

No. 156 - 164 Gray's Inn Road Areas and Minor Amendments September 2022

14093_AHMM-ZZ-XX-RP-A-00005 Rev 01



GRAYS INN ROAD
WC1

DULVERTON MANSIONS
1-15

ALLFORD
HALL
MONAGHAN
MORRIS

Dukelease
Prime Central London

Introduction

Purpose and Contents

This report has been prepared by AHMM architects on behalf of Panther House Developments Ltd. in connection with the redevelopment of the site at 156 - 164 Gray's Inn Road.

In November 2017 the London Borough of Camden granted full planning permission, subject to a S106 agreement, to the proposed redevelopment in Application Ref 2015/6955/P.

Since then, Dukelease have commenced with development, and a Section 73 application was also submitted in March 2021 for minor material changes that seek to improve the overall scheme design.

This report focusses on Gray's Inn Road apartments and addresses a number of updates in guidance relating to Building Regulations and consultant advice since 2017. These updates have reduced the residential areas by a modest amount with the result that four flats fall short of the minimum space standards, including all three affordable units.

Consequently the project team submits a limited proposal for consideration, a series of design led minor amendments that seek to the address the technical problems, recover the previously consented area, and restore the minimum space standards within the affordable flats.

1. Updated Guidance

Explains changes in guidance on thermal performance and fire safety regulations since 2017, and impact on building elements.

2. Consented Scheme

Summarises consented arrangement to affordable flats on 1st floor and market flats on a typical floor.

3. Updated Scheme

Illustrates impact of updated guidance on consented flat areas, resulting in non compliance with minimum area standards and buildability issues.

4. Proposed Scheme

Proposes minor amendments to recover lost area and maintain compliance with minimum standards.

5. Proposed Details

5.1 Interior Layouts

The proposed scheme ensures that all the affordable flats (no. 1, 3 and 4) meet minimum standards. Changes to affected flats are explained in detail.

Appendix

A. General Arrangement

Consented and proposed General Arrangement Drawings

1. Updated Guidance

Changes to Regulation and Advice since 2017

Three main building elements have changed due to updated guidance from Building Regulations and consultants. The scope of the effected changes is marked up on plans of the consented scheme.

1. External Wall Buildups

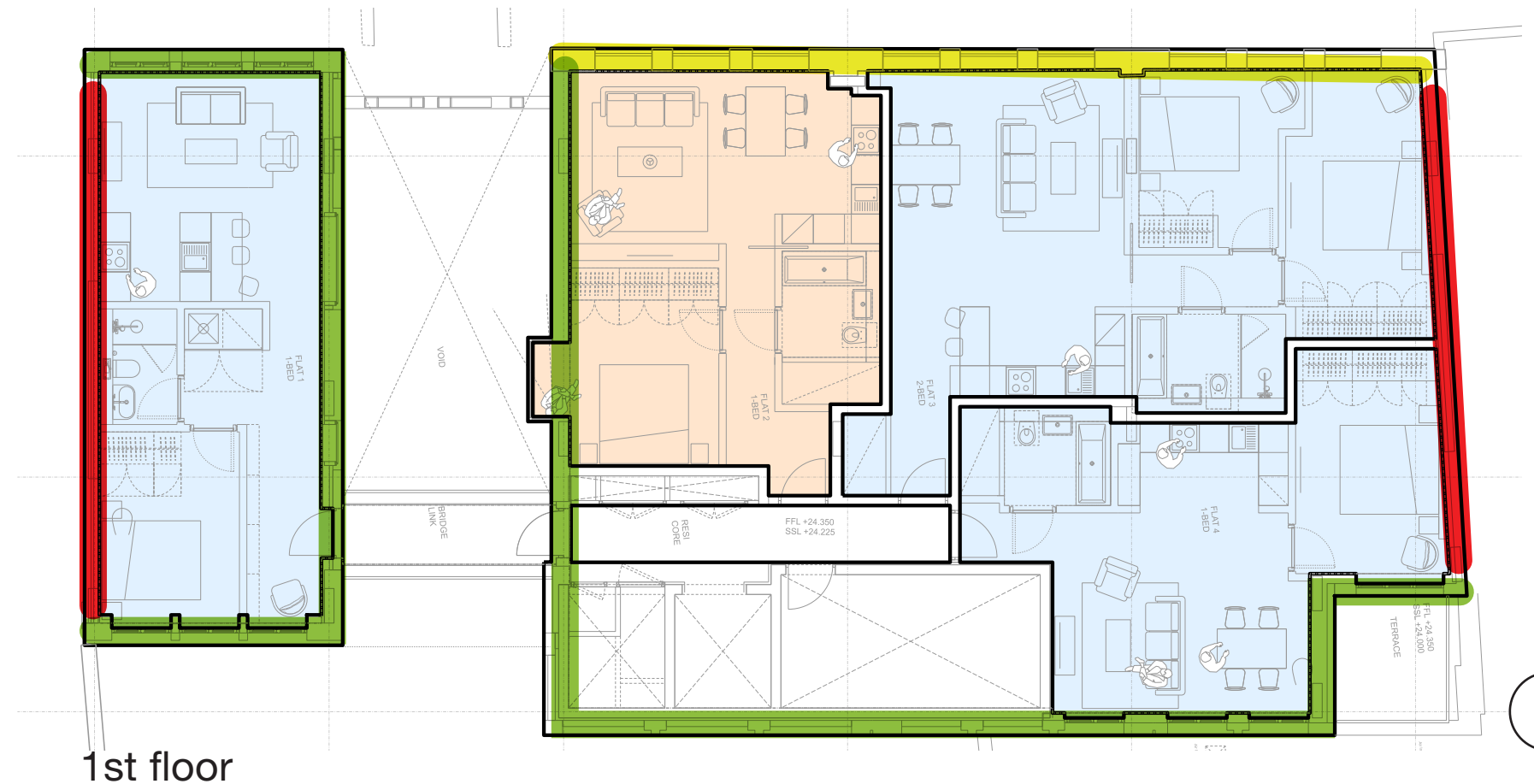
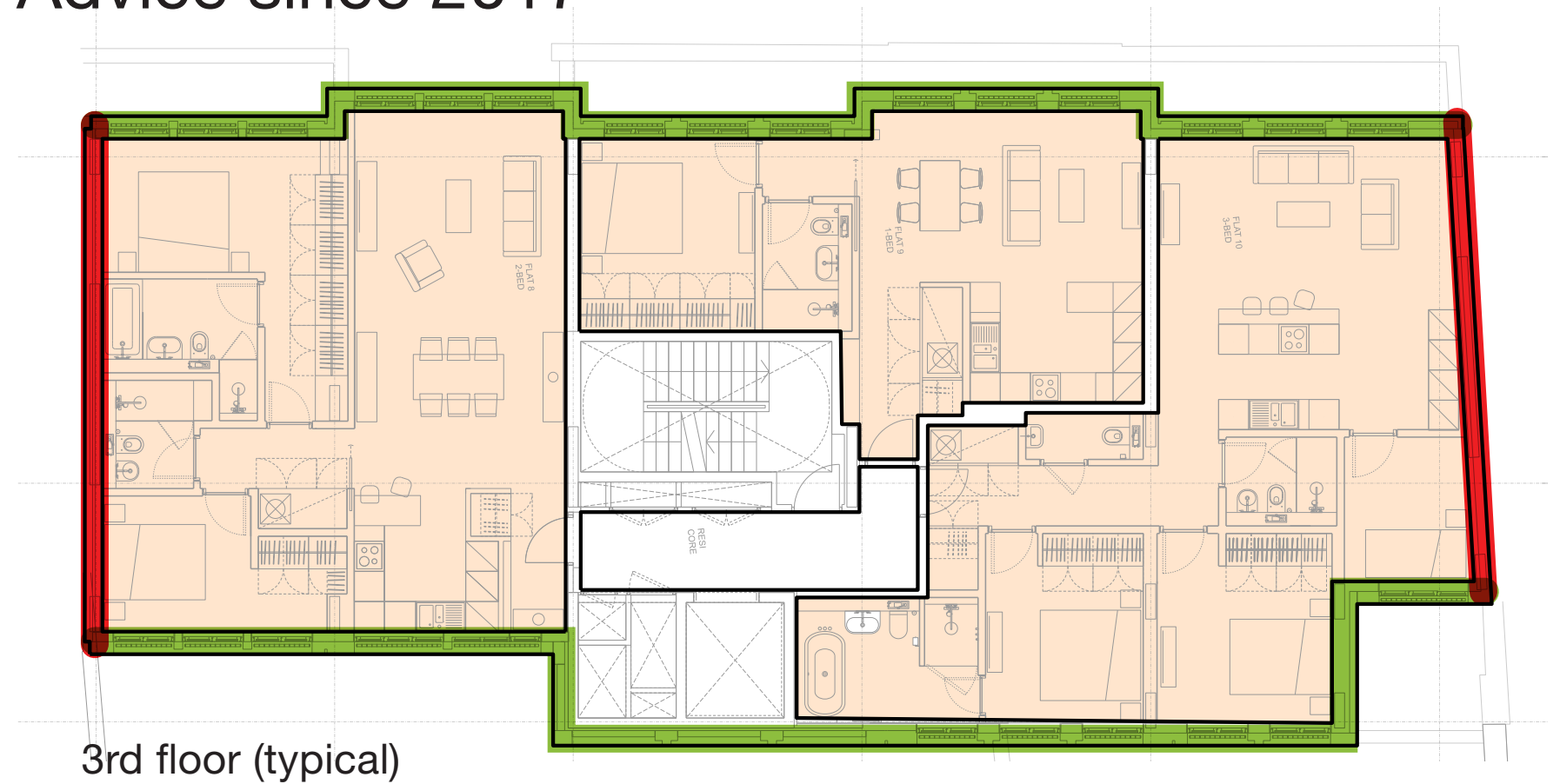
Non combustibile insulation in construction of all external walls, to comply with Part B Fire Safety.

