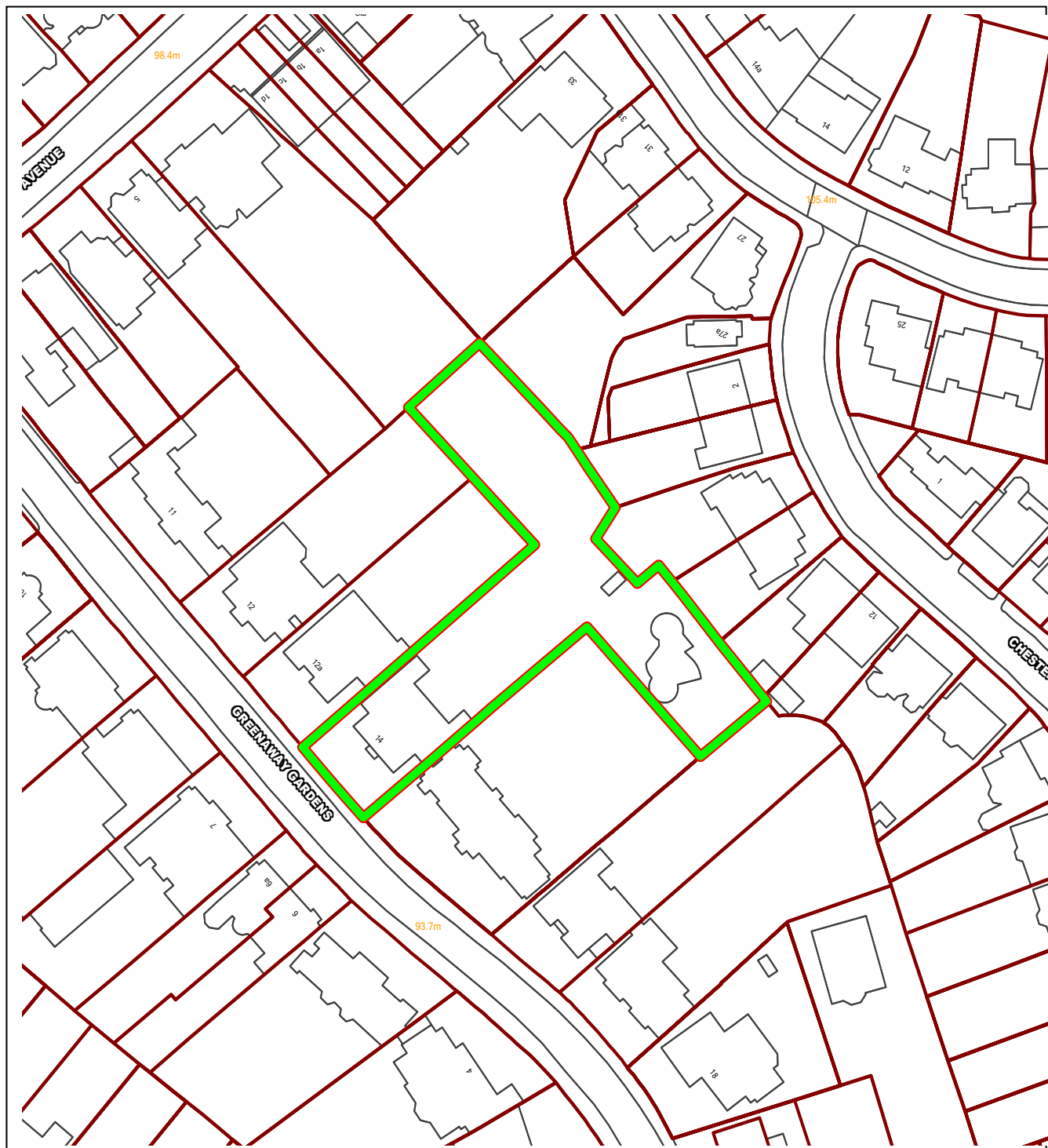


2021/6257/P 14 Greenaway Gardens



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Image 1. Aerial view.



