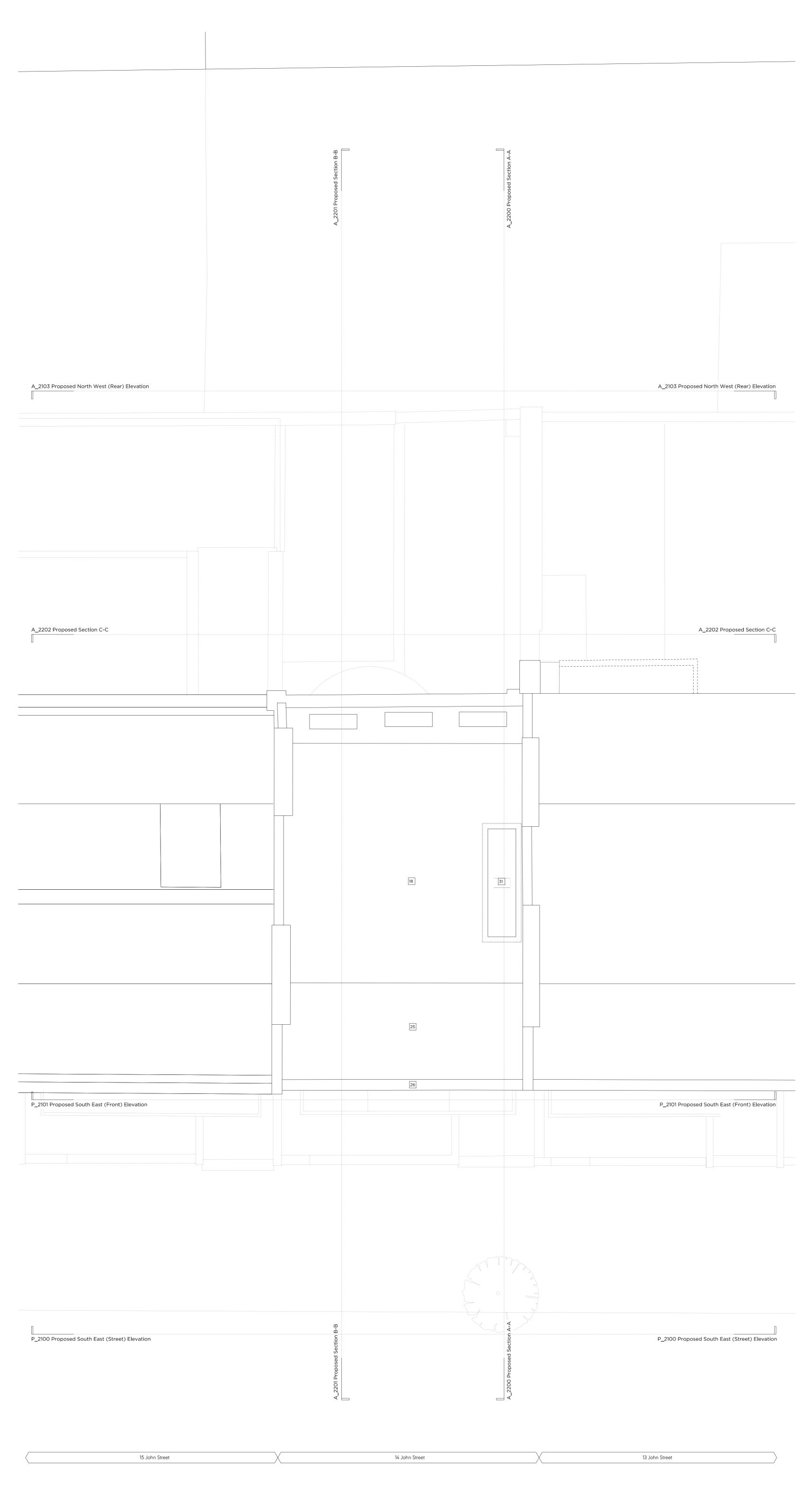


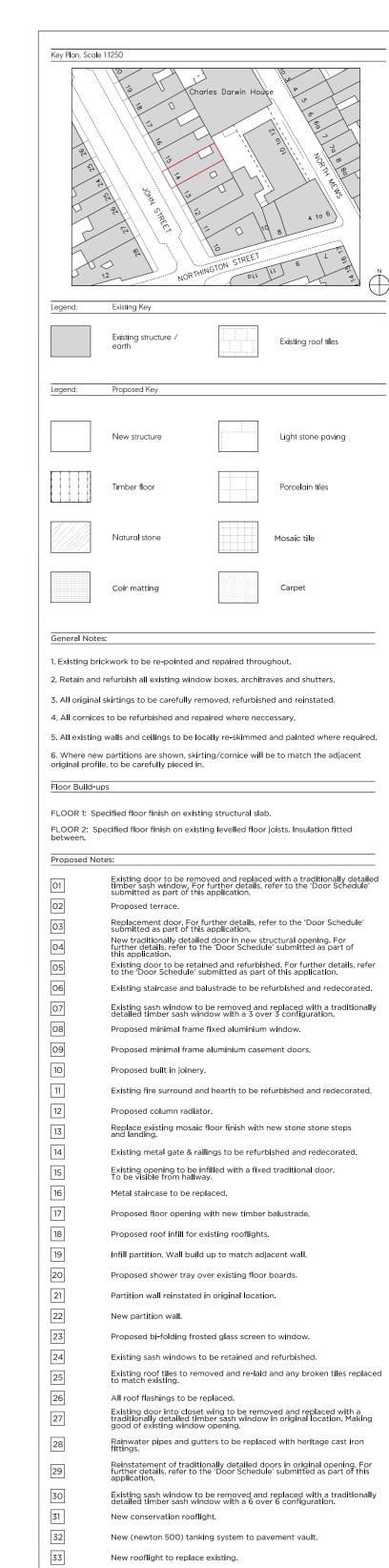


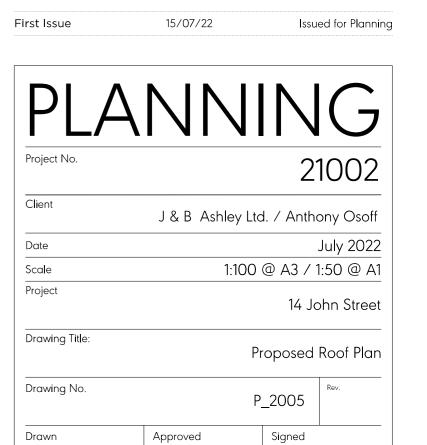


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Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.

34



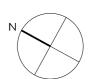
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PB

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AA



		Key Plan, Scale 1:1250
roposed	Notes Cont.	
	Proposed shower tray over existing floor boards.	Charles Darwin House
	Partition wall reinstated in original location.	
2	New partition wall.	
3	Proposed bi-folding frosted glass screen to window.	
4	Existing sash windows to be retained and refurbished.	
5	Existing roof tiles to removed and re-laid and any broken tiles replaced to match existing.	
5	All roof flashings to be replaced.	T
7	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.	[2] [2] D 10 8
3	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.	NORTHINGTON STREET OIL TILL NORTHINGTON STREET OIL TILL OIL TI
9	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.	NORTHING OIL
)	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.	Legend: Existing Key
	New conservation rooflight.	Existing structure / Proposed structure
2	New (newton 500) tanking system to pavement vault.	earth Proposed structure
3	New rooflight to replace existing.	Existing external painted
1	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.	Existing roof tiles stucco render
		New brickwork to match existing Existing brick
		General Notes:
		1. Existing brickwork to be re-pointed and repaired throughout.
		2. Retain and refurbish all existing window boxes, architraves and shutters.
		3. All original skirtings to be carefully removed, refurbished and reinstated.
		4. All cornices to be refurbished and repaired where neccessary.
		5. All existing walls and ceilings to be locally re-skimmed and painted where required.
		Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.
		Floor Build-ups
		FLOOR 1: Specified floor finish on existing structural slab.
		FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.
		Proposed Notes:
		Existing door to be removed and replaced with a traditionally detailed timber sash window. For further details, refer to the 'Door Schedule' submitted as part of this application.
		Devilopment door For fruther datalle refer to the (Door Cobadule)
		New traditionally detailed door in new structural opening. For
		04 further details, refer to the 'Door Schedule' submitted as part of this application. Existing door to be retained and refurbished. For further details, refer
		O5 Existing door to be retained and refurbished. For further details, refer to the Door Schedule' submitted as part of this application.
		06 Existing staircase and balustrade to be refurbished and redecorated.
		07 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 3 configuration.
		Proposed minimal frame fixed aluminium window.

