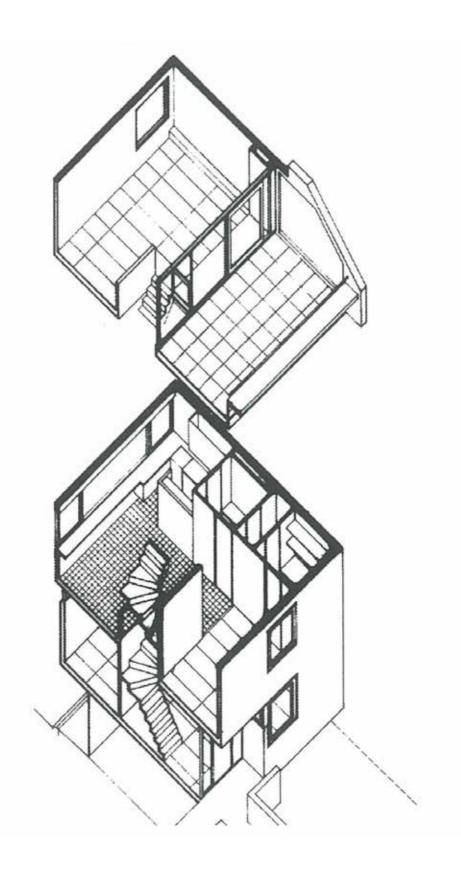


0 CONTENTS

- 1 INTRODUCTION
- 2 STATEMENT OF SIGNIFICANCE
- 3 SURVEY
- 4 PROPOSED WORKS / SPECIFICATION
- 5 CONCLUSION



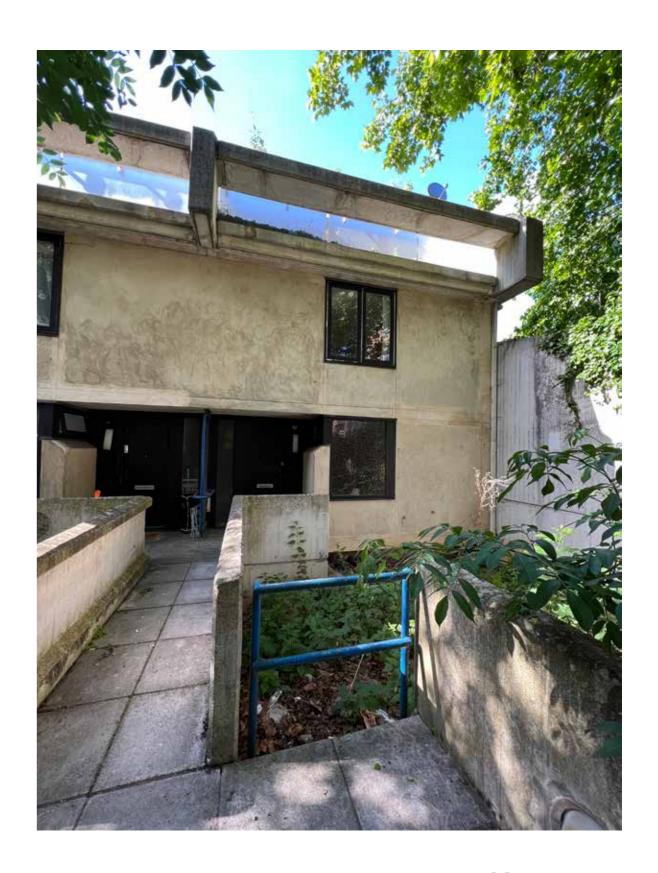
1.0 INTRODUCTION

This design and access statement has been prepared in relation to, and in support of, Full Planning & Listed Building Consent applications for proposed works to 21b Ainsworth Way - a three story 'Block-C' house situated within the Grade II* Listed Alexandra and Ainsworth estate.

The proposal aims to sympathetically refurbish the entireinterior of the property (including the kitchen and bathrooms), which has been almost entirely altered from it's original design, as conceived and realised by Neave Brown for Camden Council.

The document is to be read in conjunction with the following materials:

Location Plan
Block Plan
Existing & Proposed Plans/Elevations/Sections
Room Detail Sheets



2.0 STATEMENT OF SIGNIFICANCE

The significance of the Grade II* Listed estate, designed by Neave Brown in 1968, is best described in the Alexandra Road Estate Management Guidelines (Levitt Burnstein 2006). Below is a summary of its key features of significance:

Designed in 1968 and built between 1972 and 1978 by the London Borough of Camden Architects Department, Alexandra Road Estate is one of the most ambitious examples of the innovative new social housing emerging from the Department at this time, and of new housing in Britain. Its architect was Neave Brown.

The street is the dominant element in the design and seen as a modern translation of the traditional London Street, where the sum of the whole exceeds the individual parts in creating a meaningful urban space. All dwellings are entered directly from the streets, which are freed of traffic by the parking garage provided at low level. At Alexandra Road, Rowley Way can be seen as one of the most successful examples of the segregation of traffic and the pedestrian, and it remains a successful social space.

The construction of the Estate is of white board marked concrete with areas of self-coloured render. The predominant materials are light in colour with contrasting joinery, inside and out. Concrete was the natural material from which to form the large, complex section, and the areas of self-coloured render are a reference to the Regency terrace. At Alexandra Road the quality and detailing of the materials is high. The care devoted to the internal fittings was perhaps unique amongst local authority departments at this time.

The quality and importance of the estate has been widely recognised both in England and abroad. It is a powerful icon of the optimism and idealism that underpinned post-war public sector architecture. It continues to be regularly visited by architectural students and practitioners.

2.0 STATEMENT OF SIGNIFICANCE

The Alexandra Road Estate is split into three 'Blocks'. 21b Ainsworth Way is located in the most southern part of the estate, in 'Block C'. Block C is unique to blocks A and B as it occupies all three floors of the block offering a spacious 3 three story dwelling.

The exterior of the home is largely unaltered and still retains the original fenestration, front door and ironmongery. The front garden, steps and balcony arrangement, are all unaltered and therefore of highest significance.

Internally, Neave Brown's original layout and design intent has been greatly altered, with the original open plan and sliding doors now replaced with dividing partition walls and swing doors; all original fixtures, fittings and finishes have been removed and replaced with unsuitable and unsympathetic modern equivalents in alternative configurations.

The only original, partial remaining, element is the staircase (treads, balustrade and handrail), however the stair treads have been covered in carpet and the balustrade and handrails have been decorated in non-original painted finish. In some areas, the balustrades and handrails have been removed entirely, or built over.

As such, the majority of the interior of 21b Ainsworth way is of low historic and architectural significance

It is unclear whether these changes were made before or after the building was designated Grade II* Listed status in 1993. An application to alter the configuration of the property was approved on 19/09/1996 (application number L9602520R1 - case file J6/3/14), which illustrates a similar layout to the current/existing condition, but it is unclear to what extent the original fabric was altered prior to or after this application, due to a lack of existing information.

