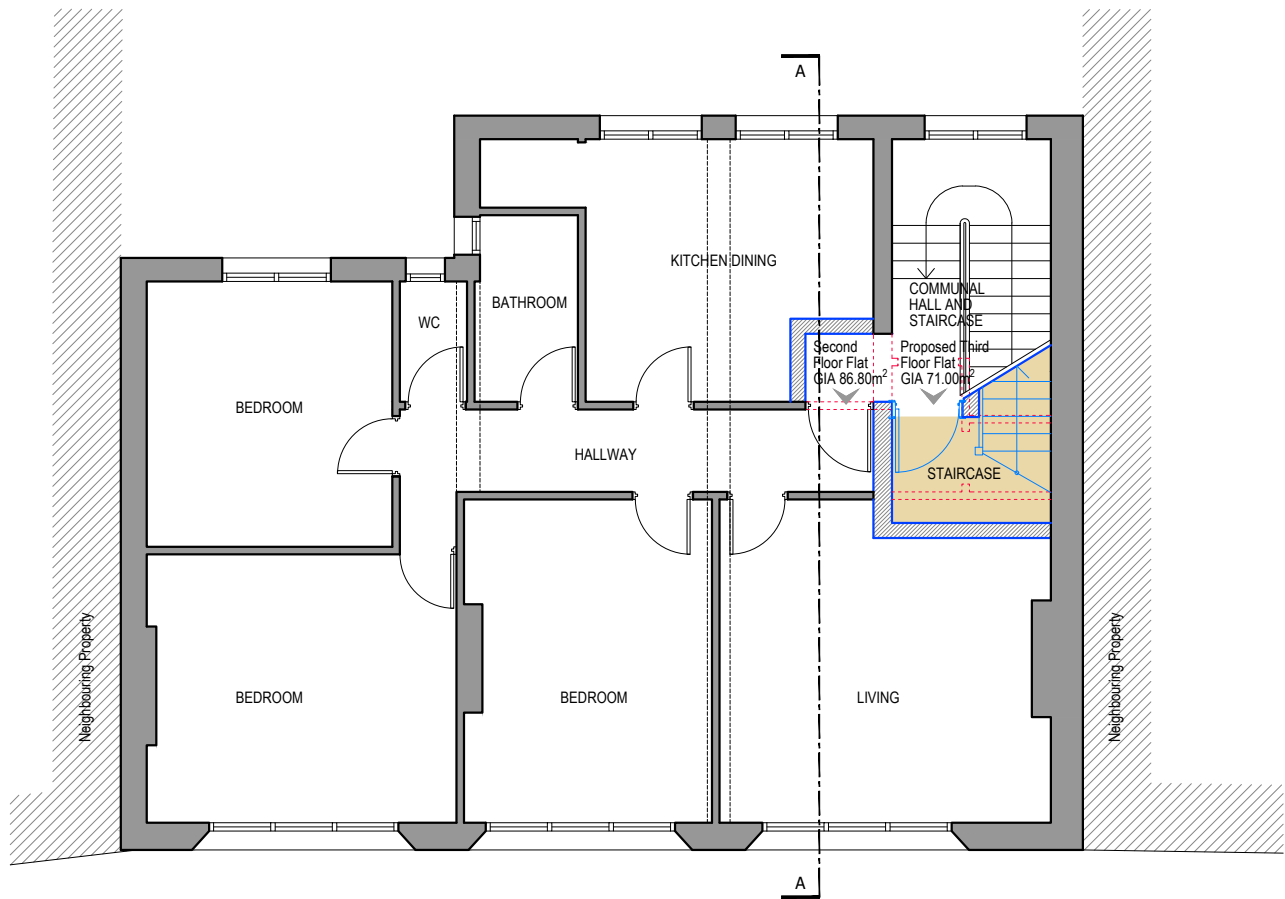