2. Party Walls

Insulated separating party walls, to comply with Part L Conservation of Fuel and Power.

3. Retained Facade

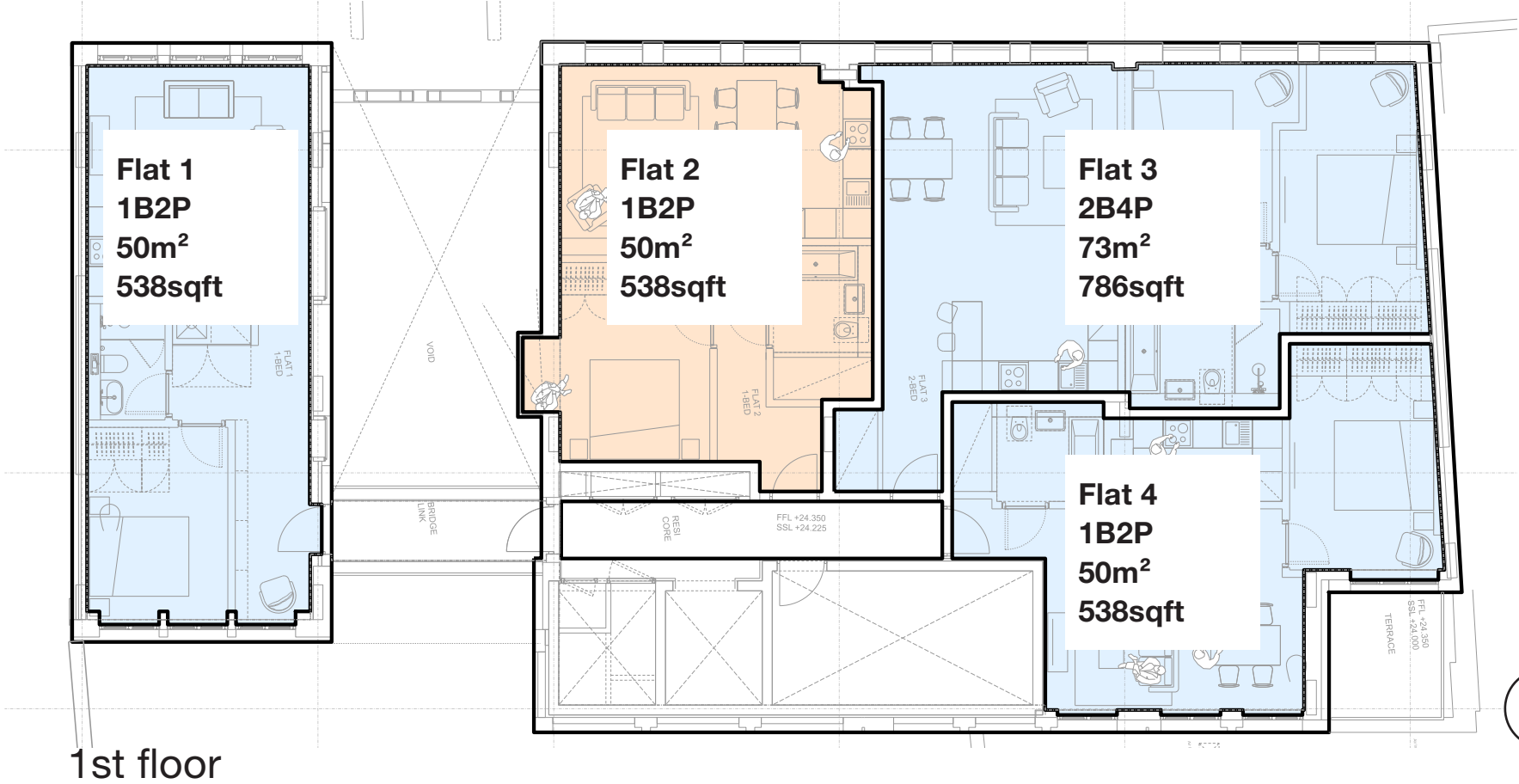
Insulated retained facade, to comply with Part L Conservation of Fuel and Power.



