



Space House

Non Material Amendment Document

For Seaforth Land

October 2022

Document History

Rev	Date	Purpose of Issue	Author	Reviewer
A	07.10.22	Non Material Amendment	MPa	CW

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1.0 Executive Summary

The document has been prepared to support an application for non-material amendments to planning permission ref: 2021/1058/P, dated 30 September 2021 and listed building consent ref: 2022/3271/L, dated 8 September 2022 at Space House ('the site'). This document provides an update to the demolition scope approved at the site under planning permission ref. 2021/1058/P (dated 30 September 2021) as amended by non-material amendment (NMA) ref: 2022/0751/P, dated 5 April 2022, NMA ref: 2022/2170/P, dated 28 June 2022 and NMA ref: 2022/3272/P, dated 8 September 2022, and Section 19 ref: 2022/3271/L (dated 8 September 2022).

This document provides an update to the consented demolition scope to the Section 73 (ref. 2021/1058/P) Section 19 (ref: 2022/3271/L) permissions at Space House.

This application covers the erroneous demolition of the concrete ribbed piers in the Kingsway east elevation. This was presented to and discussed with Camden planning and design officers in the monthly Post-Approval Agreement (PAA) meeting held on the 13th September 2022.

Camden planning and design officers indicated during the meeting that the changes could be sought via a non material amendment and Section 19 application.

2.0 Demolition scope update

This document refers to Kingsway east facade concrete ribbed piers.
Refer to Fig. 2.1.1 for photos of the existing piers.

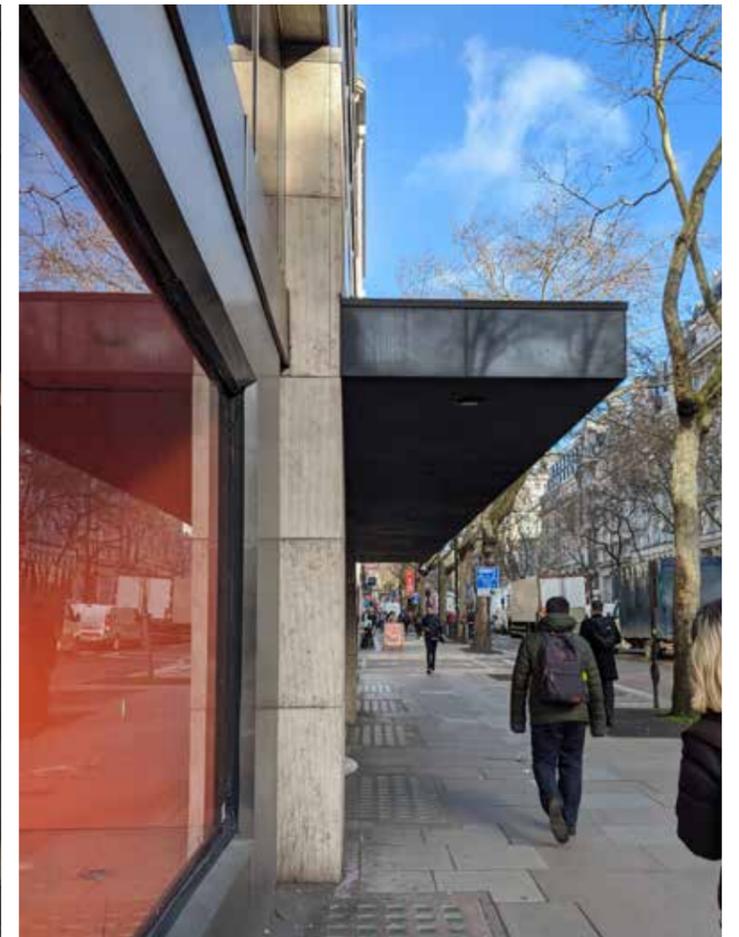


Fig. 2.1.1 Existing Concrete Piers Photos

Fig. 2.1.2 and 2.1.3 reflect the demolition scope approved under the planning permission (ref. 2021/1058/P) and subsequent non-material amendments and Section 19 (ref. 2022/0740/L) permissions at Space House. In both drawings the concrete ribbed piers in Kingsway east elevation are being retained.

The concrete piers have been removed and disposed by error during the enabling works period. The proposal is to reinstate the concrete piers to replicate the concrete panel sizes and finish. See Fig. 2.1.4 and 2.1.5 for additional demolition location and Fig. 2.1.6 for concrete ribbed piers reinstatement proposal.