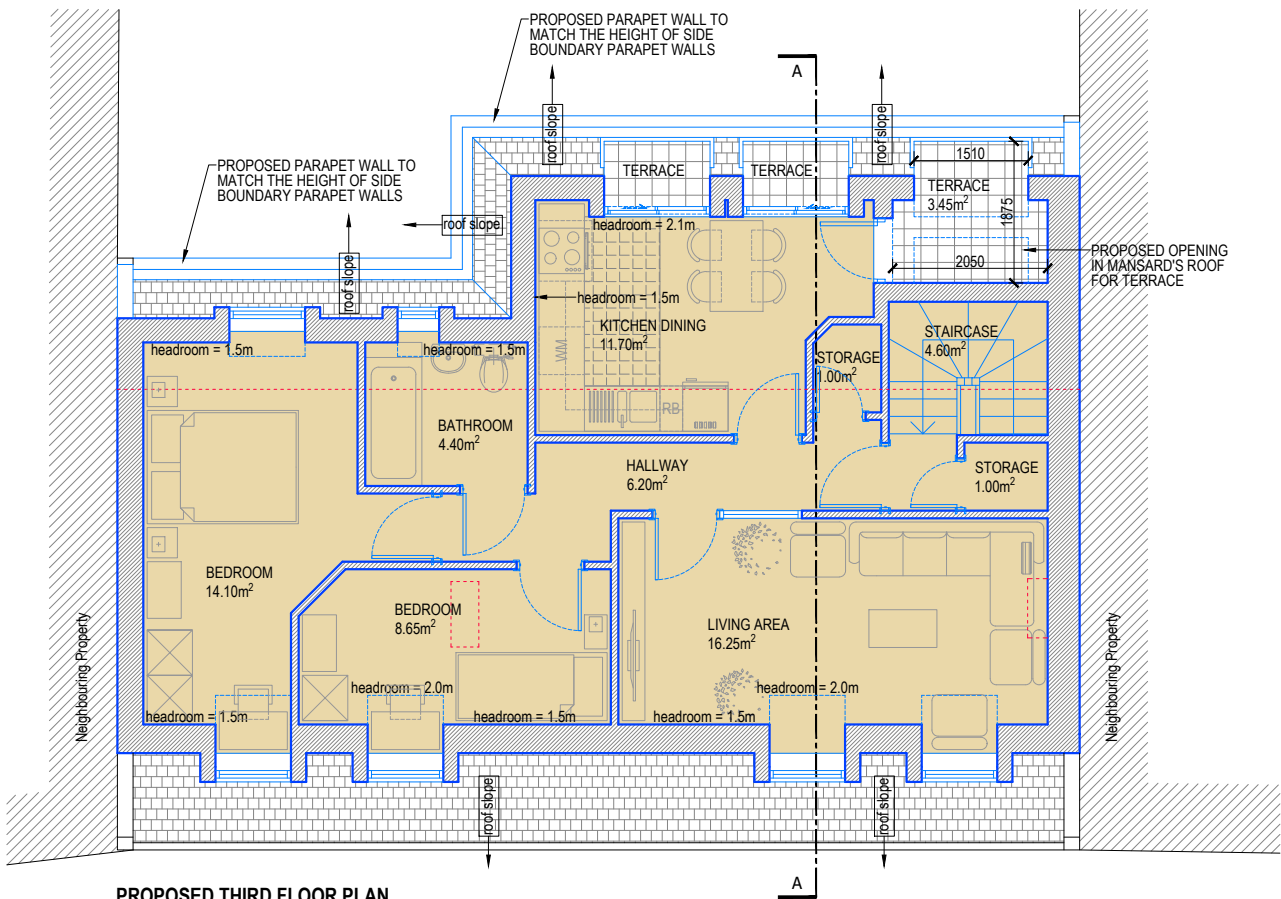