First Issue

PLANNIN			
<u> </u>			
Project No.		2	1002
Client	J & B Ashley Ltd. / Anthony Osoff		
Date	July 2022		
Scale	1:100 @ A3 / 1:50 @ A		
Project		14 Jo	ohn Stree
Drawing Title:			
F	Proposed South East	t (Street) E	Elevation
Drawing No.		A2100	Rev.
Drawn	Approved	Signed	1
AA	PB	M'	W

15/07/22

Existing fire surround and hearth to be refurbished and redecorated.

Replace existing mosaic floor finish with new stone stone steps and landing. Existing metal gate & railings to be refurbished and redecorated. Existing opening to be infilled with a fixed traditional door. To be visible from hallway.

Proposed built in joinery.

Proposed column radiator.

Metal staircase to be replaced.

Proposed minimal frame aluminium casement doors.

Proposed floor opening with new timber balustrade.

Infill partition. Wall build up to match adjacent wall.

Issued for Planning

Proposed roof infill for existing rooflights.



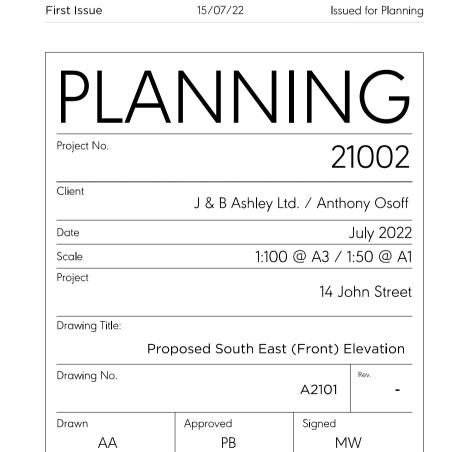
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	Key Plan, Scale 1:1250
oposed Notes Cont.	
Proposed shower tray over existing floor boards. Partition wall reinstated in original location.	Charles Darwin House
New partition wall.	
Proposed bi-folding frosted glass screen to window.	
	(e) (a) (a)
Existing sash windows to be retained and refurbished. Existing roof tiles to removed and re-laid and any broken tiles replaced	
to match existing.	
All roof flashings to be replaced.	FI 18 4 10 6
Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.	E E 10 10 8
Rainwater pipes and gutters to be replaced with heritage cast iron fittings.	STREET 6 L 9
Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.	NORTHINGTON STREET 12 NORTHINGTON STREET 6 12
Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.	Legend: Existing Key
New conservation rooflight.	
New (newton 500) tanking system to pavement vault.	Existing structure / Proposed structure earth
New rooflight to replace existing.	[[[] [] [] [] [] [] [] [] []
Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.	Existing roof tiles Existing external painte stucco render
	New brickwork to Existing brick
	General Notes:
	Existing brickwork to be re-pointed and repaired throughout.
	2. Retain and refurbish all existing window boxes, architraves and shutters.
	3. All original skirtings to be carefully removed, refurbished and reinstated.
	4. All cornices to be refurbished and repaired where neccessary.
	5. All existing walls and ceilings to be locally re-skimmed and painted where requi
	6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.
	Floor Build-ups
	FLOOR 1: Specified floor finish on existing structural slab.
	FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.
	Proposed Notes:
	O1 Existing door to be removed and replaced with a traditionally deta timber sash window. For further details, refer to the 'Door Schedul submitted as part of this application.
	O2 Proposed terrace. Replacement door. For further details, refer to the 'Door Schedule submitted as part of this application.
	submitted as part of this application. New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of this application.



Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.

Existing staircase and balustrade to be refurbished and redecorated.

Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 3 over 3 configuration.

Existing fire surround and hearth to be refurbished and redecorated.

Replace existing mosaic floor finish with new stone stone steps and landing.

Existing metal gate & railings to be refurbished and redecorated.

Existing opening to be infilled with a fixed traditional door.

To be visible from hallway.

Proposed floor opening with new timber balustrade.

Infill partition. Wall build up to match adjacent wall.

Proposed roof infill for existing rooflights.

Proposed minimal frame fixed aluminium window.

Proposed minimal frame aluminium casement doors.

Proposed built in joinery.

Proposed column radiator.

