

# HERITAGE AND DESIGN & ACCESS STATEMENT

On the property known as

Lion & Unicorn  
42-44 Gaisford Street  
London, NW5 2ED

For

Young & Co.'s Brewery PLC  
Copper House, 5 Garratt Lane  
Wandsworth, London  
SW18 4AQ



## Design & Access Statement

### Introduction:

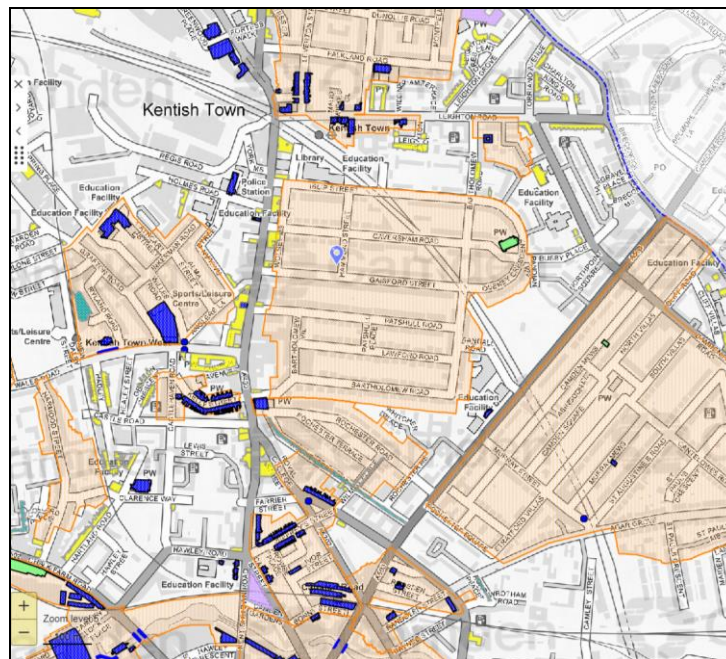
PSE Associates has been instructed to compile this statement and issue the required planning applications on behalf of Young and Co's Brewery, for the proposed corporate signage branding at the Lion and Unicorn, 42-44 Gaisford Street, London, NW5 2ED.

The application is submitted to Camden Local Planning Authority.

The orientation of the primary front elevation faces south onto Gaisford Street and the topography of the site is predominantly level.

The adjoining properties are almost entirely made up of domestic properties.

Investigations undertaken with English Heritage listed building register and London Borough of Camden local planning authority (LPA) archives revealed the property to have no listed status but falls within the Bartholomew Estate Conservation Area (CA).



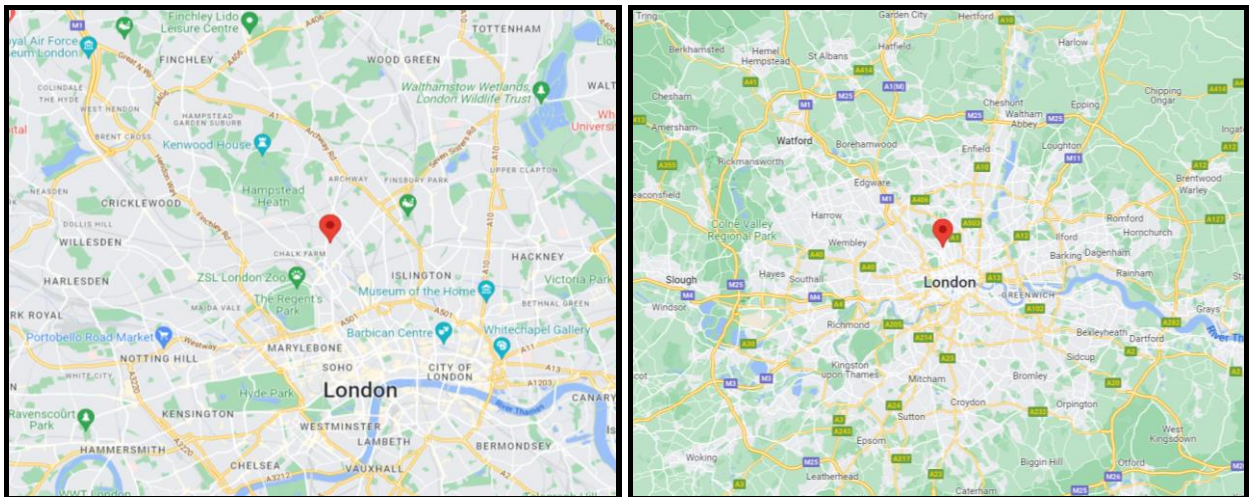
Bartholomew Estate CA, site identified by blue pin

Source: Camden Council.

The property encompasses a large proportion of the curtilage of the site, there are small seating areas located to the front and rear.

## Location

The Lion and Unicorn is nestled behind Kentish Town High Street, offering two award winning gardens and serving locally sourced seasonal menus. There is no customer parking on site with limited on street metered parking. The pub is located some 3.9 miles to the City of London with transport links to the A1, A10 and A40. The nearest train station is Kentish Town (0.2 miles) and the site has good links to public transport.



Source: Google Maps

As the proposals for this application are all external and very minor, replacing existing branded signage with new, the impact on the conservation area would be in the Agents view deemed insignificant and does not detract from the asset and its surrounding area and that the proposals will cause no harm, rather will enhance the character and appearance of the Conservation Area.

Use: The site is currently used as a public house operated by Young & Co's as a managed house under the Geronimo branding and has use class orders of A3 and A4. As it is proposed that the property is to be rebranded and traded as a Young & Co's managed site, it requires branding in the Young's corporate signage to match that found on all the other managed site portfolio across England.

Amount: The proposals are to address the current outdated and unbranded exterior signage. There is some minor dilapidation, soiling and dirty paintwork to the existing signage.

Consideration to enhancing the visiting customers experience can only improve efficiency and success of the business.

The proposals signage changes are:

- 1no. new small sized entrance plaque denoting the ground floor primary entrance into the property.
- 1no. new small post swing sign pictorial to replace the existing swing sign.

Relevant existing and proposed elevation drawings showing the location of the proposed signage, photomontage and existing signage report showing the sizes and locations of the existing signage have been compiled and included with the application. It is the applicant intention to enhance the signage by removing the dilapidated and soiled signage, and at the same time rebranding the site along with other high listed status and sites located in significant historical locations.

Scale: The proposals are on a like for like basis. The proposed signage is largely to be kept to the same dimensions as existing.

Layout: A existing ground floor plan has been included within the particulars of this application to assist in the identification of the proposed external works and elevations.

Appearance: As with other historic important Young & Co's sites, some heavily listed and many in conservations areas, it is the client's opinion that the colours and materials selected are sympathetic with the site's setting and historic importance.

Access: Due to the minor nature of the proposals and there being no proposed alterations to the entrances at the property, access into the property is to remain the same.

Site/Property: 42-44 Gaisford Street, London, NW5 2ED.

#### Schedule Ancient Monument

N/A.

#### Archaeologically Sensitive Area

N/A.

#### Listed Building

None

#### Conservation Area

The property falls within the Bartholomew Estate CA

#### AONB

N/A