The following pages of this section include the available documents pertaining to the 1996 approved application.

studio hagenhal<u>l</u>



/Lintad Duildia

Planning (Listed Buildings and Conservation Areas) Act 1990 Blease read accompanying notes before answering any questions. Please complete all sections in BLOCK CAPITALS. Please		
wer every question. Five copies of the completed form and five sets of drawings (as a lapply for listed building consent and declare that to the best of my knowledge all the information contained in this application form is correct. SIGNED Applicant/Agent.		fied in Note 6) are required. FOR OFFICE USE se File: g. No. HB/
DATE Date R		te Rec'd
1. Applicant Name: MR. A. MOHAMED Address: 21 B. AINSWORTH WAY LONDON NWB Post Code: OSR Tel. No: 0171-7241656 2. Address of Application Site 21 B. AINSWORTH WAY Tick appropriate box b. Agent (if any) to whom correspondence will be sent. Name: DESIGN ASSOCIATES Address: 75 ABBEY ROAD LONDON NWB Post Code: OAF Tel. No: 0171-6255471 Grade of Building I II II III		
3. Description of Proposed Works a. Does the proposal involve demolition of listed building(s)? (if yes, specify buildings or parts of buildings affected): Proposed internal affected: b. will there be alterations and/or extensions to listed building(s)? (if yes, give a brief description of works proposed, both internal and external: Refurbishment of Lifthen Electrons C. Does the proposal relate to a variation or discharge of conditions on a listed building consent? If "Yes', specify: Date of decision Registration No. Details of the relevant condition:		
4. Alterations or Extensions (to be answered only if works involve alterations or extensions) Materials - specify type & colour of materials & applied finishes where applicable to: Walls & Roof Applied partition Windows & Doors To match. Internal surfaces Woodwork Mid handraid to match existing fimishes.		
5. Submission of Application for Plannin or Advertisement Consent Has an application for planning permission been submitted If no, please state reason:	in respect of the proposed w	h'ny flat.
List all drawings submitted for approval. Five copies of each drawing will be required unless the application is submitted in conjunction with a planning application. In such a case, provided that the drawings for each application are identical, one set will be sufficient.		





London Borough of Camden

Town Hall Argyle Street London WC1H 8EQ

Tel 0171 278 4444 Fax 0171 860 5713

Design Associates, 75 Abbey Road, London, NW8 OAF

Application No: L9602520R1 Case File:J6/3/14

2nd October 1996

Dear Sir(s)/Madam

DECISION

Planning (Listed Buildings and Conservation Areas) Act 1990 Planning (Listed Buildings and Conservation Areas) Regulations 1990

GRANT LISTED BUILDING CONSENT - Subject to Conditions

Address : 21B Ainsworth Way, NW8

Date of Application: 19/09/1996

Proposal:

Internal alterations, as shown on drawing no. 576/1B.

The Council has considered your application and decided to grant consent subject to the following conditions:

Standard condition:

The development hereby permitted must be begun not later than the expiration of five years from the date on which this consent is granted.

Standard Reason:

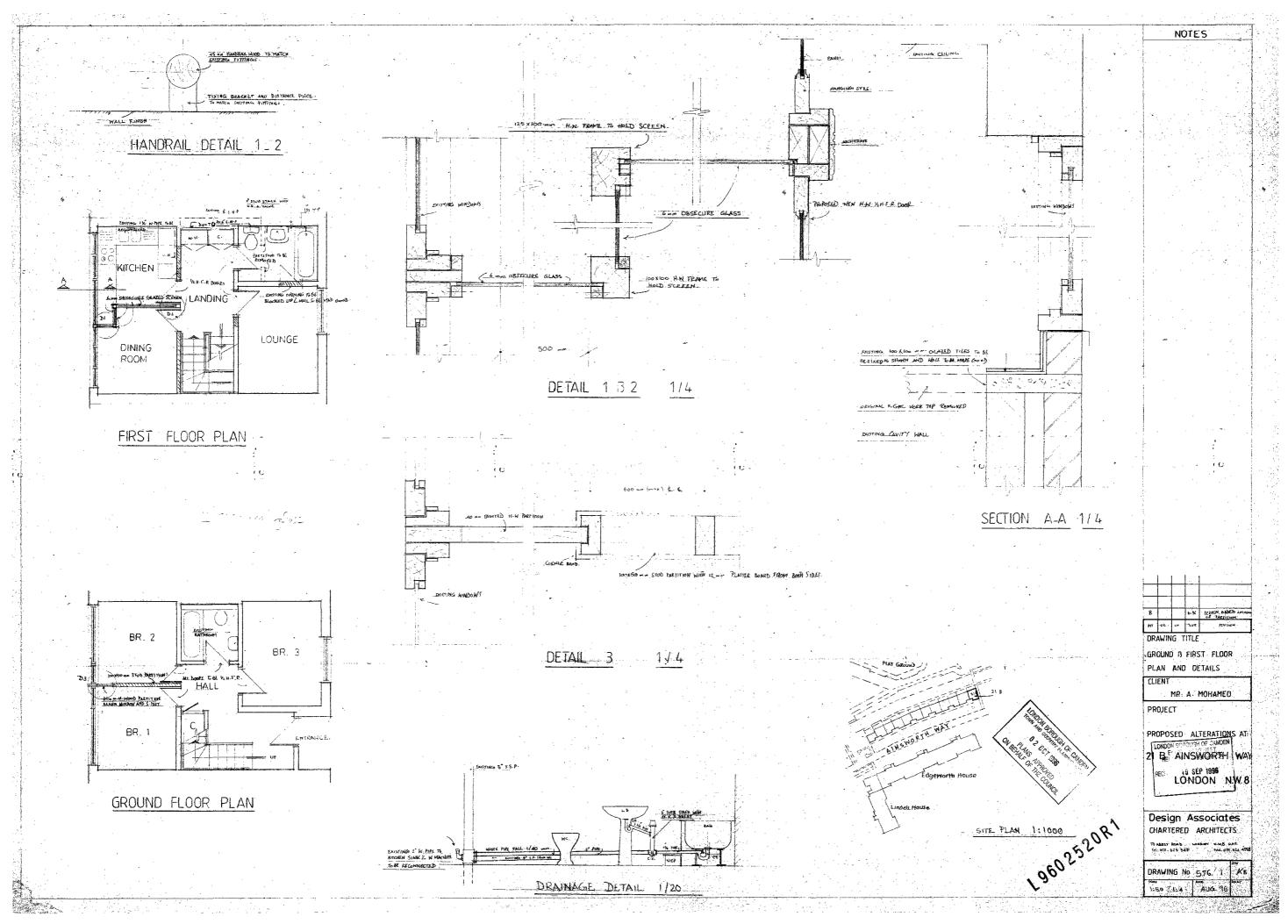
In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990

Additional conditions:

- The works hereby approved are only those specifically indicated on the drawing(s) referred to above.
- That all new works and works of making good to the retained fabric, whether internal or external, shall be finished to match the adjacent work with regard to the methods used and to material, colour, texture and profile.