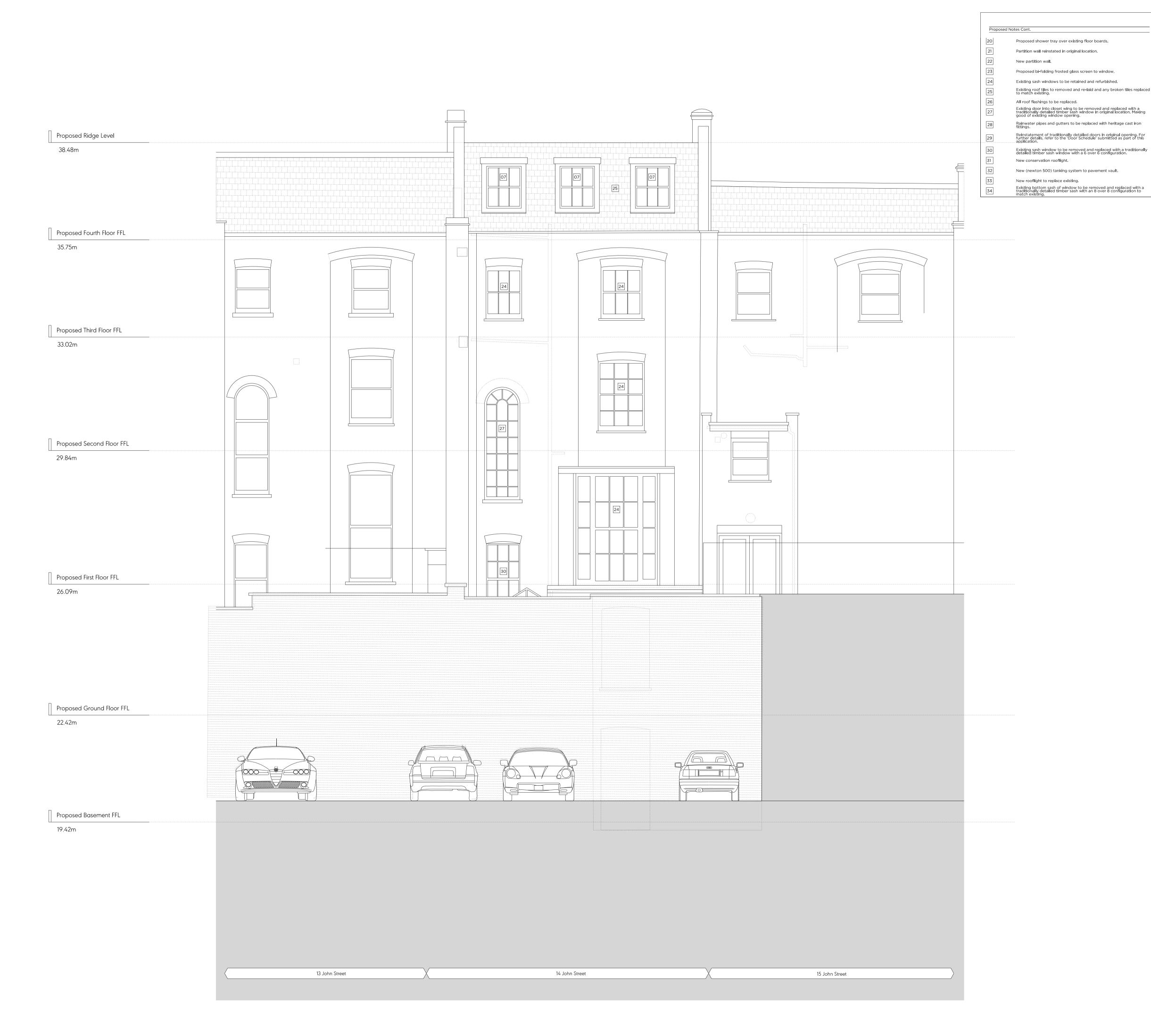
Metal staircase to be replaced.



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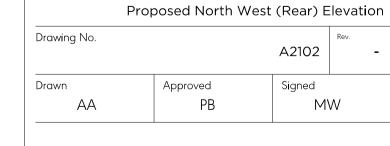