Image 2. Existing front elevation



Image 3. Proposed front elevation



Image 4. Existing Rear elevation



Image 5. Proposed rear elevation

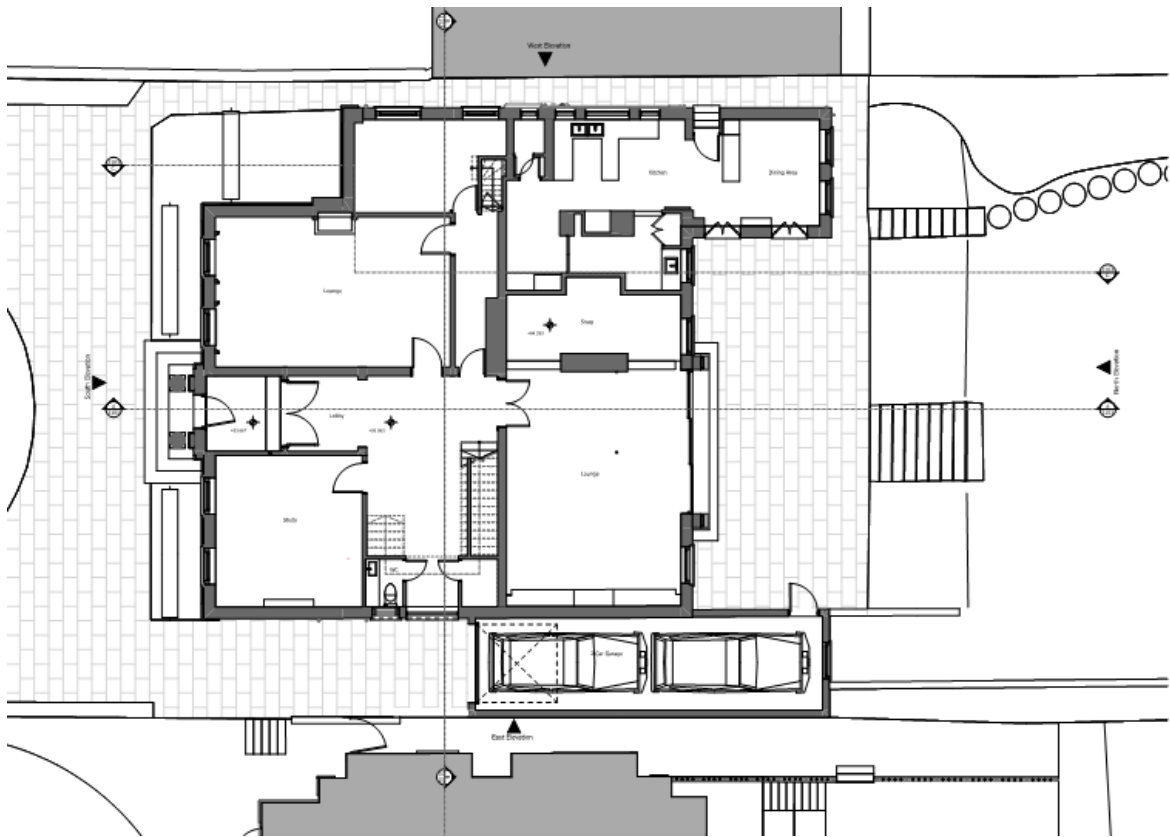


Image 6: Existing ground floor

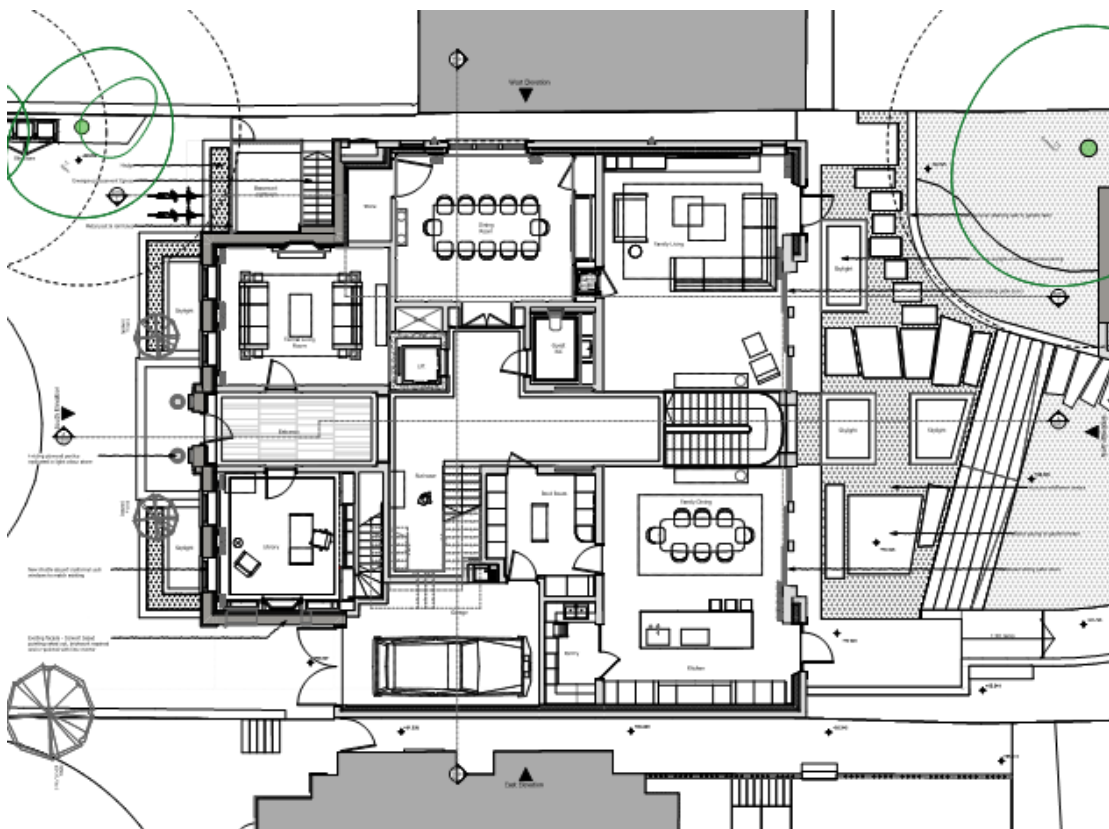


Image 7: Proposed ground floor



Image 8: Existing site plan



Image 9: Proposed site plan

Delegated Report (Members briefing)		Analysis sheet		Expiry Date:	17/02/2022
		N/A		Consultation Expiry Date:	13/03/2022
Officer			Application Number(s)		
Obote Hope			2021/6257/P		
Application Address			Drawing Numbers		
14 Greenaway Gardens London NW3 7DH			Refer to draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Partial demolition of existing dwelling with retention of the front and parts of the side and rear façade and the erection of a basement extension, infill rear extension, various minor changes to the fenestration and other associated works.					
Recommendation(s):		Grant planning permission subject to s106 legal agreement			
Application Type:		Full planning permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:			No. of responses	00	No. of objections	00
Summary of consultation responses:	A site notice was displayed from 16/02/2022 to 12/03/2022 and the application was advertised in the local paper on 17/07/2022 (expiring 13/08/2022). No responses were received from neighbouring residents.					
Redington/Frogna Conservation Area Neighbourhood Forum:	A letter of objection was received on behalf of the Redington/Frogna Conservation Neighbourhood Forum. Their objection comments can be summarised as follows: <ul style="list-style-type: none">• Object to the demolition of the site;• The basement would be contrary to Camden Local Plan Policy for a new dwelling;• The proposal would not enhance or preserve the non-designated asset; and• The minimum soil depth should be 2-3m above basement. Officers comment are as follows: <ul style="list-style-type: none">• For officers comment please see paragraph 2.4• For officers comment please see paragraphs 2.9-3.4• For officers comment please see paragraphs 2.5-2.8• For officers comment please see paragraph 3.5					