**PROPOSED GROUND FLOOR
ENTRANCE AREA FOR UPPER FLOORS**
scale 1:100



PROPOSED SECOND FLOOR PLAN
scale 1:100
GIA = 99.85 m²



PROPOSED THIRD FLOOR PLAN
scale 1:100
GIA = 74.05m²

NOTES - GIA CALCULATIONS:
ALL GROUND INTERNAL AREAS AND ROOMS' AREAS HAVE BEEN CALCULATED AT A MINIMUM HEADROOM OF 1.50 METRES, ACCORDING TO **TECHNICAL HOUSING STANDARDS - NATIONALLY DESCRIBED SPACE STANDARD.**

NOTES - BICYCLE PARKING / STORAGE:
WALL MOUNTED FOLDING BICYCLE RACKS, FOR 2 BICYCLES FOR THE NEW RESIDENTIAL FLAT, TO BE INSTALLED IN THE COMMUNAL ENTRANCE HALL AT GROUND FLOOR LEVEL.

NOTES - WASTE / RECYCLING:
WASTE AND RECYCLING TO BE MANAGED AS EXISTING WITH PAVEMENT DROP-OFF AS PER LOCAL AUTHORITY'S ARRANGEMENTS.

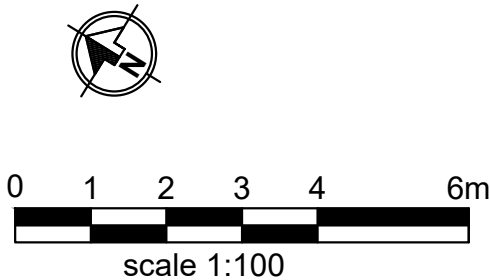
EXISTING FLATS LEGEND:
SECOND FLOOR FLAT - GIA = 91.90 m²

PROPOSED FLATS LEGEND:
SECOND FLOOR FLAT - GIA = 86.80 m²

PROPOSED THIRD FLOOR FLAT
TWO BEDROOM FLAT - 3 PERSONS
GIA = 71.00m²

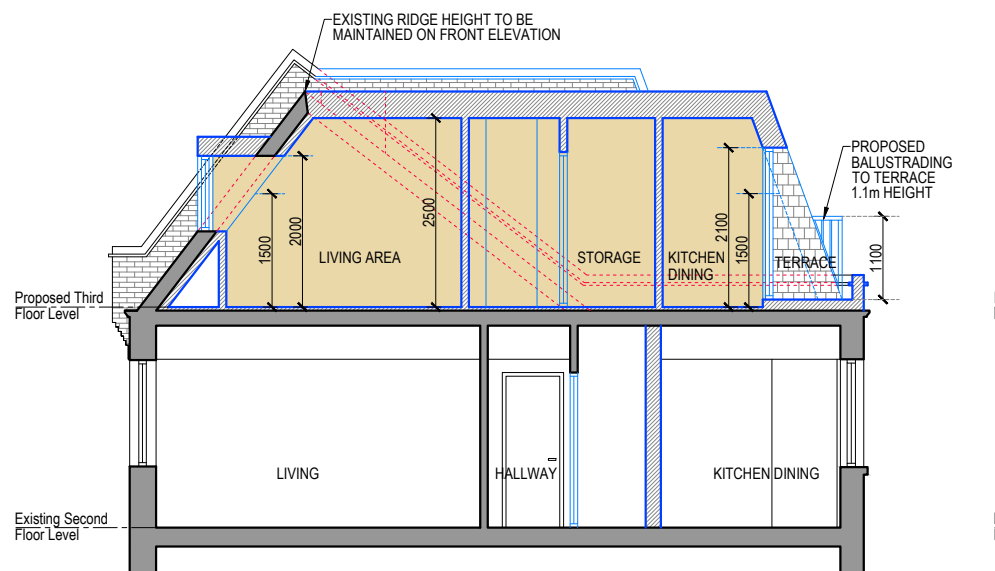
WALLS / CEILINGS LEGEND:
EXISTING WALLS / CEILINGS
PROPOSED WALLS / CEILINGS
WALLS / PARTITION TO BE REMOVED

LINES / HATCHES LEGEND:
REMOVING INTERVENTIONS
PROPOSED INTERVENTIONS
NEIGHBOURING PROPERTIES

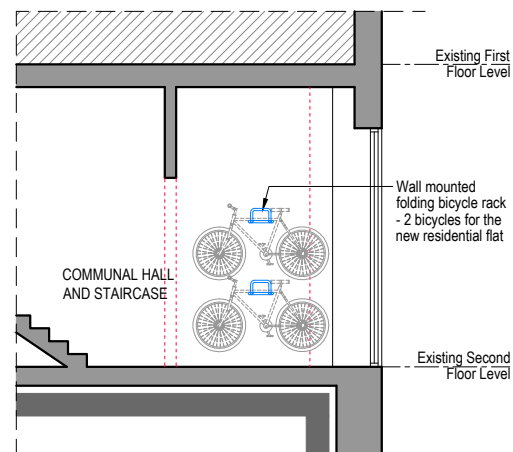


Notes
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3- Dimensions are not to be scaled directly from drawings other than for Planning Purposes.
4- All dimensions are to be checked on site and the Architect is to be informed of any discrepancies before construction commences.
5- All references to drawings refer to current revision of that drawing.
6- The Copyright of this drawing belongs to Archpl Ltd.