Key Plan, Scale	e 1:1250		
Key Plan, Scali		arles Darwin House	To 6 o 1 1 1 o 0 o o o o o o o o o o o o o o
	E RELIEF	T I I I I I I I I I I I I I I I I I I I	8 2 2 2
Legend:	Existing Key		
	Existing structure / earth		Proposed structure
	Existing roof tiles		Existing external painted stucco render
	New brickwork to match existing		Existing brick
4. All cornice 5. All existing 6. Where never original profit Floor Build-to FLOOR 1: Sg	w partitions are shown, ski ille, to be carefully pieced in ups pecified floor finish on exis	paired where neconcally re-skimmed rting/cornice will book.	cessary. and painted where required. be to match the adjacent
between. Proposed No	pecified floor finish on exis otes:	ting levelled floor	joists. Insulation fitted
01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17	Proposed terrace. Replacement door. For submitted as part of the New traditionally detail further details, refer to this application. Existing door to be retated to the Door Schedule' Existing staircase and be the Existing staircase and be detailed timber sash with the Door Schedule' Existing sash window the detailed timber sash with Proposed minimal frame Proposed minimal frame Proposed built in joiner Existing fire surround at Proposed column radial Replace existing mosai and landing. Existing opening to be To be visible from hally Metal staircase to be responsed floor opening to the Proposed floor opening to the things of the Proposed floor opening to the things of the Proposed floor opening to the Proposed floor opening	further details, relis application. ed door in new strice 'Door Schedul ained and refurbish submitted as part palustrade to be removed and ndow with a 3 over e fixed aluminium caser y. Indicate the control of the con	hed. For further details, refer of this application. efurbished and redecorated. I replaced with a traditionally er 3 configuration. window. ment doors. efurbished and redecorated. hew stone stone steps oished and redecorated. d traditional door. balustrade.
19	Proposed roof infill for Infill partition. Wall buil		

PLA	ANNING
Project No.	21002
Client	J & B Ashley Ltd. / Anthony Osof
Date	July 202
Scale	1:100 @ A3 / 1:50 @ A
Project	14 John Stree

First Issue

Issued for Planning



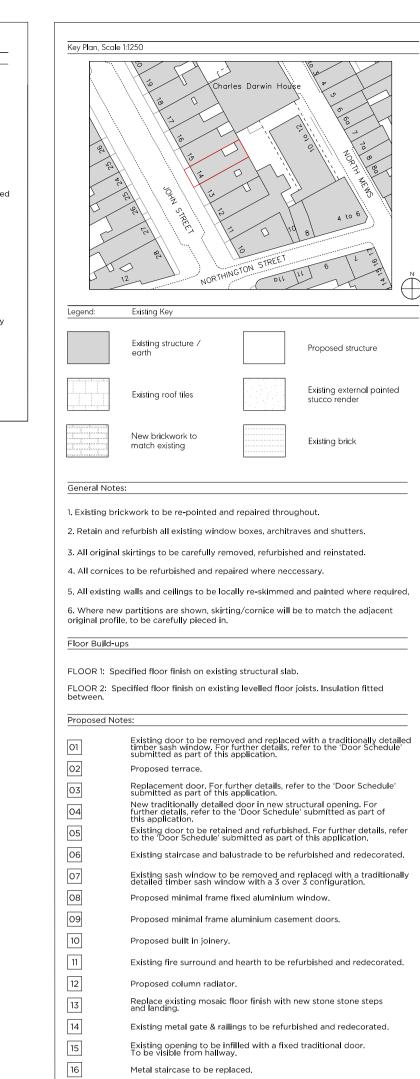


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First Issue 15/07/22 Issued for Planning

Proposed floor opening with new timber balustrade.

Infill partition. Wall build up to match adjacent wall.

Proposed roof infill for existing rooflights.

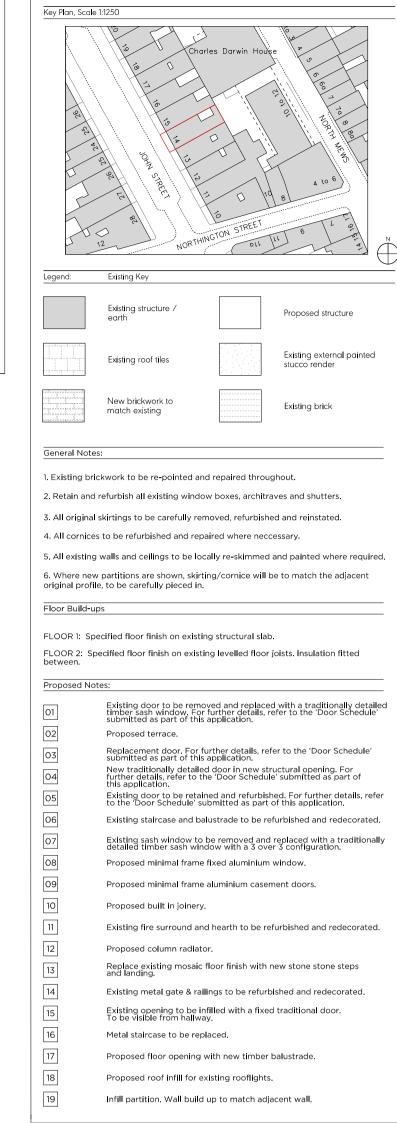
Client J & B Ashley Ltd. / Anthony Osoff July 2022 1:100 @ A3 / 1:50 @ A1 Scale 14 John Street