2.

Consented Scheme

Approved November 2017



Consented 2017	
	NSA / m ²
1	50
2	50
3	73
4	50
223	
5	93
6	68
7	77
8	93
9	56
10	97
11	93
12	56
13	97
14	106
15	159
Total	1217
Market	1044
Aff.	173

- Affordable
- Market
- Penthouse

3.

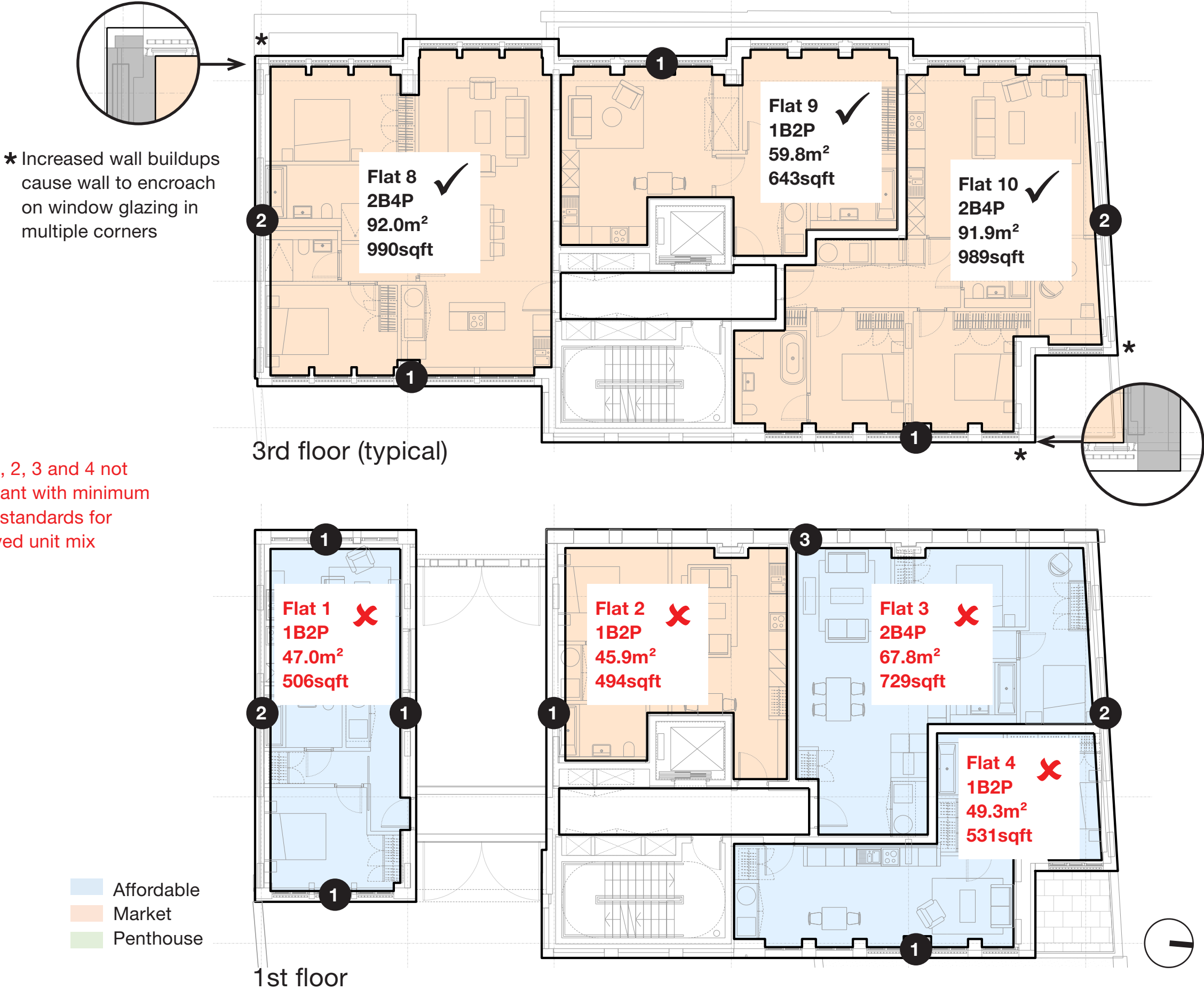
S73 Scheme

Incorporating changes to comply with updated guidance since 2017

- 1
- Non combustible insulation in construction of all external walls to comply with Part B
- 2
- Insulated separating party walls to comply with Part L and SAP calculations
- 3
- Insulated retained facade to comply with Part L and SAP calculations

	Consented 2017	S73 2021	
	NSA / m ²	NSA / m ²	diff / m ²
1	50	47.0	- 3.0
2	50	45.9	- 4.1
3	73	67.8	- 5.2
4	50	49.3	- 0.7
	223	210.0	- 13.0
5	93	92.0	- 1.0
6	68	59.8	- 8.0
7	77	91.9	15.2
8	93	92.0	- 1.0
9	56	59.8	3.6
10	97	91.9	- 4.8
11	93	89.7	- 3.3
12	56	59.8	3.6
13	97	91.6	- 5.1
14	106	113.3	7.3
15	159	147.5	- 11.1
Total	1217	1199	- 17.5
Market	1044	1035	- 8.6
Aff.	173	164	- 8.9