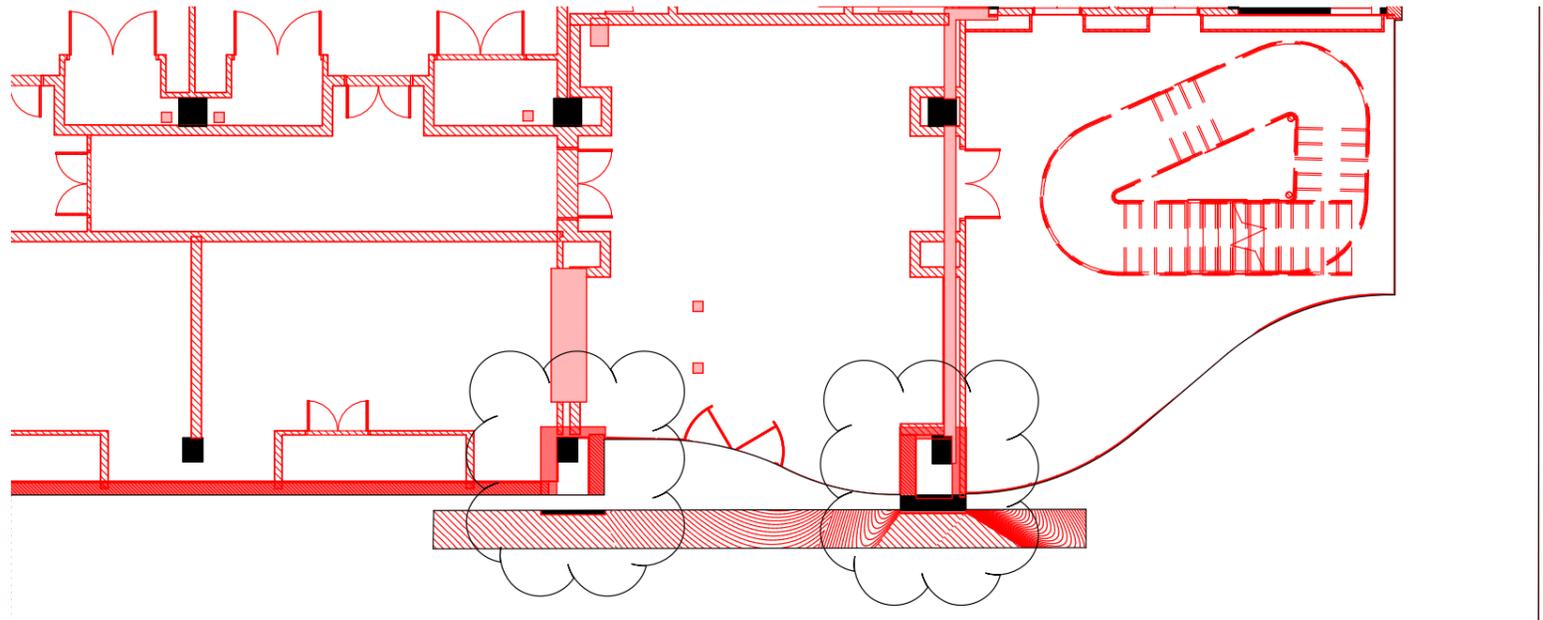


Fig. 2.1.2 Consented Ground Floor Demoliton Plan - Existing Concrete Piers Location