21002

Proposed Section A-A Drawing No. A2200 Signed

Approved







First Issue

Issued for Planning

Client J & B Ashley Ltd. / Anthony Osoff July 2022 Scale 1:100 @ A3 / 1:50 @ A1 14 John Street

Proposed Section B-B Drawing No. A2201 Signed Approved



		Key Plan, Scale 1:1250
oposed	Notes Cont.	110 Y Hall, Ocale 1.1250
	Proposed shower tray over existing floor boards.	Charles Darwin House
	Partition wall reinstated in original location.	
]	New partition wall.	
	Proposed bi-folding frosted glass screen to window.	
	Existing sash windows to be retained and refurbished.	22 1 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
]	Existing roof tiles to removed and re-laid and any broken tiles replaced to match existing.	See
]	All roof flashings to be replaced.	
]	Existing door into closet wing to be removed and replaced with a traditionally detailed timber sash window in original location. Making good of existing window opening.	T 80 4 10 6)
]	Rainwater pipes and gutters to be replaced with heritage cast iron fittings.	NORTHINGTON STREET NORTHINGTON STREET OIL TILL OF THE PROPERTY OF THE PROPE
]	Reinstatement of traditionally detailed doors in original opening. For further details, refer to the 'Door Schedule' submitted as part of this application.	NORTHING OIL
	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a 6 over 6 configuration.	Legend: Existing Key
]	New conservation rooflight.	
]	New (newton 500) tanking system to pavement vault.	Existing structure / Proposed structure
]	New rooflight to replace existing.	
	Existing bottom sash of window to be removed and replaced with a traditionally detailed timber sash with an 8 over 8 configuration to match existing.	Existing roof tiles Existing external paints stucco render
		New brickwork to match existing Existing brick
		General Notes:
		Existing brickwork to be re-pointed and repaired throughout.
		Retain and refurbish all existing window boxes, architraves and shutters.
		All original skirtings to be carefully removed, refurbished and reinstated.
		4. All cornices to be refurbished and repaired where neccessary.
		5. All existing walls and ceilings to be locally re-skimmed and painted where requ
		6. Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully pieced in.
		Floor Build-ups
		FLOOR 1: Specified floor finish on existing structural slab.
		FLOOR 2: Specified floor finish on existing levelled floor joists. Insulation fitted between.
		Proposed Notes:
		Existing door to be removed and replaced with a traditionally det timber sash window. For further details, refer to the 'Door Schedu submitted as part of this application.
		O2 Proposed terrace.
		Replacement door. For further details, refer to the 'Door Schedule submitted as part of this application. New traditionally detailed door in new structural opening. For further details, refer to the 'Door Schedule' submitted as part of
		this application. Existing door to be retained and refurbished. For further details, r to the 'Door Schedule' submitted as part of this application.
		to the 'Door Schedule' submitted as part of this application. O6 Existing staircase and balustrade to be refurbished and redecorat
		Existing sash window to be removed and replaced with a tradition detailed timber sash window with a 3 over 3 configuration.
		The state of the s

Project No.

21002

Client

J & B Ashley Ltd. / Anthony Osoff

Date

July 2022

Scale

1:100 @ A3 / 1:50 @ A1

Project

Drawing Title:

Proposed Section C-C

Drawing No.

Rev.

A0802

- Rev.

A0802

Proposed minimal frame fixed aluminium window.

Proposed minimal frame aluminium casement doors.

Existing fire surround and hearth to be refurbished and redecorated.

Replace existing mosaic floor finish with new stone stone steps and landing.

Existing metal gate & railings to be refurbished and redecorated.

Existing opening to be infilled with a fixed traditional door.

To be visible from hallway.

Proposed floor opening with new timber balustrade.

Infill partition. Wall build up to match adjacent wall.

Proposed roof infill for existing rooflights.

Proposed built in joinery.

Proposed column radiator.

Metal staircase to be replaced.



Signed

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Approved

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