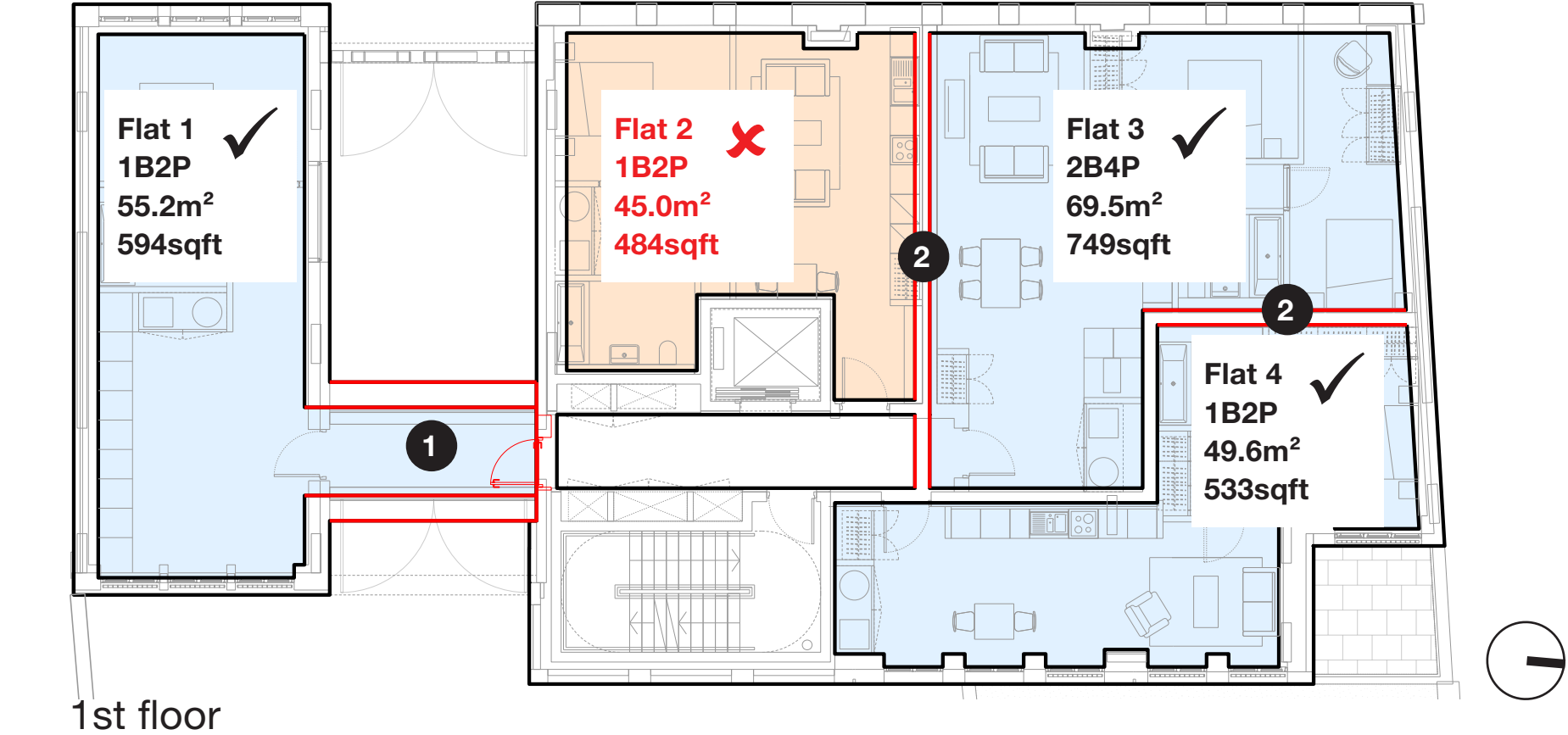
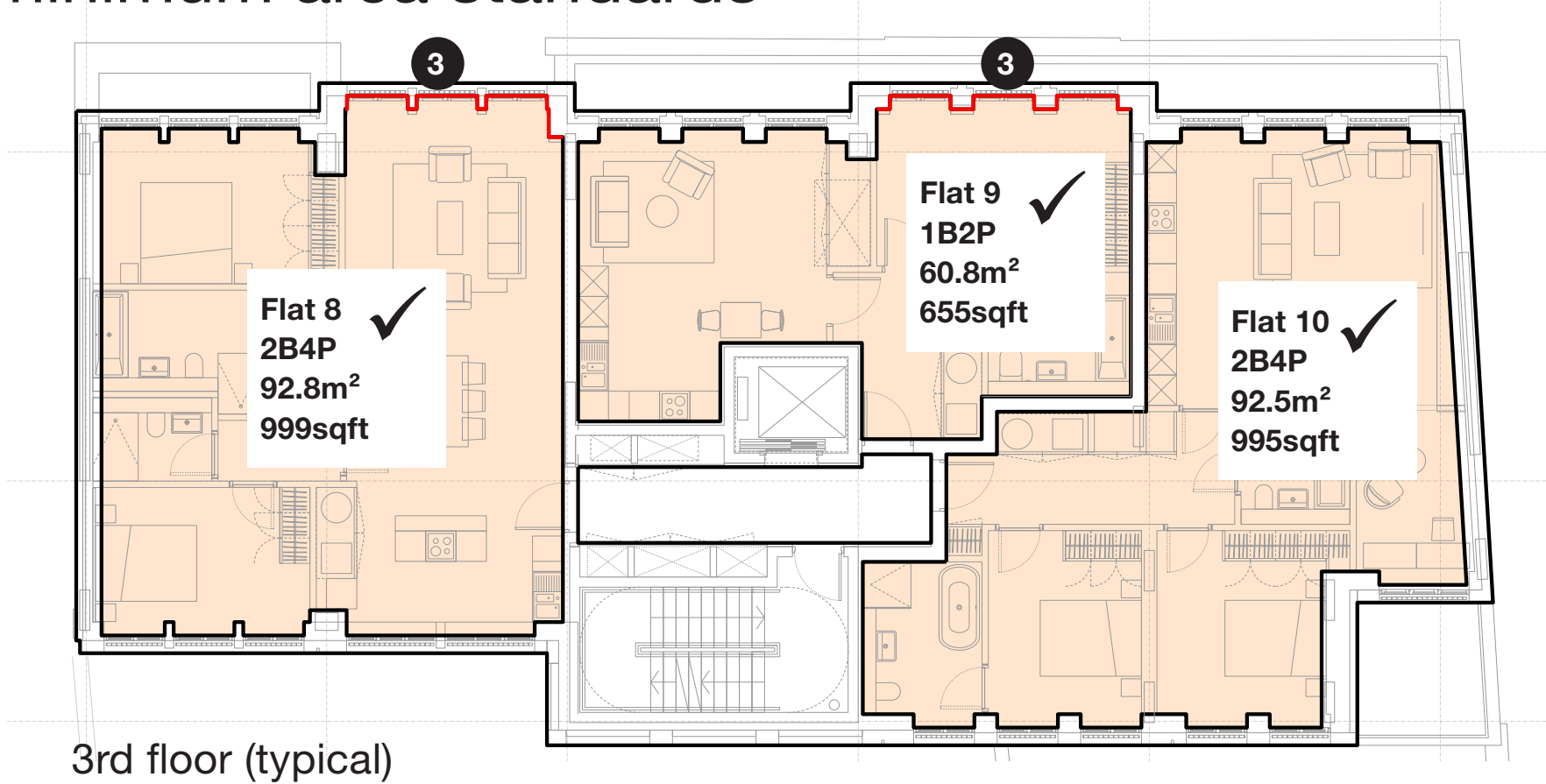
Flats 1, 2, 3 and 4 not compliant with minimum space standards for approved unit mix