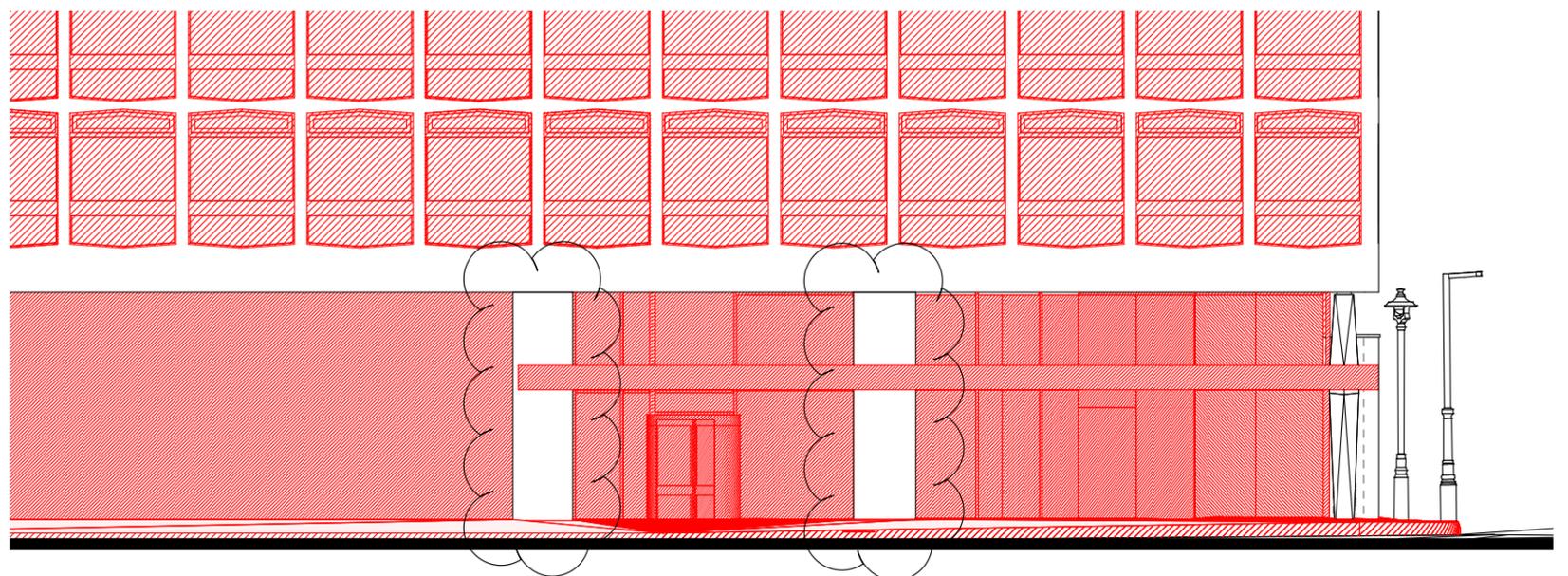


Fig. 2.1.3 Consented East Elevation Demolition - Existing Concrete Piers Location