Site Description

No. 14 Greenaway Gardens comprises a detached two-storey dwelling, with additional floorspace in the roof and basement, located on the north-eastern side of Greenaway Gardens. At the front of the property there is a curved private driveway with two access points which leads to a two car garage on the south-eastern boundary. The host building has a distinct character with large, detached, red brick, two/three storey neo-Georgian houses. In terms of the surrounding area, Greenaway Gardens and the streets in the immediate vicinity are characterised by large, detached and semi-detached dwellings, with a consistent architectural ethos and design language with its neighbours in Greenaway Gardens. The site is not listed but is located within the Redington Frogna Conservation Area to which it is identified as making a positive contribution.

The site is identified in the Camden Geological, Hydrogeological and Hydrological Study – Guidance for Subterranean Development Issue01- ARUP - November 2010 as having underground development constraints of surface water flow and flooding, groundwater flow and slope stability.

Relevant History

Subject site

2021/0984/P: Planning permission for demolition of summerhouse in rear garden and landscaping works. Granted on 20/08/2021.

No.7

2021/0250/P: Remodelling of the rear elevation, expansion of the Lower Ground floor to incorporate a leisure facility and general internal refurbishment. Demolition of the pool pavilion to ground level and re-purposing of its subterranean volumes. Granted subject to S106 agreement 12/01/2022.

Relevant policies

NPPF 2021

The London Plan 2021

Camden Local Plan 2017

Policy A1 Managing the impact of development
Policy A3 Biodiversity
Policy A5 Basements
Policy D1 Design
Policy D2 Heritage
Policy T1 Prioritising walking, cycling and public transport
Policy T2 Parking and car-free development

Redington and Frogna Neighbourhood Plan 2021.

