



Proposed creation of roof terrace

240 Finchley Road, London NW3 6DJ

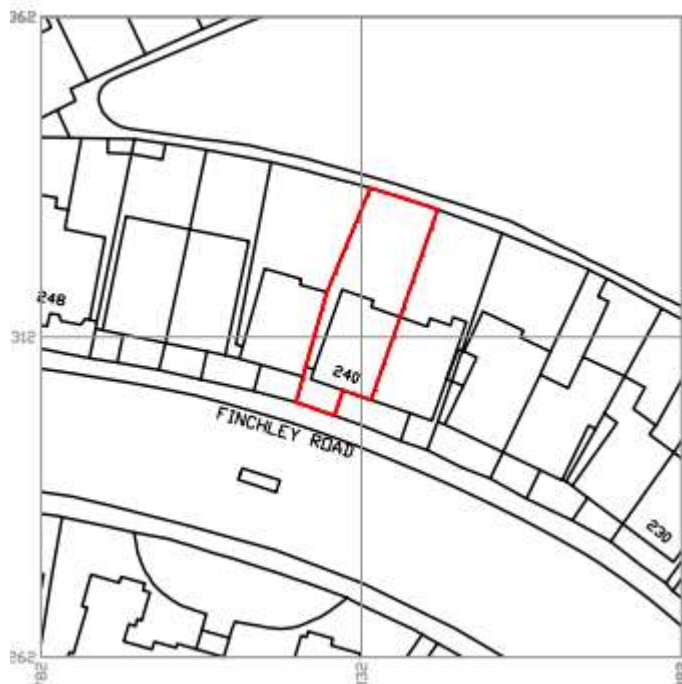
Planning and Heritage Statement

Application Site

The application site relates to a large semi-detached properties with 3 storeys. The property has a larger garden which is for the exclusive use of the ground floor flat. The property is constructed with red brick and has a roof dormer and white UPVC windows and doors. The surrounding residential properties have similar design, colour, and style.

The property is adjoined to number 238, and number 242 which is separated from the building by approximately 2.5 metres. The property is within a Conservation Area.

Figure 1: Site Location Plan



The Proposal

The applicant is seeking full planning permission for a roof terrace on the second floor of 240 Finchley Road, London. The proposal will include the creation of an obscure toughened glass balustrade of 1.8m in height on the roof. There will be no changes or alterations or extensions to the property.

Figure 2: Proposes Elevation



Planning History:

None relevant.

Planning Policies:

The following policy and guidance documents are recognised as primary considerations for the decision of the associated application at the site location:

National Planning Policy Framework (NPPF-2021)

National Planning Practice Guidance

London Plan (2021)

- D1: London's Form, Character, and Capacity for Growth
- D3: Optimising Site Capacity through the design-led approach
- D4: Delivering Good Design
- D6: Housing Quality and Standard
- HC1: Heritage, Conservation, and Growth

Camden Local Plan (2017)

- Policy G1: Delivery of Growth
- Policy A1: Managing the Impact of Development
- Policy D1: Design
- Policy D2: Heritage

Supplementary Planning Document

- Design 2021

- Amenity 2021
- Fitzjohns/Netherhall Conservation Area Appraisal and Management Strategy
- West End to Finchley Road: Principles for a new place

Assessment:

Paragraph 8 of the NPPF explains that achieving sustainable development means that the planning system has overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):

i) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation, and improved productivity; and by identifying and coordinating the provision of infrastructure;

ii) a social objective – to support strong, vibrant, and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering well-designed, beautiful, and safe places, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and

iii) an environmental objective – to protect and enhance our natural, built, and historic environment, including making effective use of land, improving biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.

Camden's local plan and Design CPG encourage the provision of private outdoor space. To improve quality of life and promote sustainability, the applicant seeks to create a roof terrace on the second floor of 240 Finchley Road, London. The property has a flat roof to the rear. The existing garden space is solely for the ground floor flat. The proposed work will include the creation of an obscure toughened glass balustrade of 1.8m in height on the roof. There will be no changes or alterations or extensions to the property.