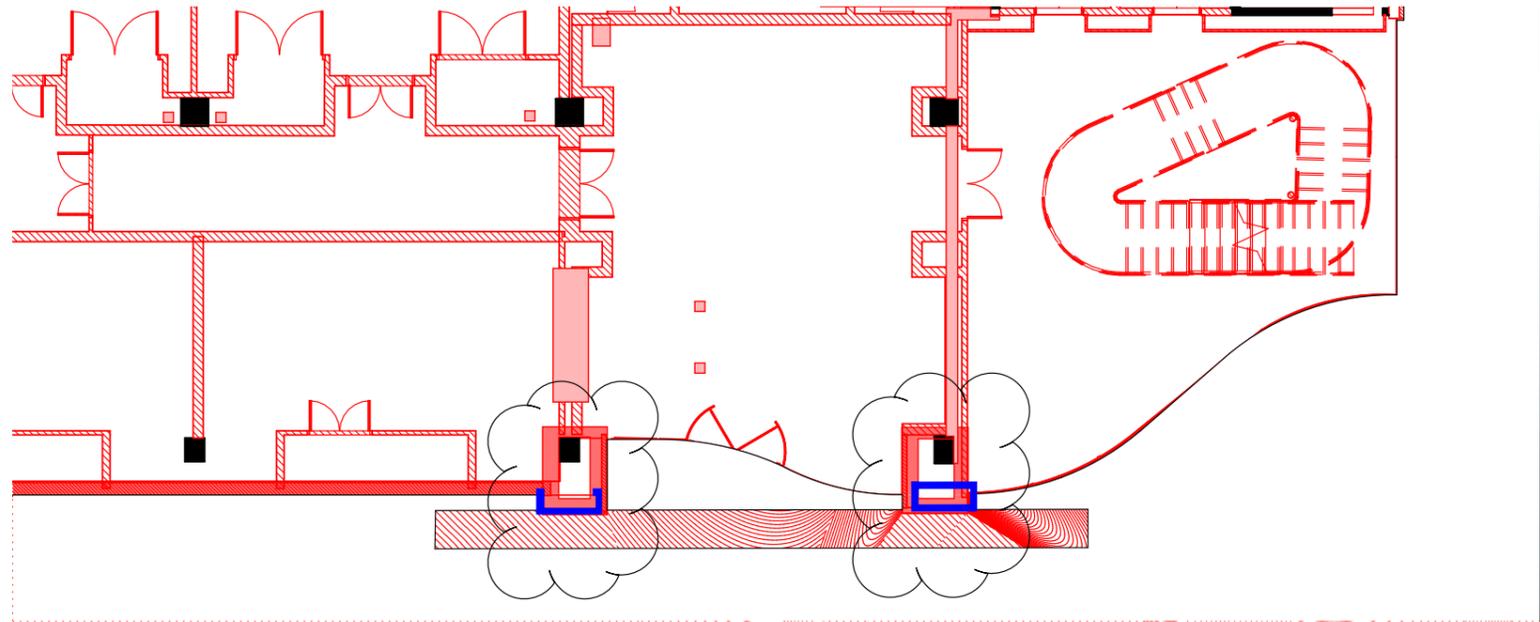
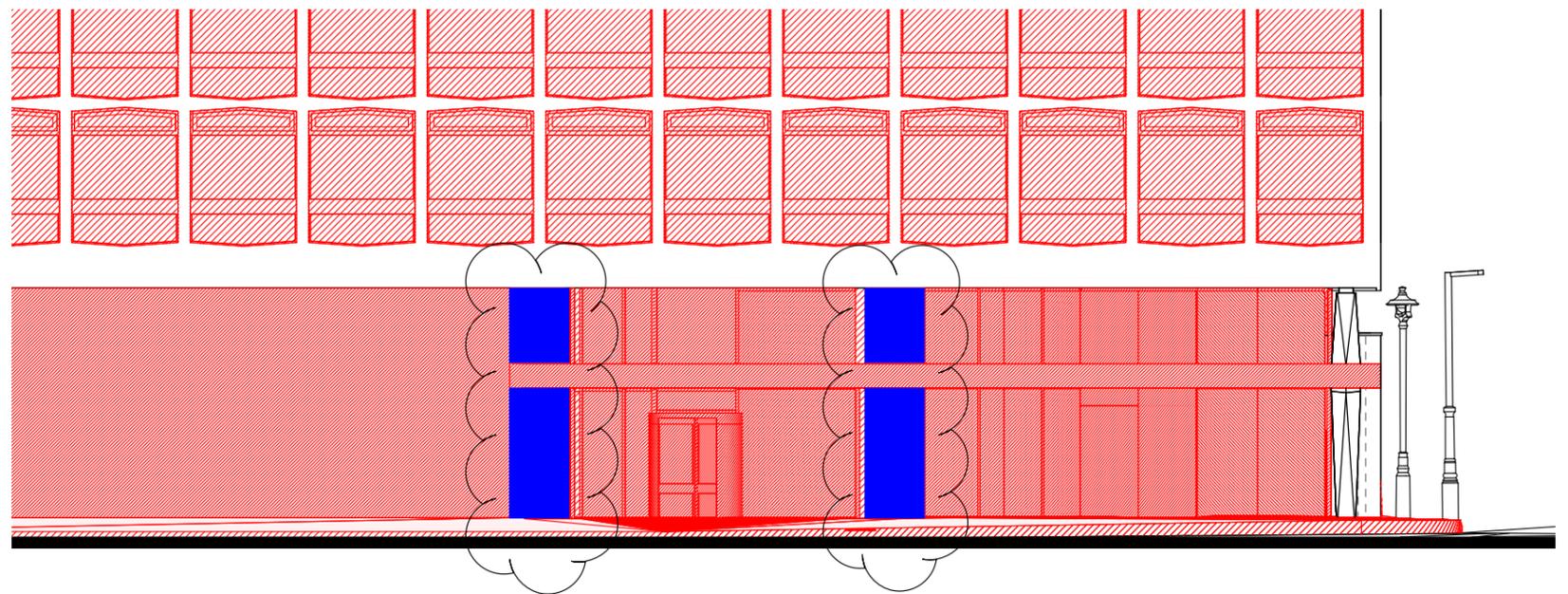


Fig. 2.1.4 Proposed Amendments - Consented Ground Floor Plan Demolition



Legend:



Consented demolition



Proposed additional demolition

Fig. 2.1.5 Proposed Amendments - Consented East Elevation Demolition

Fig. 2.1.6 and 2.1.7 reflect the proposed scope approved under the planning permission (ref. 2021/1058/P) and subsequent non-material amendments and Section 19 (ref. 2022/0740/L) permissions at Space House. Fig. 2.1.8 and 2.1.9 reflect the proposed amendments to the consented design.