Policy SD1 Refurbishment of existing building stock
Policy SD2 Redington Frogna Conservation Area
Policy SD4 Redington and Frogna Character
Policy SD5 Dwellings: Extension and Garden Development
Policy SD6 Retention of Architectural Details in Existing Building
Policy BG11 Gardens and Ecology
Policy BG12 Tree Planting and Preservation
Policy UD1 Underground Development
Policy UD2 Development Impact

Camden Planning Guidance

Access for all (March 2019)
Air Quality (January 2021)

Home Improvement (March 2021)
Design (March 2021)
Amenity (March 2021)
Basements (March 2021)
Biodiversity (March 2018)
Trees (March 2019)
Transport (March 2021)
Water and flooding (March 2019)
Developer Contribution March 2019)
Energy efficiency and adaption (March 2021)

Redington and Froggal conservation area appraisal and management strategy 2000

Assessment

1 Proposal

- 1.1 Planning permission is sought for the partial demolition of the existing dwelling with the façades to the front, east and north elevations retained. The proposal includes a single storey rear extension to replace the two existing single storey extensions (one with a flat roof and one with a pitched roof) and a basement extension under the building footprint. A new lift is proposed to enable step free access to all levels of the property, and new roof dormer extensions are proposed to the front, rear and side elevations to replace the existing. The existing front portico and single storey garage would be rebuilt, and the existing chimney breast would be relocated to the north-east elevation, following chimney reconstruction. The proposal would also reduce the amount of covered car parking spaces from two to one, new fenestration treatment to the side elevation and alteration to the front boundary treatment.
- 1.2 The existing pitched roof rear extension is approximately 3.5m at the eaves, increasing to 3.9m high (in the centre), and the flat roofed extension is approximately 3.5m high. The extensions measure 4.2m to 4.3 deep, with a footprint of approximately 32sqm. The proposed full width extension would measure 4.3m in depth and would be single storey measuring 4.2m in height with a green roof. The proposal would include a basement built under the footprint of the dwelling covering approximately 237sqm (including a southeast and southwest lightwells approximately of 3.7sqm in floor area) and an external depth of 3.2m.

Revisions

- 1.3 During the course of the application revisions to the proposed scheme were requested in order to address concerns raised by officers. The revisions made to the proposed scheme are summarised as follows:
 - Reduction in the amount of proposed demolition so that a greater amount of the building structure and facades would be retained;
 - Front/south elevation – retention of the existing door fanlight and its filigree;
 - Basement car lift has been removed;
 - Rear/north extension has been reduced in height and incorporates more traditional detailing;
 - East elevation, the original proposal included a large dormer, the scheme is revised to include two proportionate dormer extensions;
 - West elevation fenestration treatment has been revised to incorporate traditional glazing at first floor and the introduction of a false window along the southern end to match the existing window.
 - The brick piers are now omitted from the boundary treatment.
- 1.4 The main issues for consideration are:

- Site and surrounding area
- Demolition
- Design and conservation
- Basement extension
- Landscaping
- Amenity
- Transport
- Sustainability

2 Site and surroundings

- 2.1 Greenaway Gardens was built in 1914 through the grounds of Frogmal Park, which was demolished soon afterwards; the new road had six houses by 1920, four more in 1923-4, and another one in 1934. It has a distinct character with large, detached, red brick, two/three storey neo-Georgian houses. The development was begun by George W. Hart who has also been involved in the development of several other sites in Hampstead.
- 2.2 The character and appearance of the Greenaway Gardens is defined by its original street pattern and homogeneous architectural language. The southern section of the road was designed by Cyril A. Farey. The northern section of the road, within which the subject site falls, is by a currently unknown architect but the involvement of C.H.B. Quennell (who produced numerous designs for similar buildings on Hart's other projects including the West Hampstead estate) seems almost certain. If one looks at the architectural detailing (such as the chimneys and quoins) of the northern group of Greenaway Gardens there is a very clear similarity with known Quennell buildings such as those in Carew Road, Northwood and on the West Hampstead estate. It is worth noting that many of Quennell's domestic buildings are statutorily listed for their special architectural and historic interest.

3 Demolition

- 3.1 The proposals originally included a significant amount of demolition, however, following concerns raised by officers, the front and much of the side façades would now be retained and repaired. The bulk of the side elevations are now to be retained, with approximately 89.2% of the original external walls visible from the public realm, which is welcomed.

4 Design and conservation

- 4.1 As discussed above the front façade would be retained and repaired and the less appropriate cement mortar would be reconstructed using lime mortar. The existing plywood entrance portico is non original to the dwelling house and this would be rebuilt using a light-coloured stone. The design would provide a longer term and higher quality solution that would also allow the removal of the stepped threshold at the entrance door, improving accessibility. A condition for the details of facing materials and design will be secured by condition to ensure that the detailed design of the windows, portico, chimney and pediments on the front elevation are submitted for approval prior to the construction of the proposed works.