Director Mark Gilks BA(Hons), M.Soc.Sc., MRTPI





3.0 SURVEY

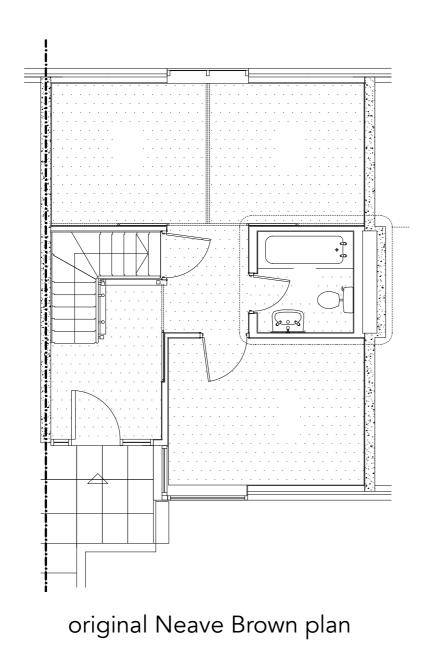
This section aims to illustrate the current condition of the property, to what extent the original fabric and design intent has been lost, how the current plan deviates from the original Neave Brown design, and where any original elements remain in place.

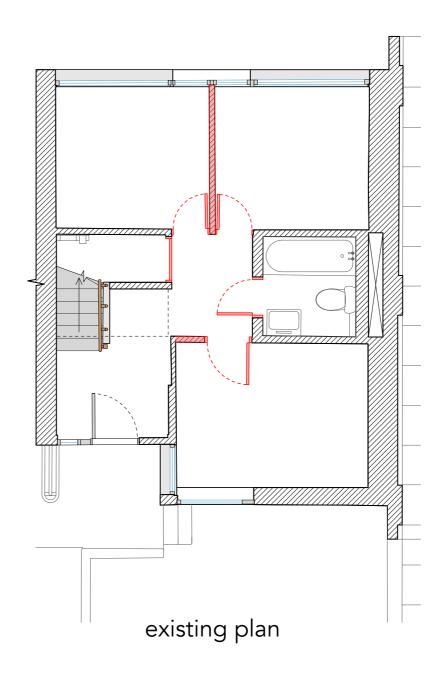
Each floor is assessed in terms of how it deviates from the original layout, followed by a closer look at the existing fittings, fixtures and finishes.

3.1 SURVEY

Ground Floor_original vs existing layout

In its current state, the Ground Floor <u>layout</u> of 21b Ainsworth Way (right) bears some resemblance to Neave Brown's original design (left). However, the original sliding doors have been removed and replaced with a fixed stud wall and regular swing doors, and the original room dividing sliding partition has been removed and replaced with a fixed stud wall. All doors, frames and floor and wall finished are non-original. The layout of the bathroom resembles the original layout to some extent, but there are no traces of the original fixtures, fittings or finishes. The original stair remains in its original position and largely intact, albeit with altered finishes.

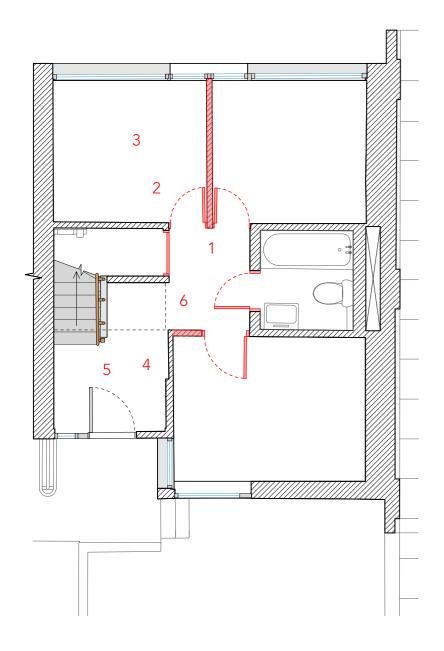


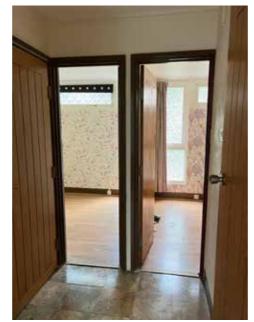


21b AINSWORTH WAY

3.1 SURVEY

Ground Floor_existing hallway & bedroom





1. floor to ceiling sliding doors + track missing, replaced with wall + two swing doors/frames



4. recess where sliding door + track would have been located in hallway



2. dividing partition wall in the bedroom with non-original door + frame to hallway



5. original stair treads covered in carpet, original balustrade + handrail painted over



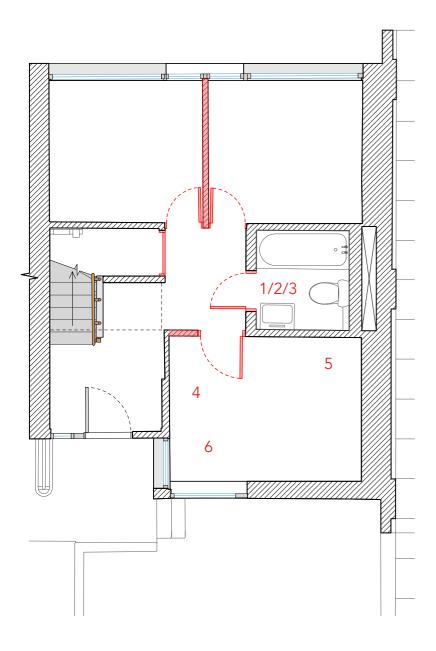
3. original dark painted windows now painted white, walls covered in wallpaper



6. non-original door + frame to bathroom - note non-original floor finish throughout

3.1 SURVEY

Ground Floor_existing bathroom & bedroom





1. all original fittings, fixtures + finishes missing, replaced with unsympathetic equivalents.



4. original dark painted windows now painted white, walls covered in wallpaper



2. all original fittings, fixtures + finishes missing, replaced with unsympathetic equivalents.



5. original dark painted windows now painted white, walls covered in wallpaper



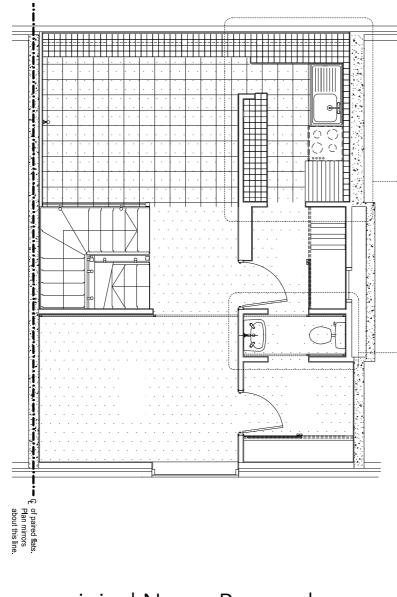
3. all original fittings, fixtures + finishes missing, replaced with unsympathetic equivalents.