Fortunately prior to removal, a mould was undertaken of the concrete existing pattern which will assist with replicating the existing finish. Refer to Fig. 2.1.10 for concrete ribbed piers reinstatement proposal.

Concrete panel sizes and finish will be submitted under planning condition 3LBC e). Sample can be provided to Camden for inspection prior to the condition report formal issue.

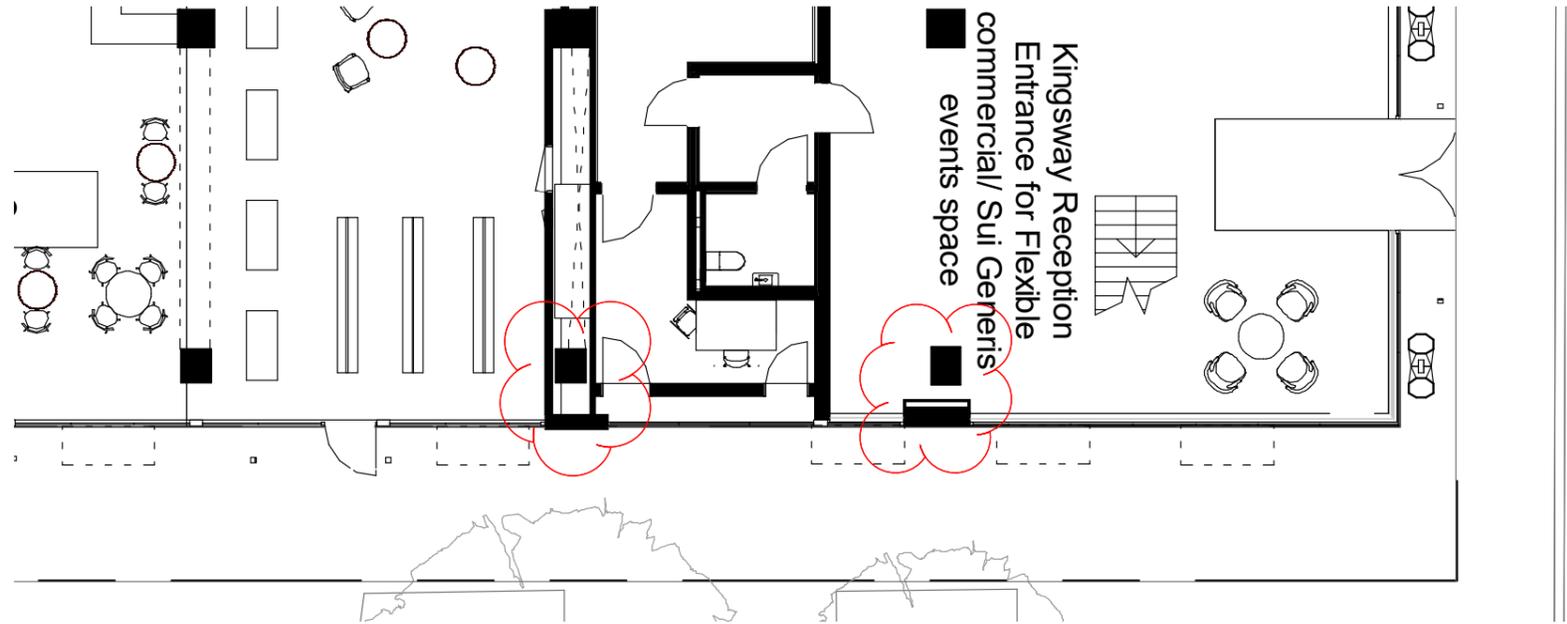


Fig. 2.1.6 Consented Ground Floor Plan - Existing Concrete Piers Location