4. Proposed Scheme

Minor changes to maintain minimum area standards

- 1 Bridge link absorbed into Flat 1 providing lobby entrance into flat. Details on following pages
- 2 Party walls revised to bring affordable units into compliance with minimum area standards
- 3 Mid piers and windows on projecting bays shifted forward by 100mm. Main facade line maintained. Details in section 5.2 Front Facade.



	Consented 2017	Proposed 2022	
	NSA / m²	NSA / m²	diff / sqft
1	50	55.2	5.2
2	50	45.0	- 5.0
3	73	69.5	- 3.5
4	50	49.6	- 0.4
	223	219.3	- 3.7
5	93	92.4	- 0.5
6	68	60.3	- 7.5
7	77	91.9	15.2
8	93	92.4	- 0.5
9	56	60.3	4.1
10	97	91.9	- 4.8
11	93	90.3	- 2.6
12	56	60.3	4.1
13	97	91.6	- 5.1
14	106	113.3	7.3
15	159	147.5	- 11.1
Total	1217	1211.4	- 5.2
Market	1044	1037.2	- 6.4
Aff.	173	174.3	1.3

Flat 2 not compliant with minimum space standards for approved unit mix

- Affordable
- Market
- Penthouse

5. Proposed Scheme Details

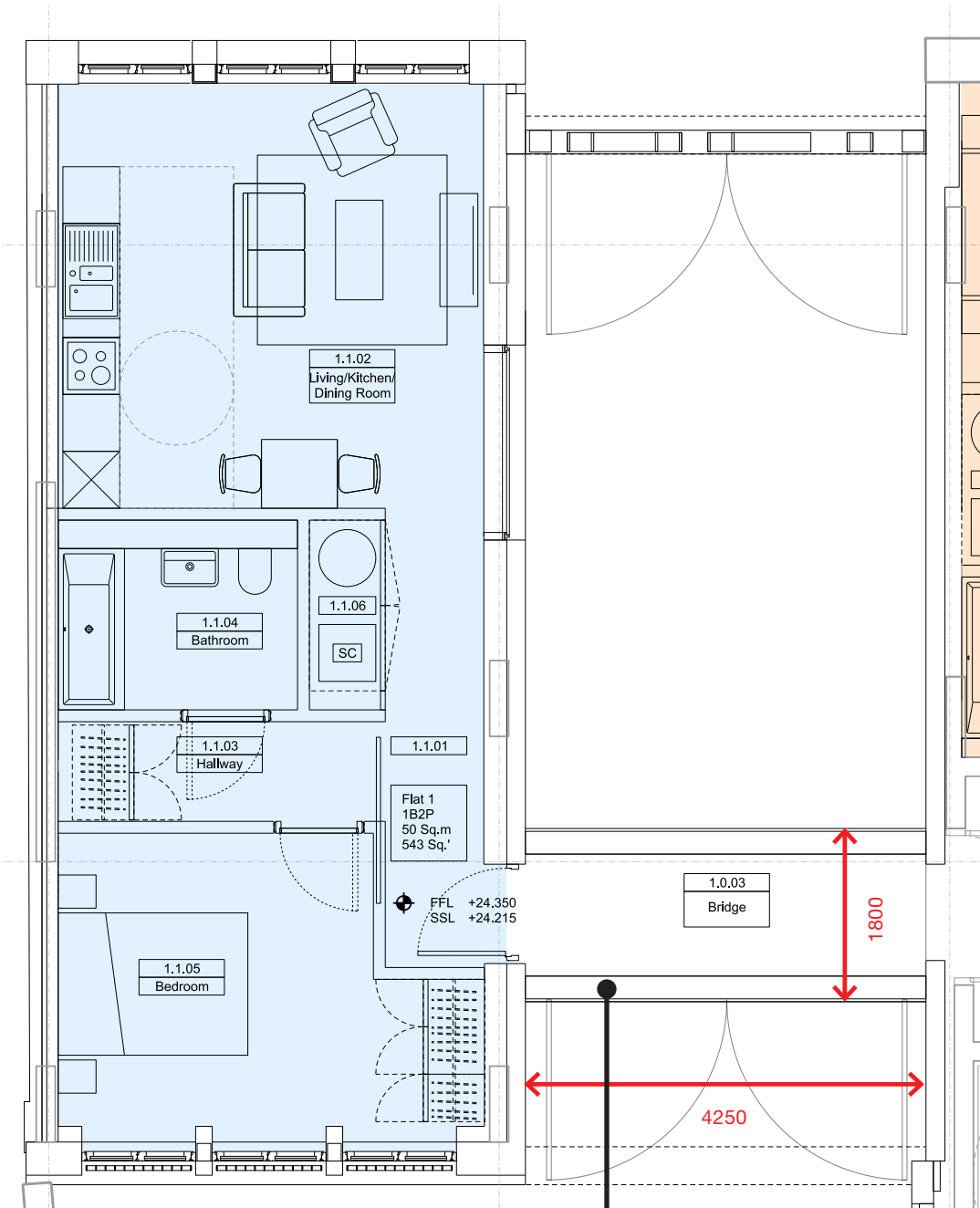
5.1 Layouts - Flat 1 design development

Of the three affordable flats in the scheme, flat 1 suffers the greatest area loss due to the technical updates. To bring this flat back into compliance with minimum space standards the team proposes re allocating the bridge link that leads to Flat 1 from communal circulation space to private space for Flat 1.