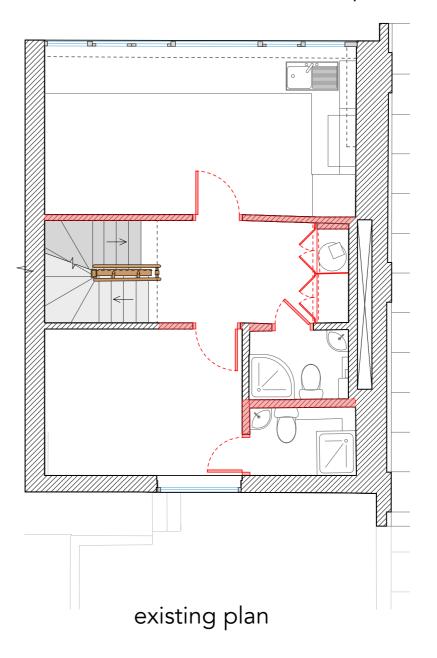
6. non-original door + frame - note non-original floor finish throughout

First Floor_original vs existing layout

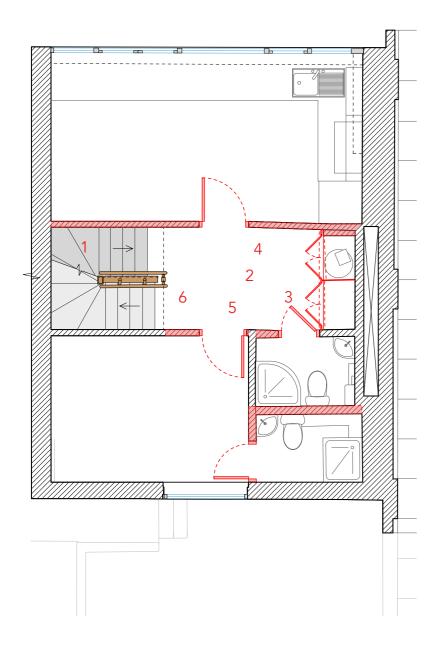
The First Floor <u>layout</u> of 21b Ainsworth Way (right) bears very little resemblance to Neave Brown's original design (left). The original open plan configuration has been completely lost, with a stud wall separating the stair and kitchen/dining area - as a result, the original stair balustrade between the dining area and stair has been removed. The original sliding door to the bedroom has been removed and replaced with a standard swing door and frame, set in a stud wall. The entirety of the original kitchen, including fittings and fixtures, has been demolished and replaced over time. The larder layout and joinery has been completely removed. The original bathroom is no longer present, either in configuration or materiality, while a second non-original bathroom and partition wall have been added in place of the original dressing room.







First Floor_existing landing/hallway





1. original stair treads covered in carpet, original balustrade + handrail painted over



4. non-original wall + door + frame, original stair balustrade no longer present, note non original floor finish



2. original hot water tank in non-original joinery, original utility wall no longer present



5. non-original wall + door + frame, original sliding door + track not present

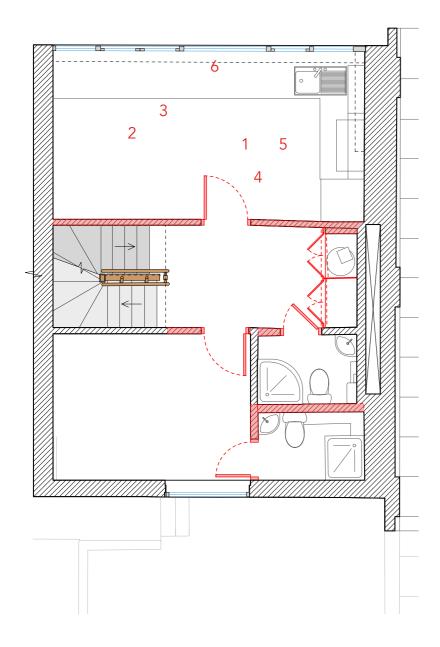


3. original asbestos service void access panel to be replaced with modern equivalent



6. original balustrade + handrail painted over

First Floor_existing kitchen





1. original window storage + tile counter removed, original stair balustrade removed



4. non-original wall + door + frame, original stair balustrade no longer present



2. original window storage + tile counter removed, note nonoriginal floor finish



5. all original kitchen fittings + fixtures removed and replaced with unsympathetic equivalents

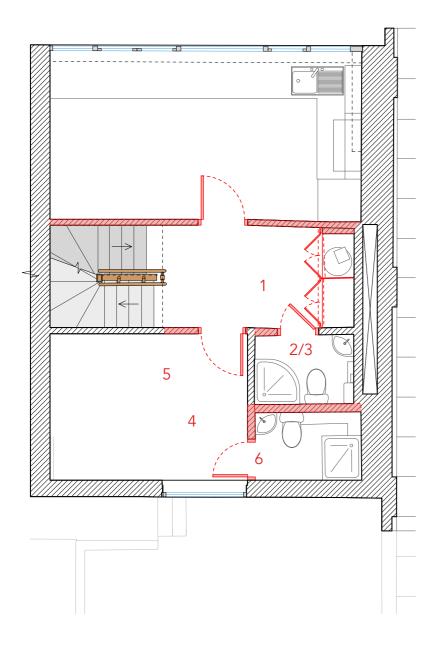


3. original window storage + tile counter removed, non-original wall + door + frame



6. original windows painted white internally, and in significant state of disrepair

First Floor_existing bathrooms & bedroom





1. entrance to existing bathroom 1 from landing, non-original door + frame



4. entrance to existing bathroom 2 from bedroom, non-original door position + door + frame



2. all non-original bathroom fittings + finishes, non-original



5. non-original fittings + finishes, note non-original floor finishes



3. all non-original bathroom fittings + finishes, non-original layout



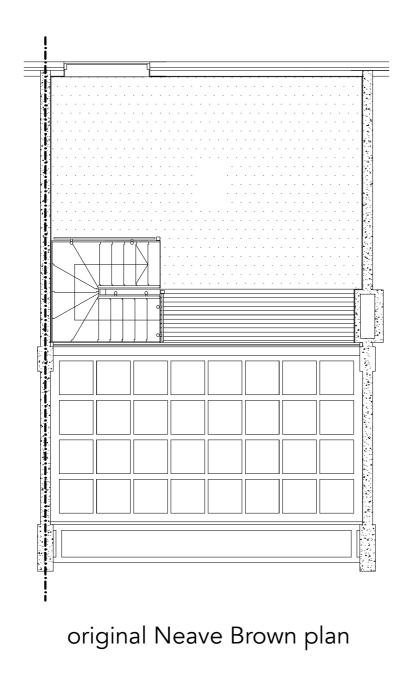
6. all non-original bathroom fittings + finishes, non-original layout in place of dressing room