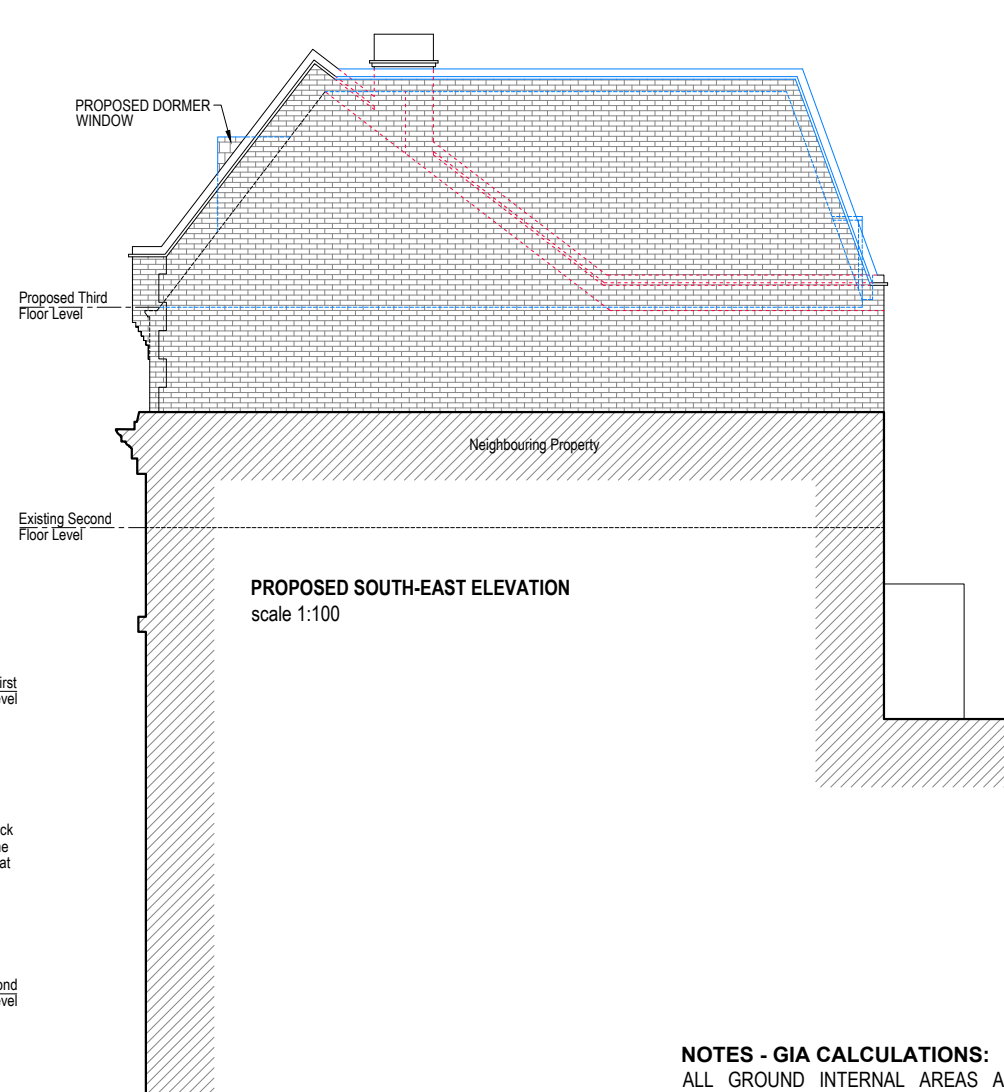
Rev.	Date	Revisions
PLANNING		
 ARCH ARCHITECTURAL DESIGN STUDIO 400 West Green Road, West Green, London, N15 3PX Tel: 07842410527 Web: www.archpl.co.uk		
Client Cjon Properties		
Project 270-272 Kilburn High Road, NW6 2BY		
Scale	1/100 @A3	Date 09/2022
Drawn By	AEC	Checked By AEC
Project No.	22059	Drawing No. A104
Drawing title		Proposed Ground, Second and Third Floor Plans