To preserve tenant privacy and maintain thermal performance compliant with Part L the glazed curtain wall here will be replaced with metal cladding, finished and panelised to match the existing window arrangement. Daylighting within the passageway will be largely unaffected due to its orientation away from sun and the density of surrounding development. External lighting remains the same.

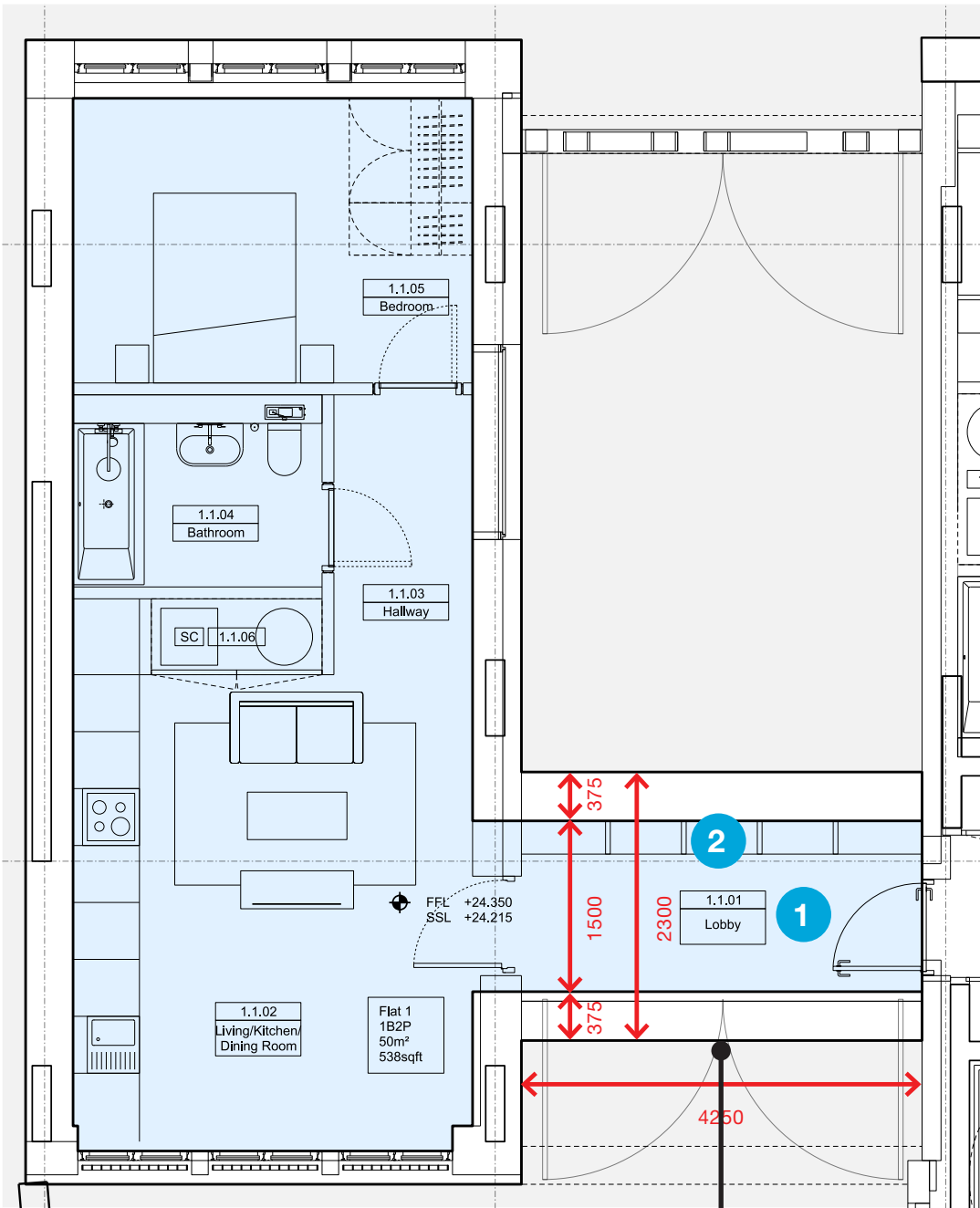
	Consented 2017	S73 2021	Proposed 2022
	NSA / m ²	NSA / m ²	NSA / m ²
1	50	47.0	55.2
2	50	45.9	45.0
3	73	67.8	69.5
4	50	49.3	49.6
	223	210.0	219.3

S73 Consented Plan



Glazed Curtain Wall

Proposed Layout



Metal cladding, panelised to match previous glazed curtain wall

Additional Benefits

- 1 New hallway creates better arrival and circulation into the flat
- 2 Additional storage can be created for the unit