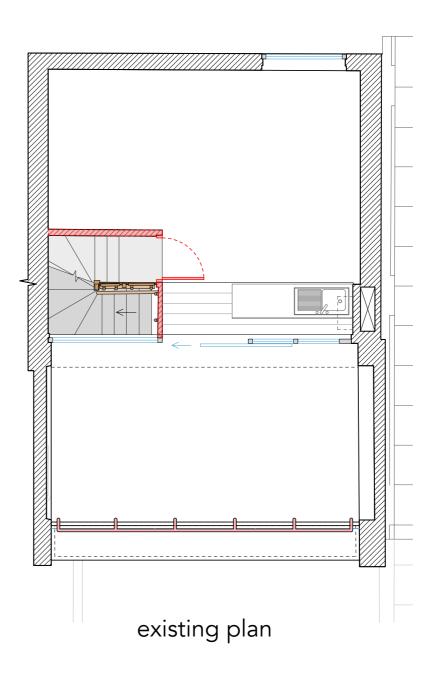
studio hagenhall

21b AINSWORTH WAY

Second Floor_original vs existing

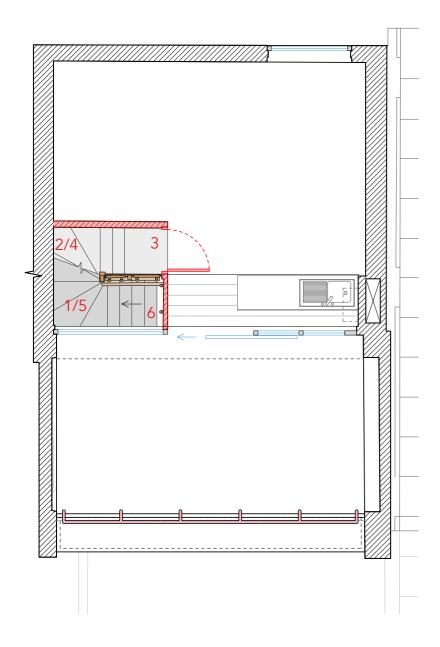
The Second floor <u>layout</u> of 21b Ainsworth Way (right) has also been stripped of Neave Brown's original design intent (left). The open-plan stair has been enclosed by building up the original concrete parapet wall to the ceiling, and the addition of a partition wall between the end of the deck and the stair balustrade. This section of balustrade has thankfully not been removed (as with the kitchen). A non-original door and frame now separate the living area from the stair. A kitchenette has been placed in the living area, where there was never any intention in the original Neave Brown design. The original decking appears to be intact underneath the kitchen and non-original floor finish.





21b AINSWORTH WAY

Second Floor_existing stair





1. stud wall built on top of original parapet wall, separating living space from stair



4. non-original wall blocking stair from kitchen below, original stair structure intact



2. non-original stud wall + door + frame built behind original balustrade



5. original balustrade + handrail painted over, connections + details still present

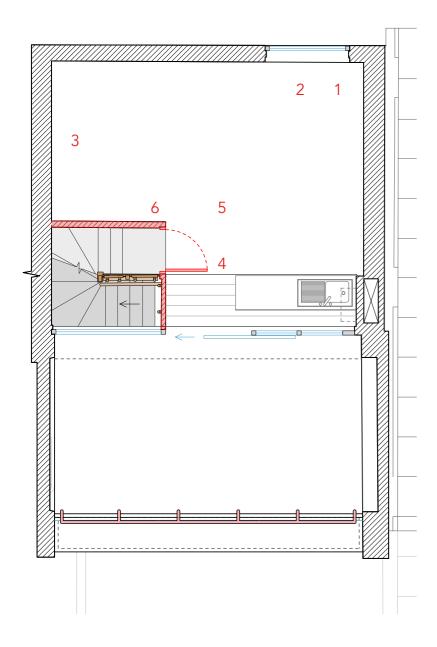


3. original balustrade + handrail painted over, note non-original floor finish



6. original stair connections + details still present

Second Floor_existing living





1. non-original kitchen, original windows painted white internally, non-original wall paper



4. original raised plinth covered over - original material intact underneath, albeit painted



2. non-original walls to stair note non-original floor finish



5. non-original wall + door + frame to stair, concealing original balustrade



3. non-original kitchen, windows painted white internally, note non-original floor finish

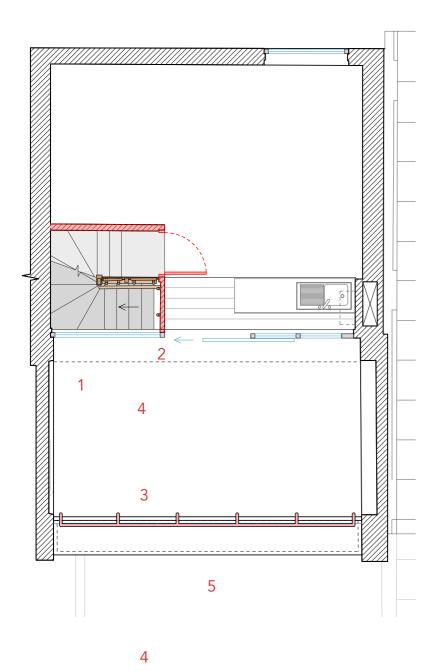


6. original concrete parapet wall has been built on top of, but appears to be intact

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21b AINSWORTH WAY

Second Floor_existing terrace + windows





1. exterior fixed terrace window in original finish/colour, unaltered, but in state of disrepair



4. original front entrance in original format, in some state of disrepair



2. exterior sliding terrace window in original finish/colour, unaltered, but in state of disrepair



5. front exterior door + windows in original finish/colour, unaltered, but in state of disrepair



3. original handrail intact, paint faded/damaged, original glass screen still present



6. rear exterior windows in original finish/colour, unaltered, but in state of disrepair

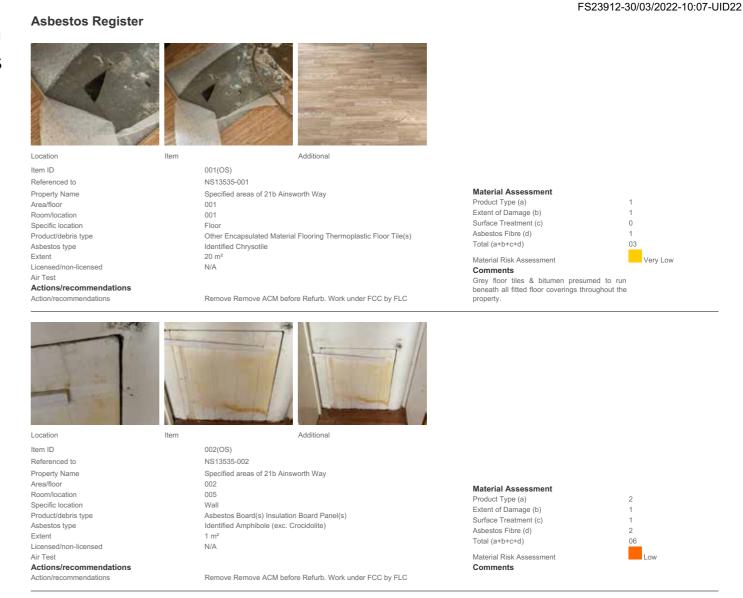
All Floors_Asbestos Report

The Asbestos survey carried out at 21b Ainsworth Way identified two locations where Asbestos is present:

- 1 floor tiles concealed by the timber floor on the Second Floor, as show in the summary page below
- 2 insulated access panel to service void on the First Floor

We propose to have all Asbestos related items professinally removed prior to any further works commencing. In terms of the finished floor levels, this will enable to us to lay the new cork floor tiles to match the original floor level.

Extract from the Asbestos Survey & Report (produced by "NSUK" on 29th March 2022) summarising the two locations where Asbestos is present:



Introduction

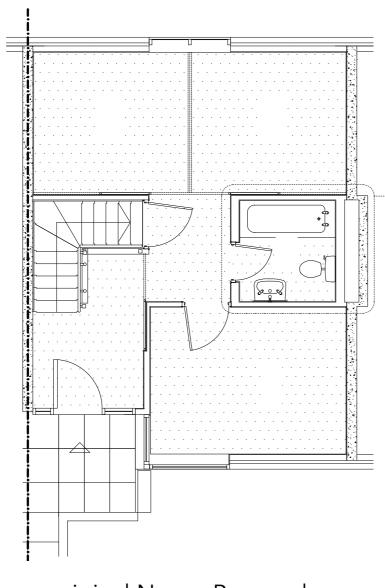
As a whole, the proposed works aim to reverse previous unsympathetic work carried out across the house (resulting in the near total removal and replacement of historic fabric and layout) and celebrate the original scheme by emulating Neave Brown's design intent via the use of new materials and layout. While not a perfect re-creation of the historic design, much research (of drawings and existing precedent) and careful consideration has gone into this proposal and it's choice of materials.