Fig. 2.1.7 Consented East Elevation - Existing Concrete Piers Location

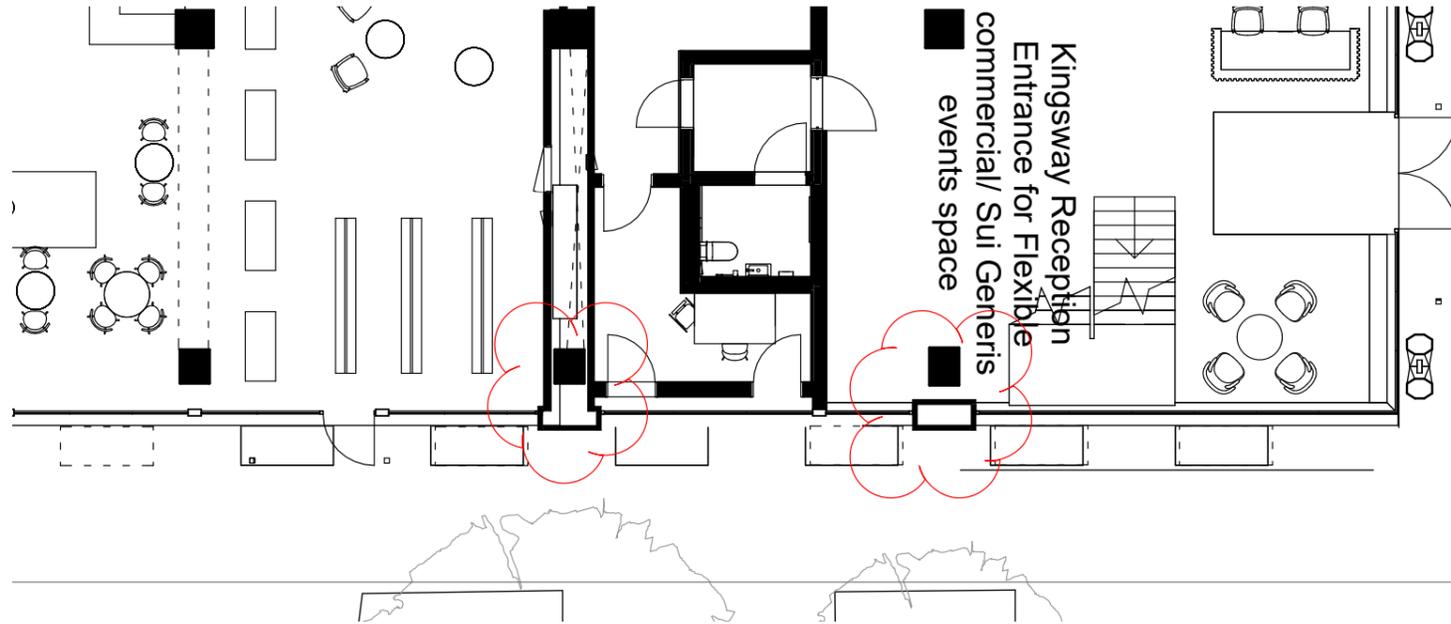


Fig. 2.1.8 Proposed Amendments - Consented Ground Floor Plan

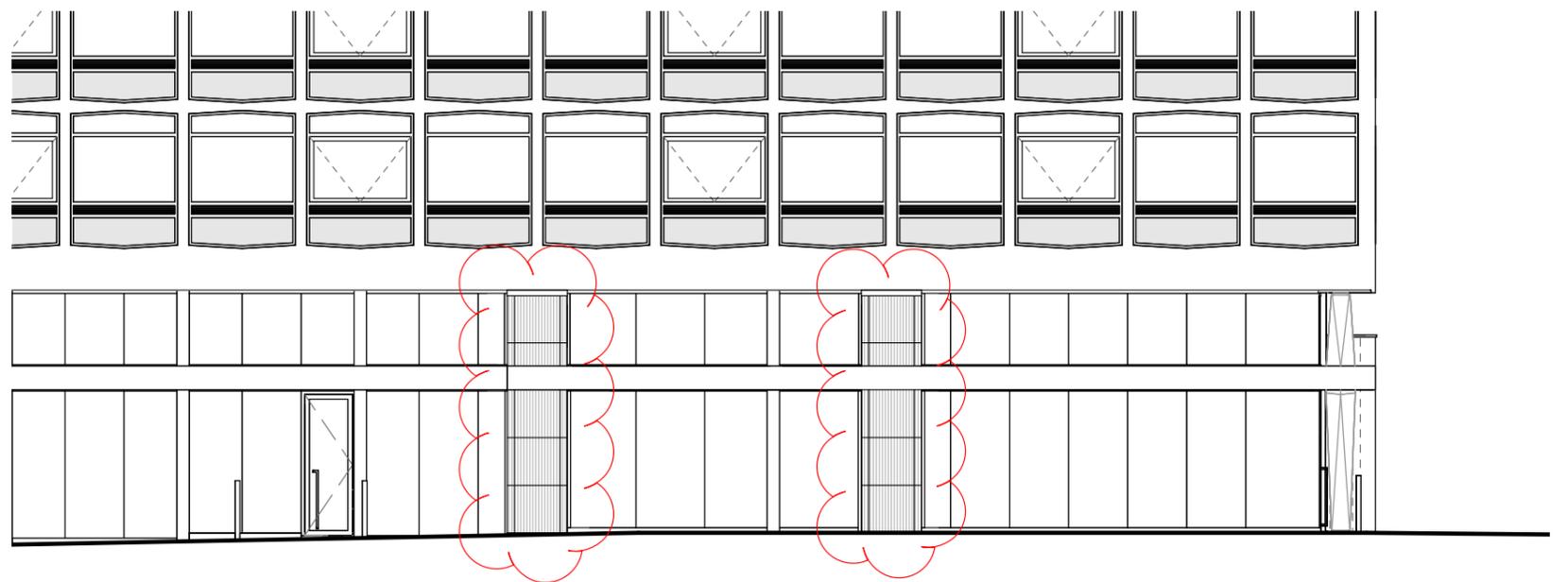
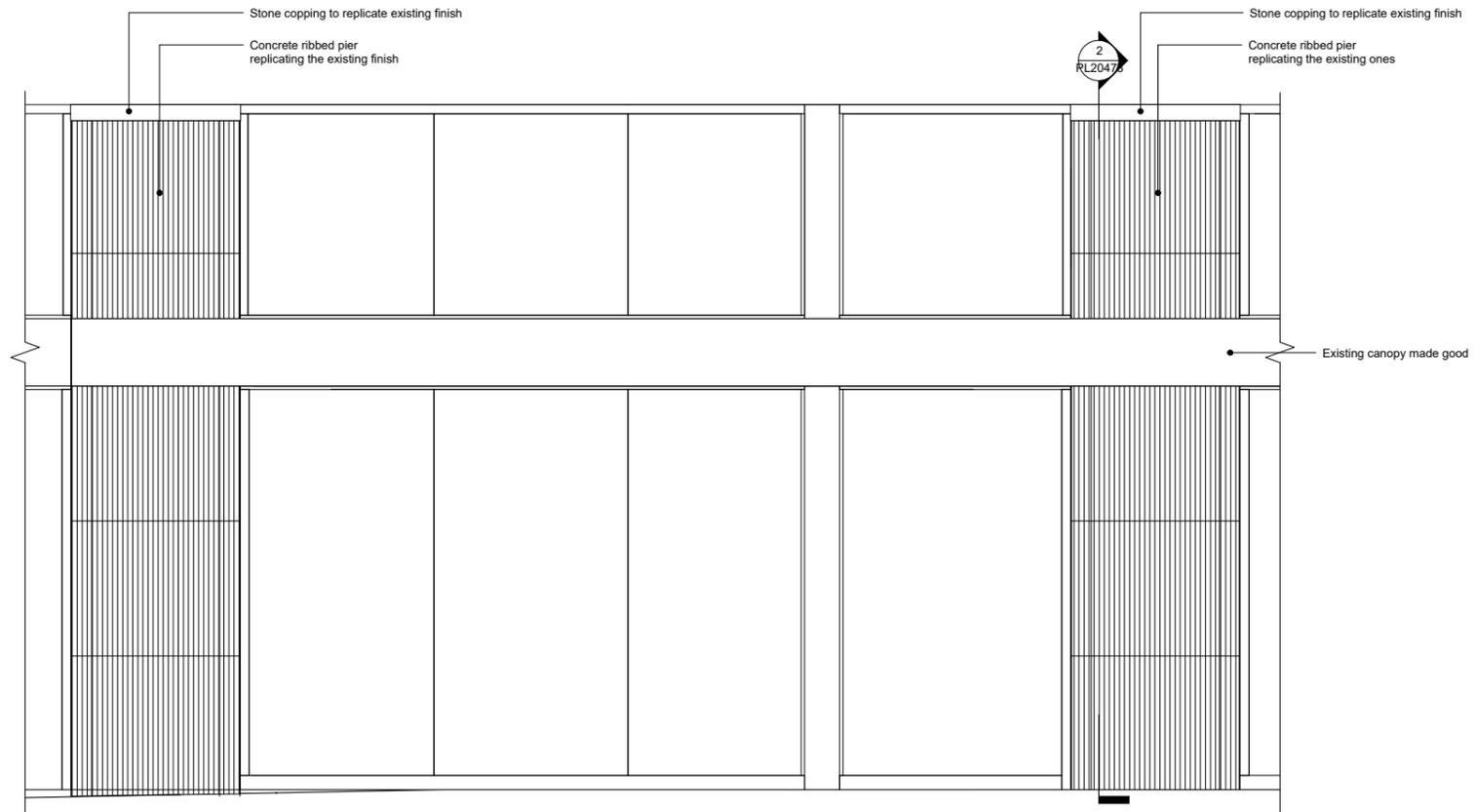
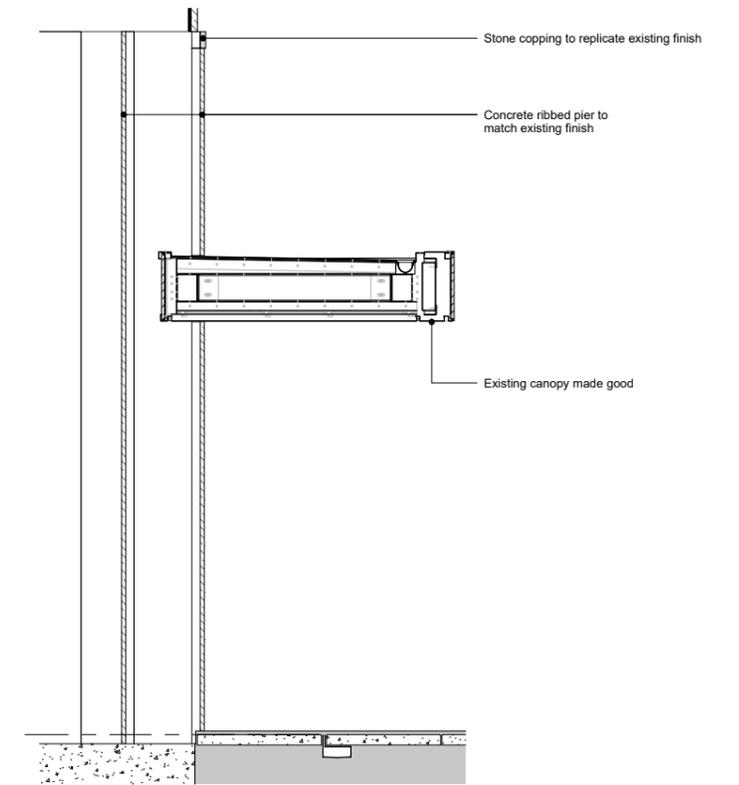