Image 1. Existing front elevation

- 4.2 The existing chimney at the north-east part of the roof would be deconstructed and relocated atop of the side dormer at this elevation. This matches the location of other prominent chimneys (atop of side dormers) on neighbouring buildings, thus respecting the original roofscape at this part of the Conservation Area and establishing an improved sense of symmetry.



Image 2. Proposed front elevation

- 4.3 A new single storey rear extension is proposed and the single storey nature and modest 'infill' massing of the proposed rear addition as revised is considered acceptable. The proposed rear addition would be subordinate to the main building and whilst the proposal would be contemporary in design the extension would be constructed with reclaimed brick and glazing. The proposal would complement the character of the original building and context in accordance with Policy SD5 of the Redington and Frognaal Neighbourhood Plan 2021. It should also be noted that part of the upper level rear elevation will be retained, with the remainder rebuilt to reflect the existing.
- 4.4 The existing windows on the front elevation are in a poor state of repair and, whilst restoration is the preference, may need to be replaced in some instances. As such, the proposal includes their replacement with new timber-framed sash windows which replicate the design and profile of the originals to preserve the historic significance of these features, albeit with double glazing for improved thermal performance.
- 4.5 The proposed rooflights as revised rooflights are now proposed in a conservation style, emulating the traditional, subdivided, metal framed roof lights that sit close to the tiled roof surface.
- 4.6 Overall, the proposed development would be subordinate and sympathetic to the design and character of the existing building and local streetscene, and as such, would preserve the character and appearance of this part of the conservation area, in accordance with policies D1 and D1 of the Camden Local Plan and policies SD1, SD2, SD4 and SD5 of the Redington and Frognaal Neighbourhood Plan.

5 Basement extension

- 5.1 The proposed basement would replace the existing cellar and extend the footprint of the host building, projecting into the front and rear garden, and would manifest itself externally through the new openings to the front elevation where railings and new planters are proposed. The plans have been revised during the course of the application to reduce the scale of the basement lightwell, in order to have a more traditional appearance. The proposal uses the elevated height of the dwelling to limit its visual impact, alongside low-level brick planters, to ensure that the lightwells are appropriately screened from the front of the building (see image. 3 below).
- 5.2 The extended basement would be accessed via basement courtyard and via a central stair core in the main dwelling from ground floor level. The basement would consist of plant, cinema, utility and other recreation rooms.
- 5.3 In terms of the manifestations of the proposed basement, the naturally lowered position of the property, coupled with the introduction of contextual brick planters, will appropriately screen the basement and front skylights when viewed from the pavement. It is noted that these features (e.g. brick planters and skylights) are not alien on Greenaway Gardens, thus giving the property an appearance that is in-keeping with the street.



Image 3. Showing the proposed lightwell.

- 5.4 Policy A5 of the Local Plan notes that the Council will only permit basement development where it is demonstrated to its satisfaction that the proposal would not cause harm to:
- a. neighbouring properties;*
 - b. the structural, ground, or water conditions of the area;*
- 5.5 The policy goes on to note that, in determining proposals for basements and other underground development, the Council will require an assessment of the scheme's impact on drainage, flooding, groundwater conditions and structural stability in the form of a Basement Impact Assessment (BIA) and, where appropriate, a Basement Construction Plan (BCP).
- 5.6 The following underground development constraints apply at the application site: subterranean (groundwater) flow; surface water flow; and slope stability. The application is accompanied by a Basement Impact Assessment (BIA), which has been amended during the course of the application and independently audited by Campbell Reith, in line with the requirements of CPG Basements.
- 5.7 Campbell Reith have concluded that the revised BIA complies with the requirements of CPG Basements. It is accepted that the development will not significantly impact the hydrological environment; it is accepted that there should be no impact to the hydrogeological environment. The Ground Movement Assessment (GMA) using reduced CIRIA curves has been presented which predicts damage impacts of Burland Category 0 to 1 (Negligible to Very Slight) to

surrounding structures.

5.8 Policy A5 also sets out various criteria against which to assess proposed basement development. Basement development should not:

- f. not comprise more than one storey;*
- g. not be built under an existing basement;*
- h. not exceed 50% of each garden within the property;*
- i. be less than 1.5 times the footprint of the host building in area;*
- j. extend into the garden no further than 50% of the depth of the host building measured from the principal rear elevation;*
- k. not extend into or underneath the garden further than 50% of the depth of the garden;*
- l. be set back from neighbouring property boundaries where it extends beyond the footprint of the host building; and*
- m. avoid the loss of garden space or trees of townscape or amenity value.*

5.9 In this case, the proposed basement extension complies with the Policy A5 criteria insofar as it would be one storey tall (f); it would not be built under an existing basement (g); it would be less than 1.5 times the footprint of the host building in area (j); and it would be set away from neighbouring property boundaries (l).