The alterations have been considered on both a room-by-room basis and holistically, with choice of materials being paramount. The unpicking and editing of previous alterations to the property will enhance and restore aspects of its special architectural interest - primarily the original staircase and open plan layout - with the aim of reinstating the high quality level of design that previously existed.

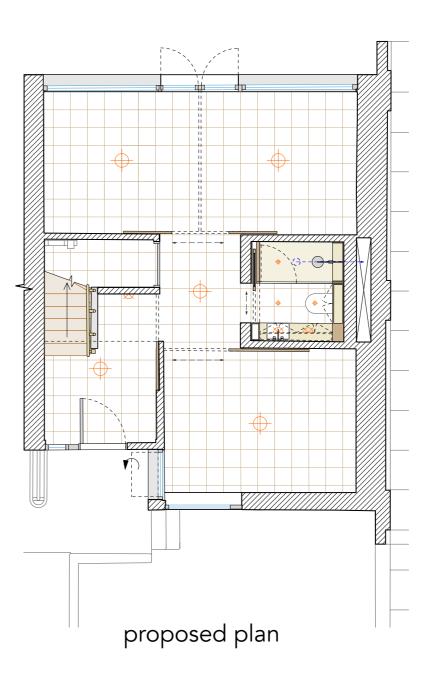
While following the original design principles, the proposal seeks to update the house in-line with contemporary living standards and functionality.

Ground Floor_design intent

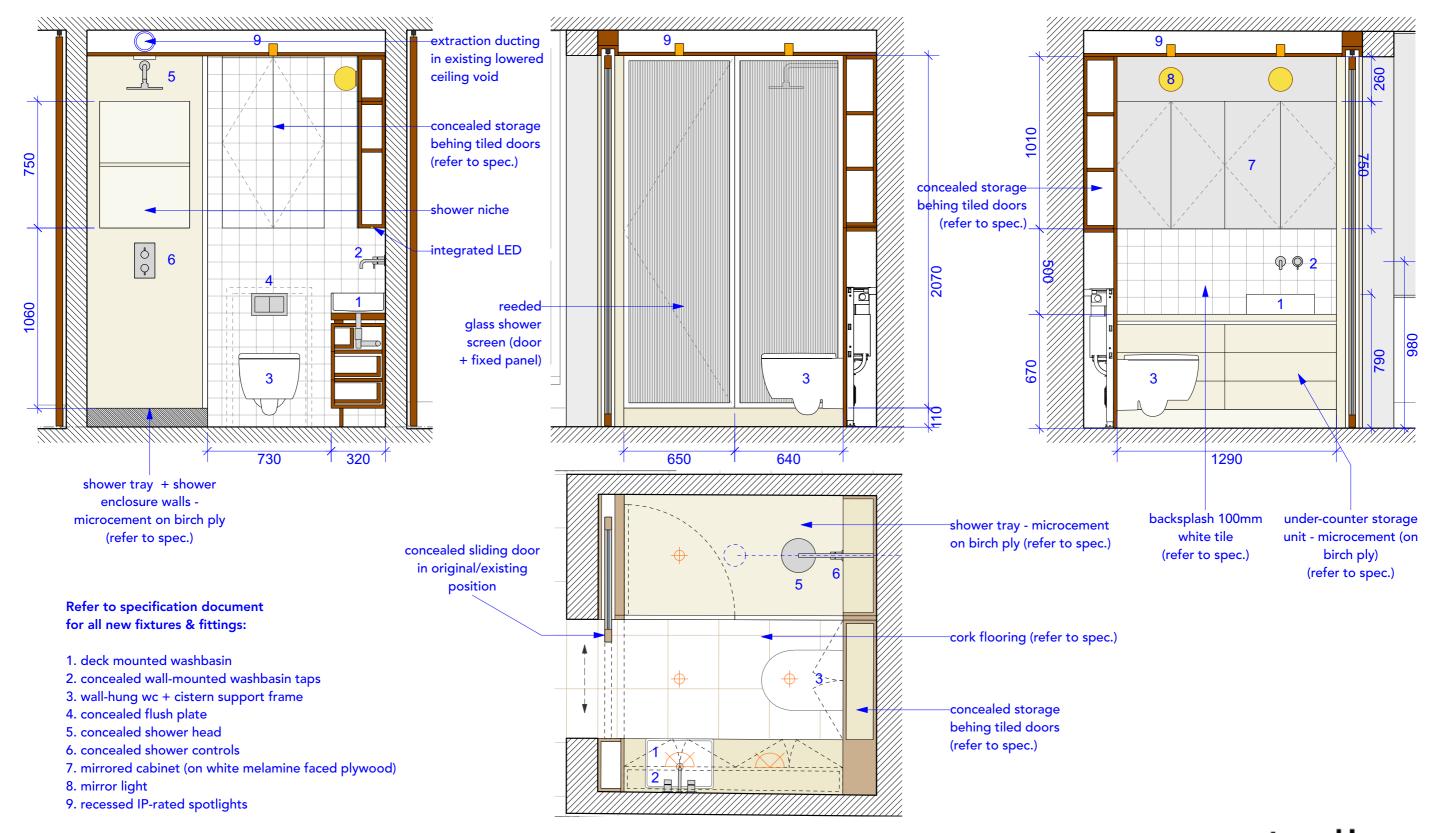
By removing all non-original walls and doors, and reinstating sliding doors and tracks, the proposed ground floor plan will closely resemble Neave Brown's original design. The bathroom layout will also closely resemble that of the original, but with a more accessible shower in place of the bath. Materially, the bathroom will feature a limited palette and details, including tiles in keeping with the original aesthetic. Discrete, improved storage has been proposed in line with modern day standards. Internal decorations will be returned to their original palette of white uncovered walls, while the non-original timber flooring and faux-marble slabs will be replaced with cork tiles throughout. All windows will be stripped, repaired and re-decorated to match the exterior finish, as per the original design (ie darck/black stain). The existing stair, one of the only original features not to be demolished, will be stripped of the existing carpet and paint, and repaired and re-finished in line with the original design (ie clear varnish).



original Neave Brown plan



Ground Floor_bathroom



21b AINSWORTH WAY

Ground Floor_bathroom_materials & specification



type: wall finish material: ceramic tile

colour: white

size: 100x100x6mm

brand: reed harris / tessera



type: wall/floor finish - shower

type: counter finish

material: microcement on ply

colour: white size: n/a brand: n/a



type: mirror/wall lights material: frosted glass

floor finish

natural, sealed

300x300x8mm

pure tree cork

cork tile

colour: white size: n/a

type:

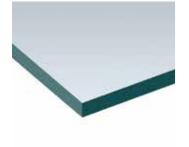
material:

colour:

brand:

size:

brand: flos / mini glo-ball



type: shower screen glass

material: clear glass

colour: n/a size: n/a brand: n/a



type: basin (surface mounted)

material: ceramic colour: white

size: 605 x 320mm

brand: arezzo



type: mirror for vanity cabinet

material: mirrored glass

colour: n/a size: n/a brand: n/a



type: basin faucet + controls

material: stainless steel

colour: brushed

size: n/a

brand: crosswater / mpro

21b AINSWORTH WAY

Ground Floor_bathroom_materials & specification cont.



type: shower head + arm

material: stainless steel

colour: brushed

size: n/a

brand: crosswater / mpro



type: shower controls material: stainless steel

colour: brushed

size: n/a

brand: crosswater / mpro



type: ceiling spotlight material: metal / recessed

colour: white

size: 90mm dia.

brand: mr resistor / rock n'roll /

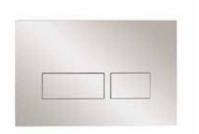
IP + fire rated



type: wall-mounted toilet

material: ceramic colour: white size: n/a

brand: duravit / me by stark



type: wall-mounted flush-plate

material: stainless steel

colour: brushed

size: n/a

brand: crosswater / mpro



type: toilet cistern/frame

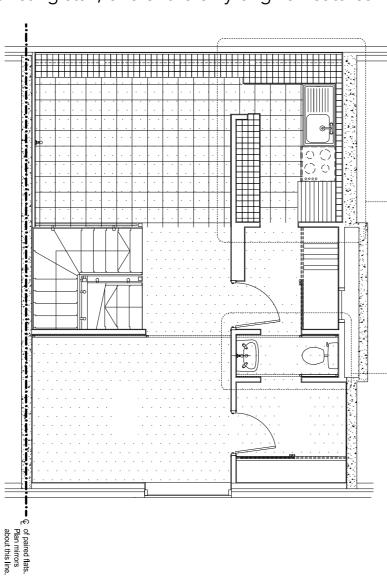
material: concealed colour: brushed size: 820x150mm

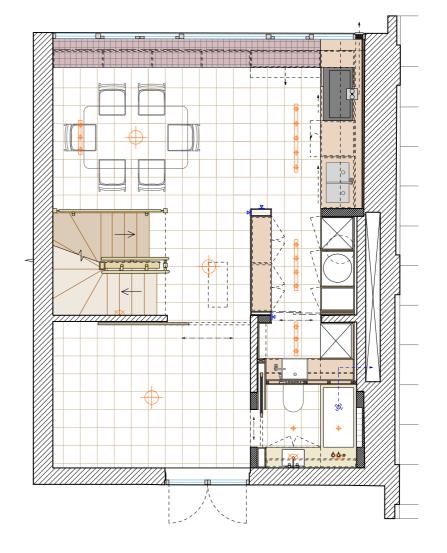
brand: aeberit / duofix

geberit / duofix kappa

First Floor_design intent

Similar to the ground floor, the proposal seeks to remove all non-original partition walls, swing-doors and frames in order to closely match Neave Brown's original open plan design. This will require the replication of the removed balustrade between the dining area and the stair, and the reinstatement of the sliding door and track to the bedroom. Where the original larder/utility wall has been removed during past development, a new painted (white) partition is proposed to recreate a layout and appearance similar to the original design, offering increased functionality and improved storage. By removing one of the two non-original bathrooms, a new utility area is proposed to meet the demands of a modern household. The proposed kitchen will closely resemble the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with birch plywood units and quarry tiles for wall and counter finishes, as per the original layout and aesthetic, with a second counter finishes, and the original layout and aesthetic finishes. inal design. The bathroom will be finished in a similar palette to the ground floor. Internal decorations will be returned to their original palette of white uncovered walls, while the non-original timber flooring, tile and faux-marble slabs will be replaced with cork tiles throughout. All windows will be stripped, repaired and re-decorated to match exterior finish, as per the original design. The existing stair, one of the only original features not to be demolished, will be stripped of the existing carpet and paint, and repaired and re-finished in line with the original design.