5. Proposed Scheme Details

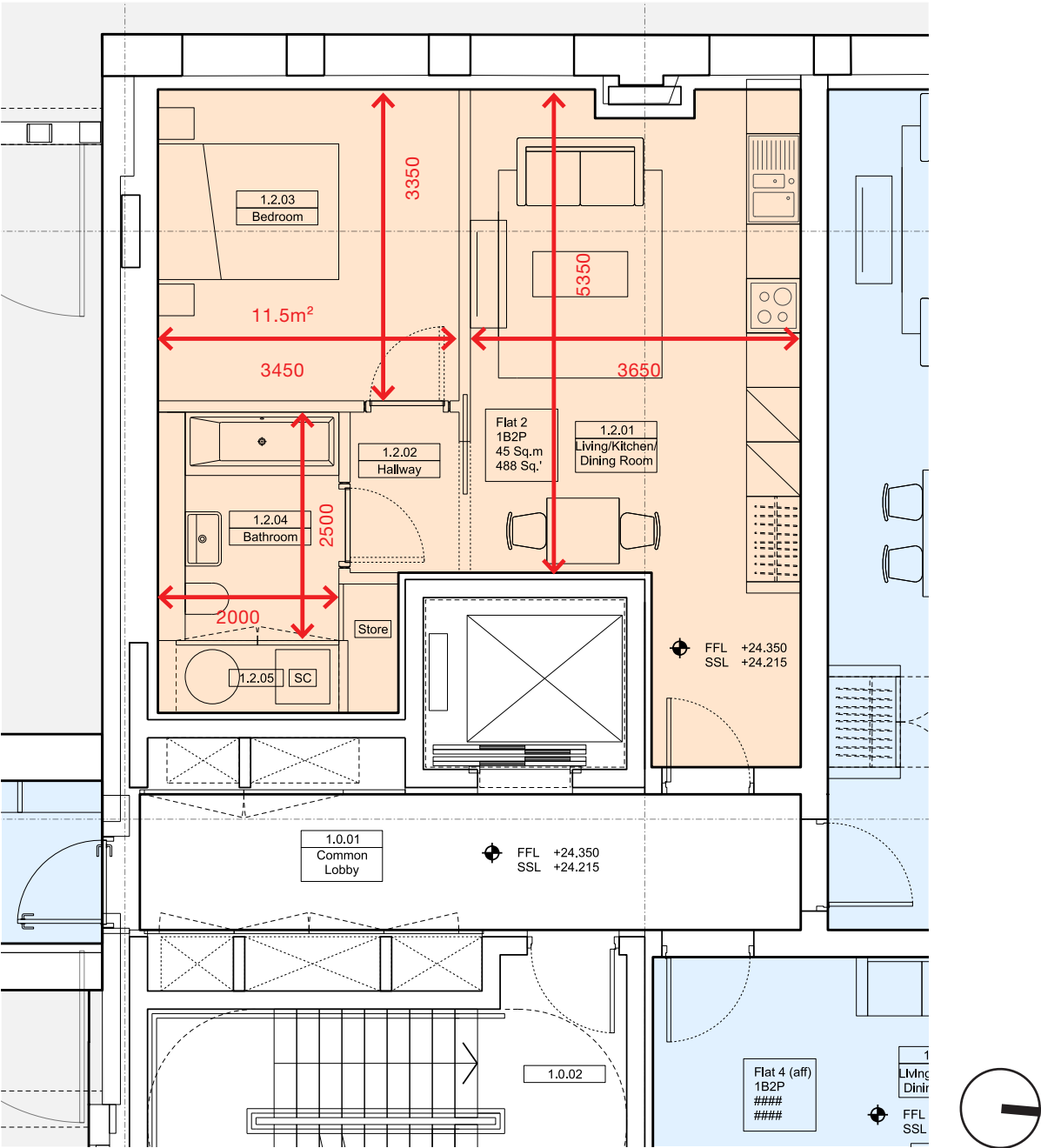
5.1 Layouts - Flat 2 space standards

The changes to the internal party walls allow overall minimum space standards to be maintained in the affordable units, Flat 3 and 4, but not in the market unit, Flat 2 a 1B2P.

Flat 2 falls short of minimum space standards for 1B2P GIA by 5m². However the proposal preserves minimum space standards in all key rooms. The bedroom provides the 11.5m² floor area required for a double bed. The bathroom complies with Part M4(2), as per planning condition.

	Consented 2017	S73 2021	Proposed 2022
	NSA / m ²	NSA / m ²	NSA / m ²
1	50	47.0	55.2
2	50	45.9	45.0
3	73	67.8	69.5
4	50	49.3	49.6
	223	210.0	219.3