5.10 The proposal also satisfies (h), (J) and (k), as if implemented the proposal would not take up the vast majority of the front garden or rear garden space, whilst it would extend to the rear the proposal would have no impact with the garden settings and is also considered to be acceptable on the basis that, as noted above, basements in this position are not atypical on this style of building.

5.11 The impact on trees [clause (m)] is discussed below and is considered to be acceptable.

5.12 Policy UD1 of the Redington and Frognal Neighbourhood Plan requires basements to have no significant adverse impact on the viability of garden spaces and trees, the character and verdant amenity of garden spaces, underground streams or neighbouring properties. For the reasons outlined above, the proposed basement development would comply with these requirements.

5.13 A planning condition is suggested to require that the works are carried out in accordance with the methods outlined in the BIA. A further condition is suggested to ensure that a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works. Subject to the suggested conditions, the application is considered to be acceptable in this respect.

5.14 Thus, the proposed basement extension is considered to comply with Policies D1 and D2 of the Local Plan and clauses F-M of Policy A5. It is also considered to comply with Policy UD1 of the Redington and Frognal Neighbourhood Plan. Permission shall be granted subject to a condition requiring the appointment of a suitably qualified chartered engineer to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works.

6 Trees and Landscaping

6.1 The proposed boundary treatment has been revised. The brick pier previously proposed has been omitted from the scheme and the proposals seek to maximise the area of soft landscaping with the use of planters with high value to pollinators and insects. A variety of different plant species some of which are integrated within the hard landscaping features would be included i.e. a new 25m run of Native Mix Instant Hedge is proposed to the eastern side of the site, which will be planted mature. A number of key plants are also shown in the planting plan, which will benefit a variety of local wildlife including birds and insects which would encourage higher quality of biodiversity.

- 6.2 Whilst the proposal would introduce ramp access and raised decking area in the rear garden the green roof proposed on the rear extension and the increased proportion of soft landscaping compared to hard landscaping is welcomed. Officers consider the proposed soft landscaping and planting arrangements would enhance biodiversity achieving a high quality of landscaping which contributes to the visual amenity and character of the area. The works to the trees were previously assessed and approved under planning permission reference 2021/0984/P and a condition would be attached requiring tree protection measures to be installed during construction. Thus, the proposed details are considered satisfactory and would comply with policies A2 and A3 of the Camden Local Plan 2017 and BGI 1 and BGI 2 of the Redington Frognal Neighbourhood Plan 2021.
- 6.3 The Council's Trees and Landscaping officer has reviewed the details and raises no concerns with regards to the revised proposals. The landscaping design on site would be closely integrated with existing surrounding spaces. The hard and soft landscape design is considered to be of high quality, it is contextual and has considered access requirements, with suitable management details in place to ensure its longevity. The details are sufficient to ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area.

7 Amenity

- 7.1 Local plan policy A1 seeks to protect the amenity of residents by ensuring the impact of development is fully considered. The quality of life of occupiers and neighbours are protected by only granting permission for development that would not harm the amenity of neighbouring residents. This includes factors such as light, outlook, privacy, noise and disturbance.
- 7.2 The closest properties to the development are 15b and 12 Greenaway Gardens both of which are in residential use. The proposed plant report concluded that the louvred screens proposed to attenuate the noise of the plant items in the basement lightwell (south east of the dwelling) and the plant located at the east of the first floor (garage roof), will result in noise levels that meet LB Camden's standards. In short, there is unlikely to be any adverse impacts in terms of noise and disruption associated with the plant.
- 7.3 High level windows on the flank elevations would be conditioned to be obscured glazing to ensure there will be no issues with overlooking. It should also be noted that there will be a substantial reduction of glazing on the northern elevation which will also improve the amenity of no. 12a Greenaway Gardens.
- 7.4 The submitted daylight and sunlight report indicated the Vertical Sky Component (VSC) test showed that there will be no reduction in sky visibility to the neighbouring windows overlooking the site as a result of the proposal. In terms of sunlight the report also concluded that the main living spaces served by windows in the front and rear elevations do not have a view of the proposals. As such, there will be no reduction in sunlight recorded as a result of the proposed scheme.
- 7.5 The rear extension is not considered harmful to the neighbouring amenity and given there has been no material change to the proposed rear extension or shift in the proposed building footprint and height, the proposed extension would not present a materially different position from that illustrated above based on the earlier December 2021 submission scheme in terms of the potential daylight / sunlight effects to the neighbour at 12a Greenaway Gardens.
- 7.6 In terms of loss of privacy, the new windows being proposed to the flank elevation would be obscured glazing and a condition would be attached to ensure these windows are non-openable.