NPPF paragraph 130 and policy D4 of the London Plan require that development should be visually attractive as a result of good architecture and layout and therefore should be sympathetic to local character, including the surrounding built environment, while not preventing or discouraging appropriate innovation or change.

In addition, Camden Local Plan Policy D1 requires that all new development must respect local context and character, integrates well with the surrounding environment, incorporate outdoor amenity space, which is compatible with local views, preserve protected views and preserve or enhance the significance of the historic environment and the setting of heritage assets. The proposal is a non a noise generating development and therefore there are no issues relating to noise and vibration.

The design CPG requires that terraces complement and not impact the elevation upon which it is located, materials match existing materials, not reduce daylight and sunlight, and do not necessarily cover the entire roof space and setback to minimise overlooking.

The property is a semi-detached with a taller front elevation of approximately 13 metres and a lower rear elevation of approximately 9.5 metres. This is similar to neighbouring properties. The proposed roof terrace is carefully designed to the rear of the property and does not cover the entire roof space. As a general rule, extensions or alterations should be confined to the rear. The proposed terrace will include a 1.8metres obscure toughened glass balustrade with no openable window which will reduce overlooking and not be taller than the roofline. Property number 242 to the northwest is approximately 2.5metres away from the proposed site and is angled away from the application property with its rear windows facing away from the boundary.

This will also reduce overlooking and privacy to neighbouring property. The materials and detailing will be complementary to those of the existing building. The proposed terrace will not be visible from the front elevation or the public highway and therefore does not impact the street scene.

In conformity to Amenity CPG, Policy A1, and D1, the proposal will not be detrimental loss of daylight and sunlight to existing and adjacent occupiers as the existing skylight will not be touched or the balustrade block sunlight or daylight. The position of the terrace and obscure nature of the glass balustrade will not result in any loss of privacy and outlook due to the size, scale, and design of the proposed work.

The development respects local character and context and therefore complies with Policy D1. It would also make efficient use of land, paragraph 124 of the NPPF (in part) states that planning policies and decisions should support development that makes efficient use of land, taking into account the desirability of maintaining the areas prevailing character and setting (including residential gardens) or of promoting regeneration and change.

Camden has rich and diverse heritage assets and their settings, including conservation areas and in accordance with policy D2, development within conservation areas should preserve or,

where possible, enhance the character or appearance of the area. The property is located in Fitzjohns/Netherhall Conservation Area. The area is identified as high quality with strong linear emphasis and large number of flats.

The proposal will only include the use of obscure toughened glass balustrade which will not significantly impact the conservation area. The balustrade is not visible to the front elevation and would not disrupt the attractive appearance of buildings and streetscapes in the area. No other changes will be made to the property. The size of the proposed terrace is minimal, and the location and design will reduce the impact on existing neighbouring properties. The proposed work will be located on the second floor forming a uniform design with the neighbouring properties. Materials to be used for the proposed works will be sympathetic. The proposed works would not harm the setting or character of the existing buildings and wider area.

The application proposals comprise a sustainable form of development that is entirely consistent with the policy aims at national and local levels. The benefits of the scheme, therefore, meet the principle in the NPPF to improve the economic, social, and environmental conditions of an area through sustainable development.

In summary, the development constitutes appropriate development in the location and conforms to all applicable planning policies.

Conclusion:

Following a review of the applicable policy for this application and all material considerations, it is of our professional view that the development is in compliance with all applicable policies as illustrated above. The development is appropriate development that is not harmful to the character or appearance of the surroundings.

We see no reason for the council to refuse our request for planning approval and kindly request for a timely decision to be made in line with applicable guidance of the NPFF.

Should any further information be requested to assist in the council's assessment of the proposal, please do not hesitate to contact me directly.

Thank you,

Kind regards,

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APPENDICES