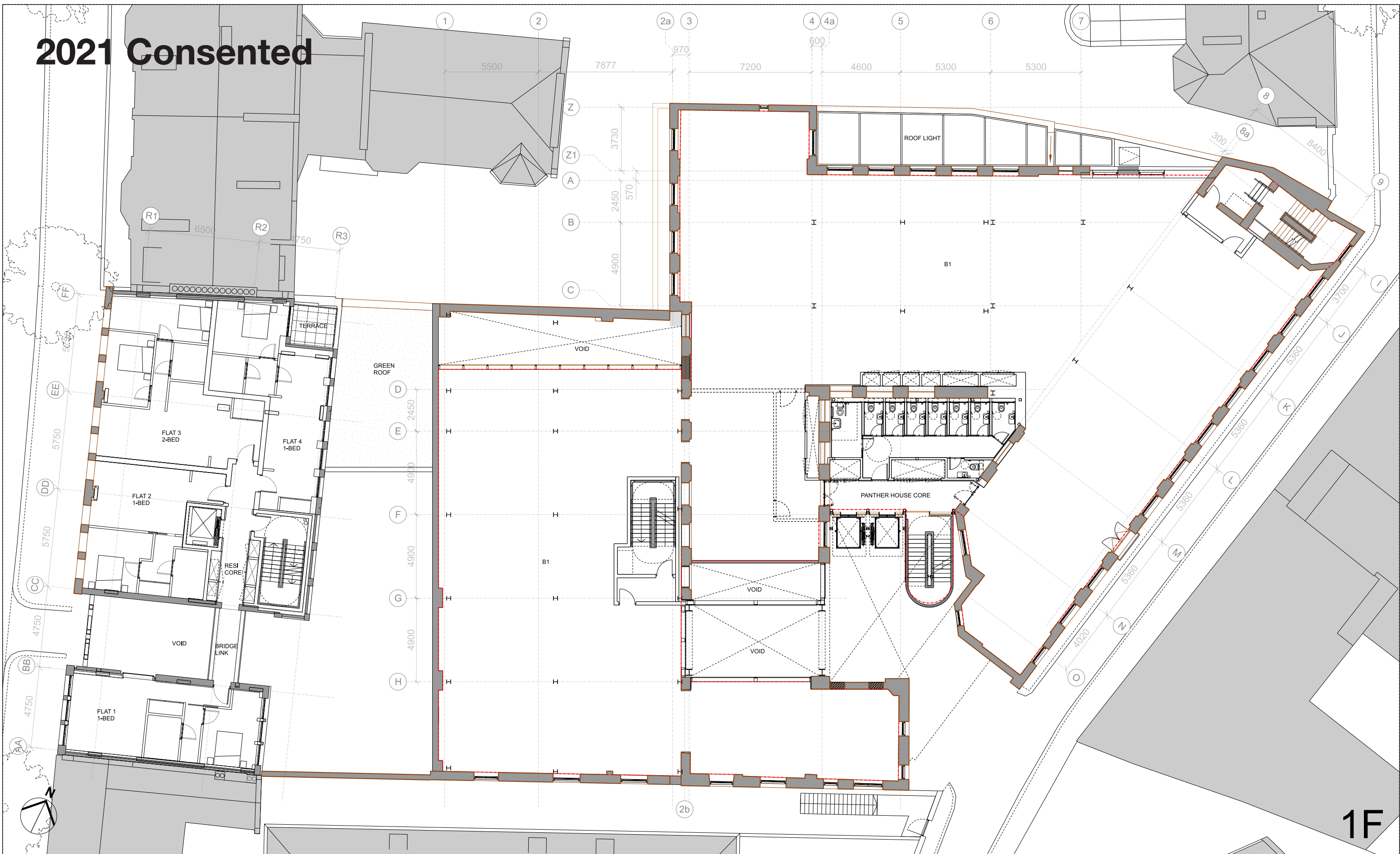
Proposed Layout



Appendix

A General Arrangement | Level 01

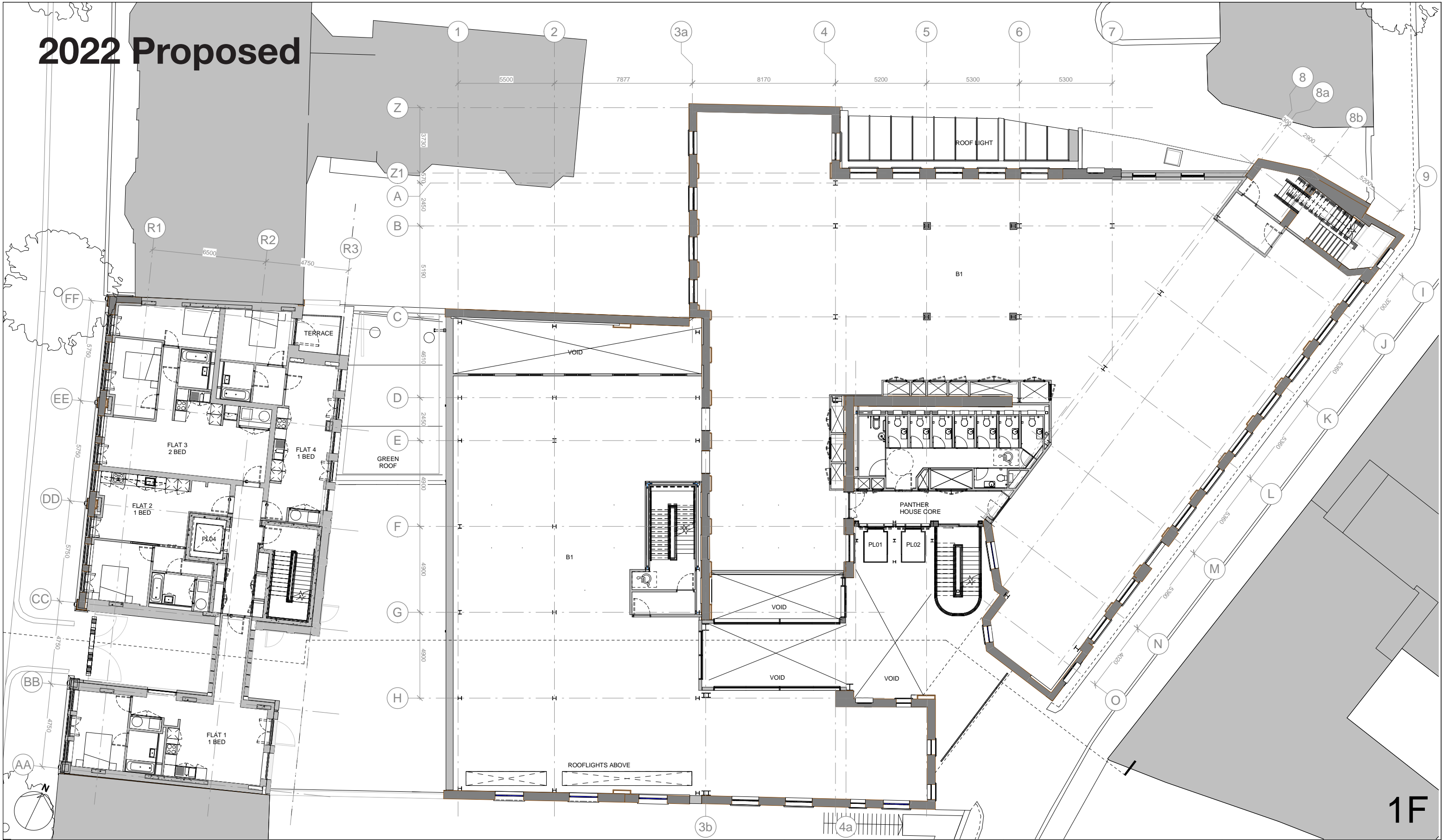
2021 Consented



1 F

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2022 Proposed



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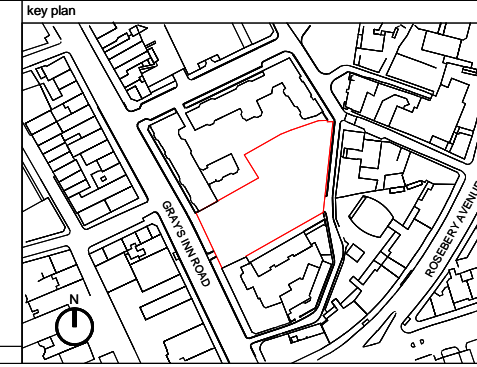
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P05	S0	08/04/22	Issued for Section 96 Application
P04	S0	26/02/21	Issued for Section 73 Application
P03	S0	10/01/17	Issued for Planning Addendum 2
P02	S0	01/12/16	Issued for Information
P01	S0	09/05/16	Issued for Planning Addendum
P00	S0	08/12/15	Issued for Planning
Rev	Status	Date	Description



ALLFORD HALL MONAGHAN MORRIS
ARCHITECTS Ltd
MORELANDS, 5-23 OLD STREET LONDON EC1V 9HL
TEL 020 7251 5261 FAX 020 7251 5123 WEB WWW.AHMM.CO.UK

client
DUKELEASE PROPERTIES LTD.

project name
154-156 GRAY'S INN ROAD / PANTHER HOUSE

drawing title
PROPOSED FIRST FLOOR PLAN PROPOSED
GA DRAWINGS

drawn	checked	scale	wp	stage	status	revision
HM	PP	As indicated @ A1	(00)	-	S0	P05
project	originator	volume	level	type	role	drawing no.
14093	AHMM	ZZ	01	DR	A	P101

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