8 Transport

- 8.1 The footway and two crossovers directly adjacent to the site are likely to sustain damage because of the proposed construction activities. The Council would need to undertake remedial works to repair any damage following completion of the proposed development. A highways contribution would need to be secured as a section 106 planning obligation if planning permission is granted estimated at £10,423.62. This would allow the Council to repave the footway directly adjacent to the site and repair any other damage to the public highway in the general vicinity of the site.
- 8.2 Due to the site being in a mainly residential area and the amount of construction works, a construction management plan (CMP) would need to be secured to minimize the impact on the highway infrastructure and neighbouring community. A CMP implementation support contribution of £3,920 and a Construction Impact Bond of £7,500 will be secured as section 106 planning obligations in accordance with Policy A1.
- 8.3 Policy UD2 of the Redington and Frognal Neighbourhood Plan requires high impact activities to be restricted to 9am to 5.30pm on weekdays, with no works on Saturdays, Sundays or public holidays, and for deliveries to take place between 9.30am and 4.30pm. This is would be secured as part of the CMP, which would need to be approved by the Council prior to any works commencing on site.

9 Sustainability

- 9.1 The proposed development seeks to retain and re-use the existing bricks and tiles of the building where any external walls are proposed, this would allow the external appearance of the building to maintain its character and authenticity while creating a building envelope that surpasses current energy performance regulations. The proposed scheme would incorporate MVHR ventilation and space heating provided by a ground source heat pump, which is welcomed and is one of the most efficient methods of energy. It's noted that the plant provides cooling options as well as heating; however, given that cooling in residential properties is generally not supported without evidence of overheating, as well as the fact that the property has been recently refurbished with energy efficiency measures installed, and its ratio of solid to glazing does not give rise to overheating, the use of the cooling facility will be restricted by condition. Thus, the proposed plant is acceptable on this basis.
- 9.2 A whole-life carbon assessment was also conducted and the report concluded that significant long-term carbon savings will be made by retaining the façade over a retrofitting scheme. The proposed dwelling would be constructed with a green roof. The proposed green roof would increase biodiversity, and provide a habitat for invertebrates and ground nesting birds. The proposed green roof would also help to lower peak rainfall runoff; reducing the risk of floods. Details of the green roof shall be secured by condition to ensure it is viable in the long term and includes a biodiverse mix of species.
- 9.3 The proposals therefore sufficiently seek to minimise the effects of climate change and meet the highest feasible environmental standards in accordance with policies CC1 and CC2.

10 Recommendation:

- 10.1 Grant conditional planning permission subject to a Section 106 Agreement with the following heads of terms:
- Construction Management Plan and associated Implementation Support Contribution of £3,920
 - Construction Impact Bond of £7,500
 - Highways contribution - £10,423.62

- Basement construction plan.

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 10th October 2021, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2021/6257/P
Contact:
Tel: 020 7974
Date: 6 October 2022

Development Management
Regeneration and Planning
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W1G 8DZ

Dear Sir/Madam

FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:
14 Greenaway Gardens
London
NW3 7DH

Proposal: Partial demolition of existing dwelling with retention of the front facade and parts of the side and rear facades and the erection of a basement extension, infill rear extension, various minor changes to the fenestration and other associated works.

Drawing Nos: 0001_PL02; 0006_PL02; 0007_PL02; 0101_PL02; 0102_PL02; 0103_PL02; 0104_PL02; 0105_PL02; 0106_PL02; 0401_PL02; 0402_PL02; 0403_PL02; 0404_PL02; 0405_PL02; 0406_PL02; 2101_PL02; 2102_PL02; 2103_PL02; 2201_PL02; 2202_PL02; 2203_PL02; 3101_PL02; 3102_PL02; 3103_PL02; 3104_PL02; 3201_PL02; 3202_PL02; 3203_PL02; 3204_PL02; 5203_PL02; 5204_PL02; 5205_PL02; ME1-P3; ME2-P3; ME3-P3; ME4-P3; ME5-P3; ME6-P3; ME7-P; ME8-P; Design and Access Statement PL02; Energy and Sustainability Statement Planning May 2022; Environmental & Plant Noise 28439-RP-PNA-Rev1-KMK; Air Quality Report, Cole, 14 Greenaway Gardens, Camden P1116_Issued_v2; Arboricultural Report SSH_14GRW_AIA_01b (LR); 2117 - 14 Greenaway Gardens - CMS Rev D-Part 1 to 8; Greenaway Gardens, 14 - Heritage Statement main house (04.05.2022); Greenaway Gardens, 14 - TVIA (04.05.2022); 14 Greenaways - Platonoff and Harris - Existing Window Report; Whole Life Cycle Carbon Emissions Assessment - FINAL - May 2022; CMP Pro-forma Ver 1 04042022; Appendix C-Construction Programme 04042022; Appendix E- Neighbouring Sites-Plan; Appendix F- Site Traffic Routing; Appendix G; Appendix H-Initial Environmental Noise Survey and Plant Noise Assessment; Appendix I- Air Quality Report Appendix J and Daylight & Sunlight Report 5252-220408-DSID-DSJL.