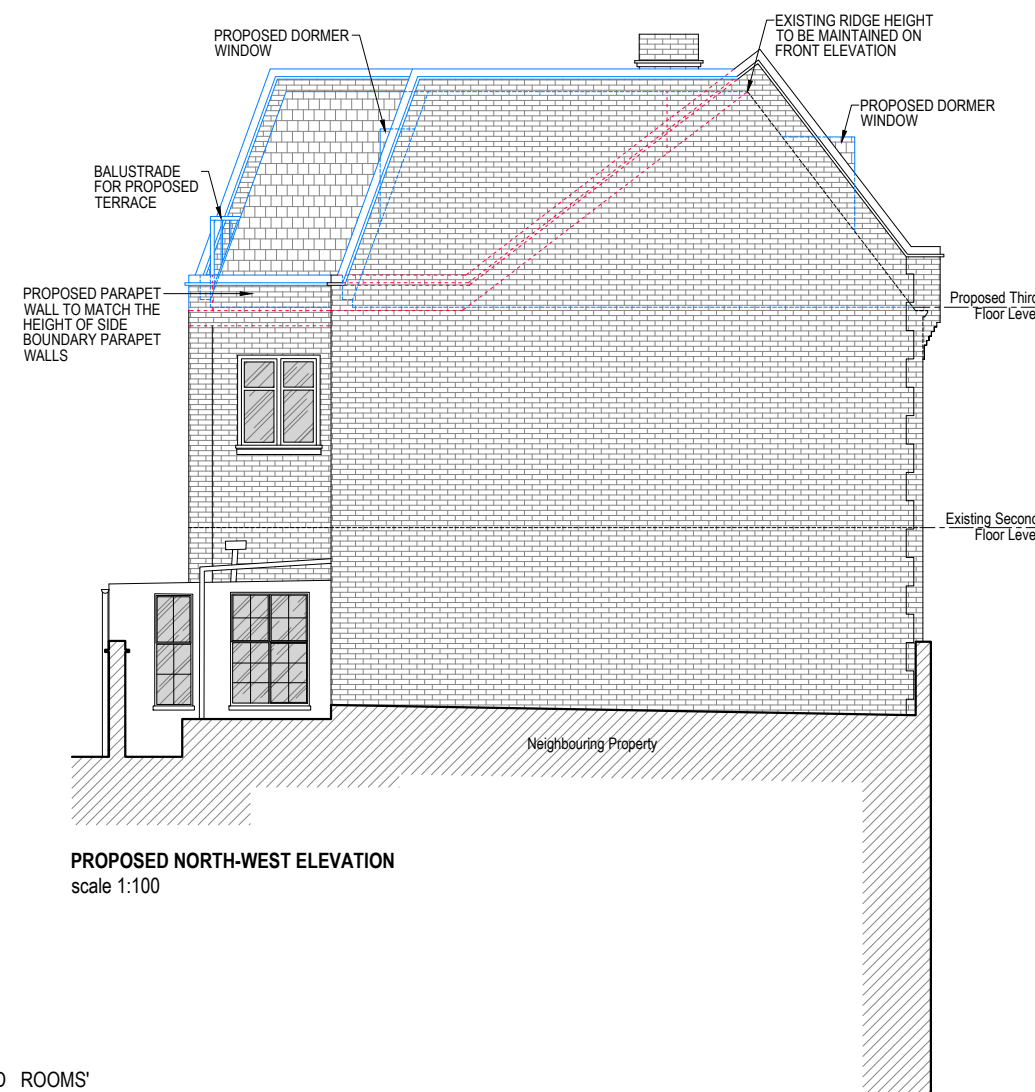
PROPOSED SECTION A-A
scale 1:100



PROPOSED SECTION B-B
scale 1:100



PROPOSED SOUTH-EAST ELEVATION
scale 1:100



PROPOSED NORTH-WEST ELEVATION
scale 1:100

NOTES - GIA CALCULATIONS:
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NOTES - BICYCLE PARKING / STORAGE:
WALL MOUNTED FOLDING BICYCLE RACKS, FOR 2 BICYCLES FOR THE NEW RESIDENTIAL FLAT, TO BE INSTALLED IN THE COMMUNAL ENTRANCE HALL AT GROUND FLOOR LEVEL.