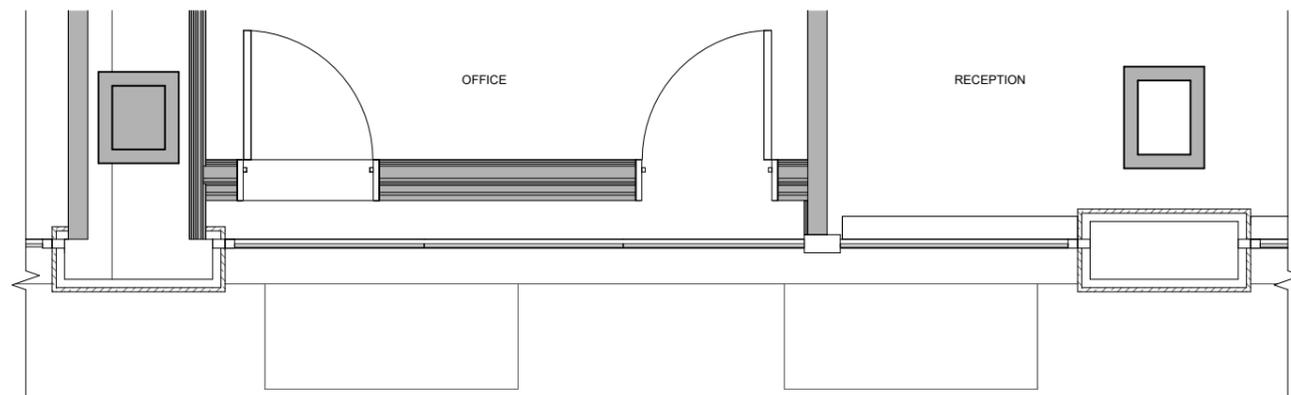
Fig. 2.1.9 Proposed Amendments - East Elevation



3 East Facade Elevation - Proposed Concrete Piers
1 : 25



2 East Facade Cross Section - Proposed Concrete Pier
1 : 25



1 East Facade Plan - Proposed Concrete Piers
1 : 25

Fig. 2.1.10 Proposed Concrete Ribbed Piers Design

3.0 Appendices

Clean and bubbled demolition drawings