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 0001_PL02; 0006_PL02; 0007_PL02; 0101_PL02; 0102_PL02; 0103_PL02; 0104_PL02; 0105_PL02; 0106_PL02; 0401_PL02; 0402_PL02; 0403_PL02; 0404_PL02; 0405_PL02; 0406_PL02; 2101_PL02; 2102_PL02; 2103_PL02; 2201_PL02; 2202_PL02; 2203_PL02; 3101_PL02; 3102_PL02; 3103_PL02; 3104_PL02; 3201_PL02; 3202_PL02; 3203_PL02; 3204_PL02; 5203_PL02; 5204_PL02; 5205_PL02; ME1-P3; ME2-P3; ME3-P3; ME4-P3; ME5-P3; ME6-P3; ME7-P; ME8-P; Design and Access Statement PL02; Energy and Sustainability Statement Planning May 2022; Environmental & Plant Noise 28439-RP-PNA-Rev1-KMK; Air Quality Report, Cole, 14 Greenaway Gardens, Camden P1116_Issued_v2; Arboricultural Report SSH_14GRW_AIA_01b (LR); 2117 - 14 Greenaway Gardens - CMS Rev D-Part 1 to 8; Greenaway Gardens, 14 - Heritage Statement main house (04.05.2022); Greenaway Gardens, 14 - TVIA (04.05.2022); 14 Greenaways - Platonoff and Harris - Existing Window Report; Whole Life Cycle Carbon Emissions Assessment - FINAL - May 2022; CMP Pro-forma Ver 1 04042022; Appendix C-Construction Programme 04042022; Appendix E-Neighbouring Sites-Plan; Appendix F- Site Traffic Routing; Appendix G; Appendix H-Initial Environmental Noise Survey and Plant Noise Assessment; Appendix I- Air Quality Report Appendix J; Daylight & Sunlight Report 5252-220408-DSID-DSJL.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Prior to the commencement of construction/demolition works on site, tree protection measures shall be installed in accordance with the approved Arboricultural Method Statement and Tree Protection Plan. The protection shall then remain in place for the duration of works on site and recommendations made in the method statement followed, unless otherwise agreed in writing by the local authority.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017 and policies BGI1 and BGI2 of the Redington and Frognal Neighbourhood Plan 2021.

- 4 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including sections at 1:10 of all windows (including jambs, head and cill), ventilation grills, external doors and gates, portico, chimney and pediments on the front elevation;

b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017 and policies SD1, SD2, SD4 and SD6 of the Redington and Frognal Neighbourhood Plan 2021.

- 5 The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policies D1, D2 and A5 of the London Borough of Camden Local Plan 2017 and policy UD1 of the Redington and Frognal Neighbourhood Plan 2021.

- 6 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:

- i. a detailed scheme of maintenance,
- ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used showing a variation of substrate depth with peaks and troughs, and
- iii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to

first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017 and policies BGI1 and BGI2 of the Redington and Frognal Neighbourhood Plan 2021.

- 7 Prior to first use of the proposed ground source heat pumps hereby approved, the active cooling function shall be disabled on the factory setting and the heat pump shall be used for the purposes of heating only.

Reason: To ensure the proposal is energy efficient and sustainable in accordance with policy CC2 of the London Borough of Camden Local Plan 2017.

- 8 The basement works hereby approved shall be carried out in accordance with the Basement Impact Assessment (and supporting documents) as approved. Any change to the basement design or construction methodologies as approved shall be submitted to the local planning authority for approval in writing prior to their implementation.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of Policies D1, D2 and A5 of the London Borough of Camden Local Plan 2017 and Policies UD1 and UD2 of the Redington/Frognal Neighbourhood Plan 2021.

- 9 All new side facing windows shall be obscured glazed to the lower panel and shall be restricted to a maximum opening width of 100mm for all windows below 1700mm from floor level. The proposed windows shall be maintained and permanently retained as such thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies A1 and D1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where

development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.
- 5 A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer and any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Supporting Communities Directorate