NOTES - WASTE / RECYCLING:
WASTE AND RECYCLING TO BE MANAGED AS EXISTING WITH PAVEMENT DROP-OFF AS PER LOCAL AUTHORITY'S ARRANGEMENTS.

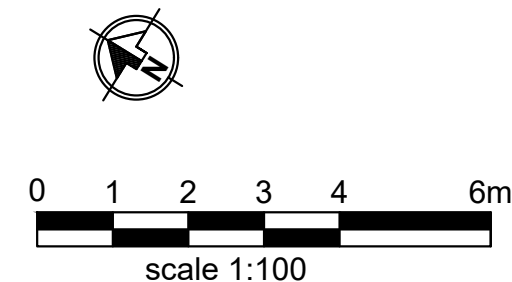
EXISTING FLATS LEGEND:
SECOND FLOOR FLAT - GIA = 91.90 m²

PROPOSED FLATS LEGEND:
SECOND FLOOR FLAT - GIA = 86.80 m²

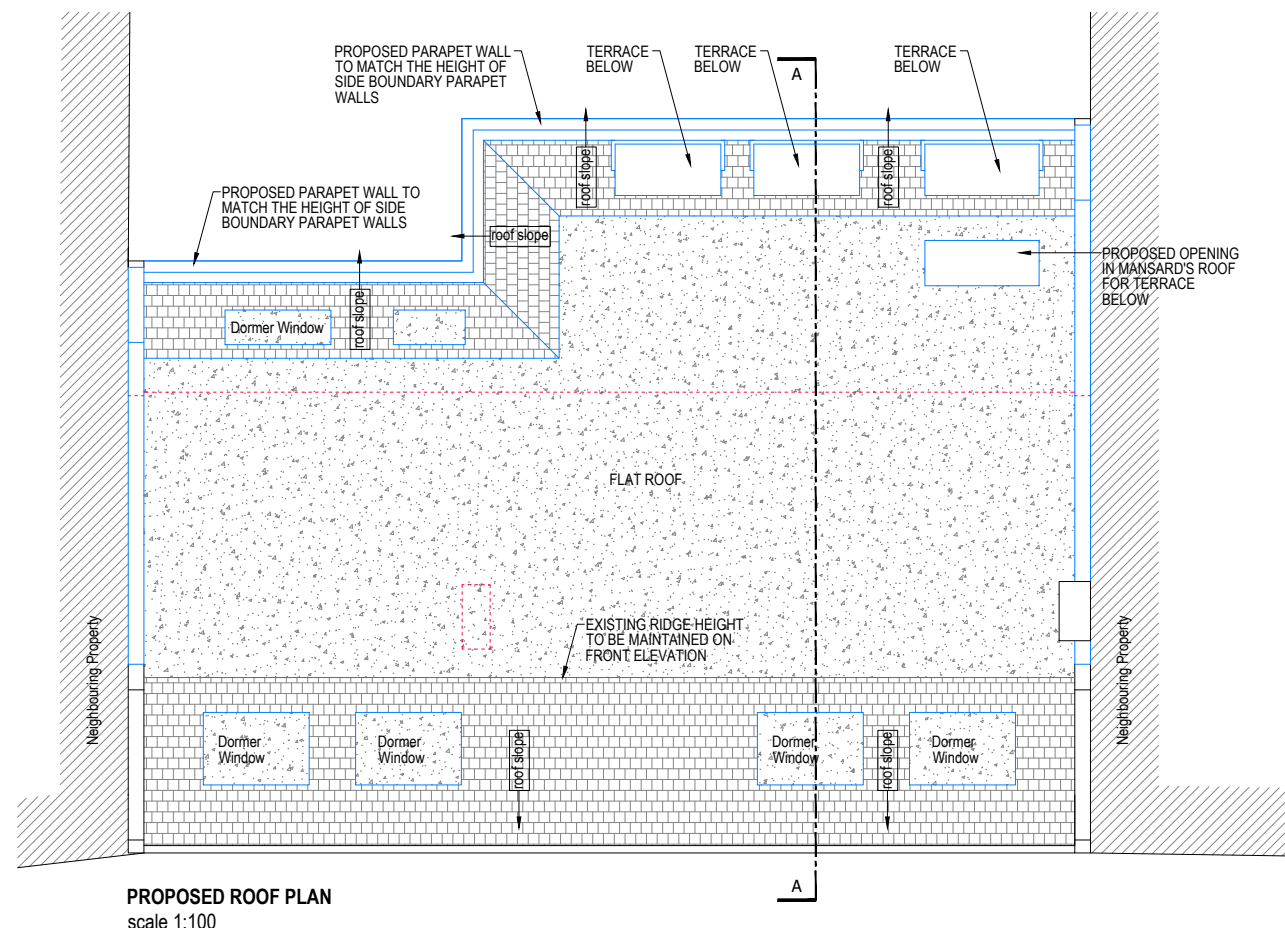
PROPOSED THIRD FLOOR FLAT
TWO BEDROOM FLAT - 3 PERSONS
GIA = 71.00m²

WALLS / CEILINGS LEGEND:
EXISTING WALLS / CEILINGS
PROPOSED WALLS / CEILINGS
WALLS / PARTITION TO BE REMOVED

LINES / HATCHES LEGEND:
REMOVING INTERVENTIONS
PROPOSED INTERVENTIONS
NEIGHBOURING PROPERTIES



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PROPOSED ROOF PLAN
scale 1:100

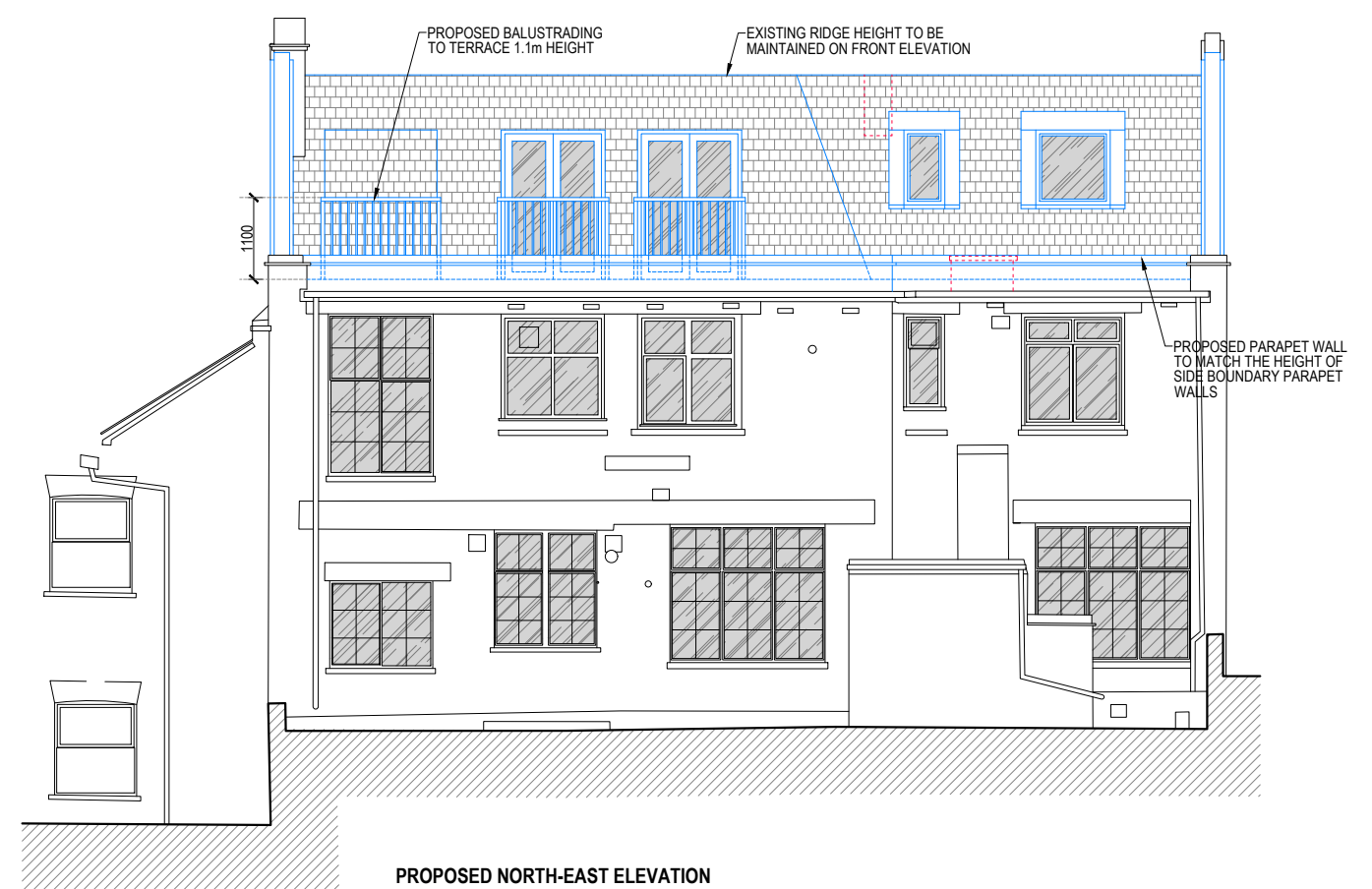
Rev.	Date	Revisions
PLANNING		
 ARCHITECTURAL DESIGN STUDIO 400 West Green Road, West Green, London, N15 3PX Tel: 07842410527 Web: www.archpl.co.uk		
Client Cjon Properties		
Project 270-272 Kilburn High Road, NW6 2BY		
Scale	1/100 @A3	Date 09/2022
Drawn By	AEC	Checked By AEC
Project No.	22059	Drawing No. A105
Drawing title Proposed Roof Plan, Section A-A and B-B, South-East and North-West Elevations		Revision -



PROPOSED SOUTH -WEST ELEVATION
scale 1:100

NOTES - BICYCLE PARKING / STORAGE:
WALL MOUNTED FOLDING BICYCLE RACKS, FOR 2 BICYCLES FOR THE NEW RESIDENTIAL FLAT, TO BE INSTALLED IN THE COMMUNAL ENTRANCE HALL AT GROUND FLOOR LEVEL.

NOTES - WASTE / RECYCLING:
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PROPOSED NORTH-EAST ELEVATION
scale 1:100

EXISTING FLATS LEGEND:
SECOND FLOOR FLAT - GIA = 91.90 m²

PROPOSED FLATS LEGEND:
SECOND FLOOR FLAT - GIA = 86.80 m²

PROPOSED THIRD FLOOR FLAT
TWO BEDROOM FLAT - 3 PERSONS
GIA = 71.00m²

WALLS / CEILINGS LEGEND:
EXISTING WALLS / CEILINGS
PROPOSED WALLS / CEILINGS
WALLS / PARTITION TO BE REMOVED

LINES / HATCHES LEGEND:
REMOVING INTERVENTIONS
PROPOSED INTERVENTIONS
NEIGHBOURING PROPERTIES

NOTES - GIA CALCULATIONS:
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0 1 2 3 4 6m
scale 1:100

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Rev.	Date	Revisions
PLANNING		
 ARCH ARCHITECTURAL DESIGN STUDIO 400 West Green Road, West Green, London, N15 3PX Tel: 07842410527 Web: www.archpl.co.uk		
Client Cjon Properties		
Project 270-272 Kilburn High Road, NW6 2BY		
Scale	1/100 @A3	Date 09/2022
Drawn By	AEC	Checked By AEC
Project No.	Drawing No.	Revision
22059	A106	-
Drawing title Proposed South-West and North-East Elevations		