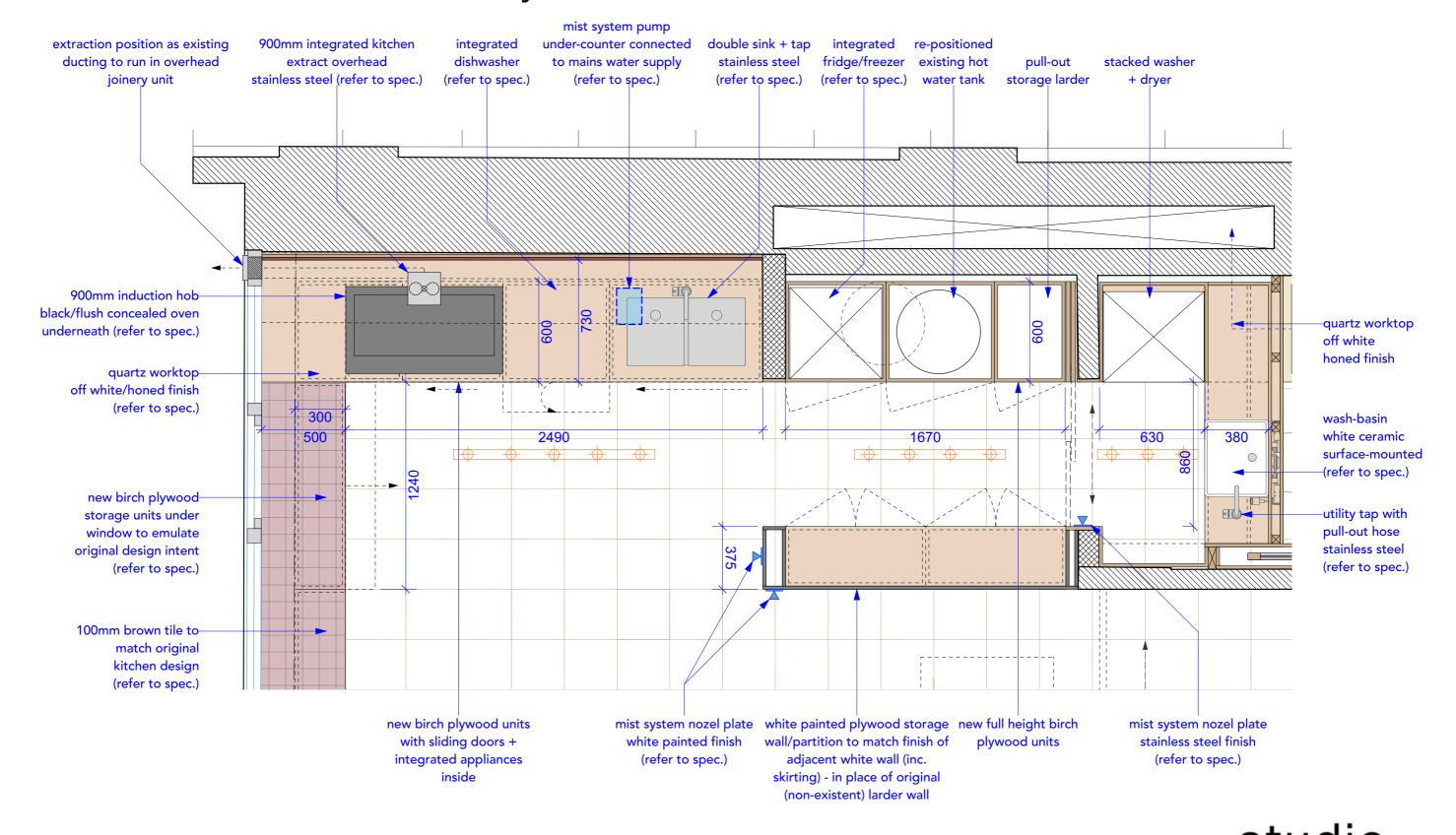




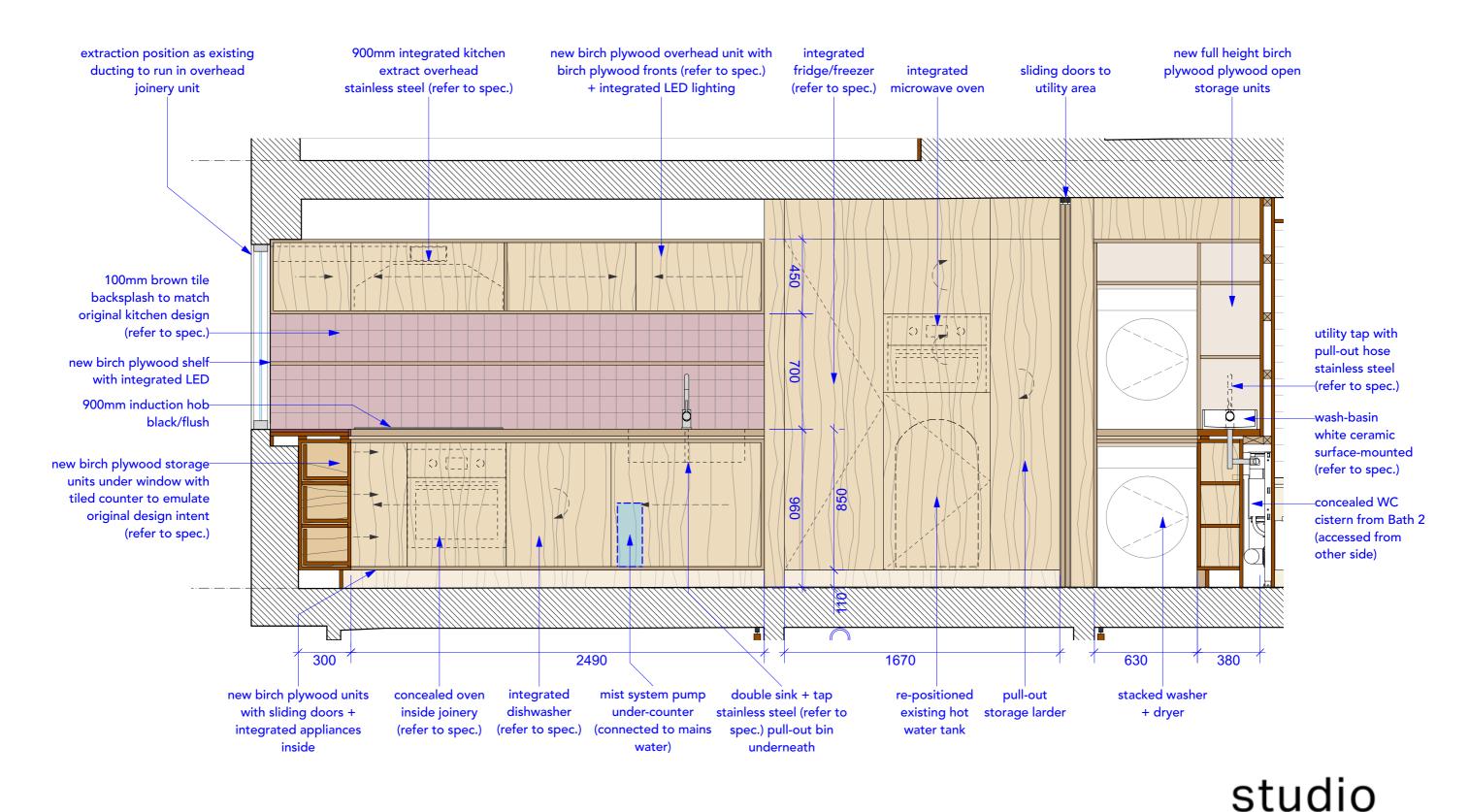
original Neave Brown plan

proposed plan

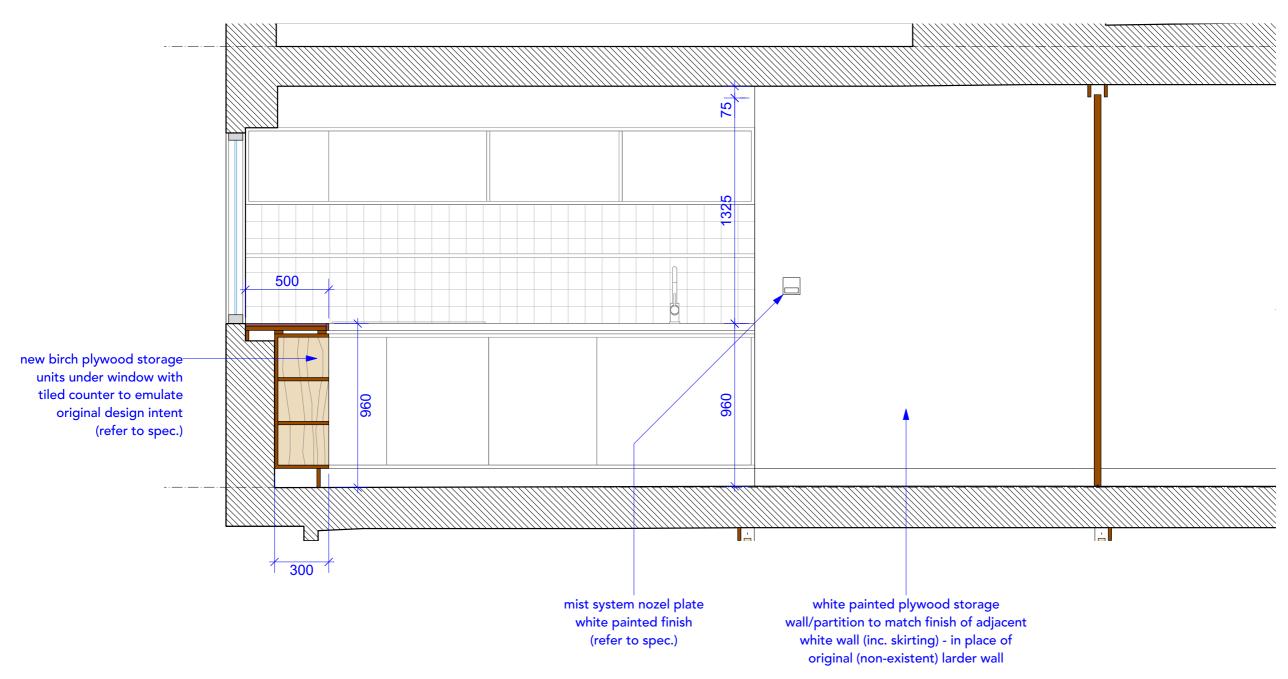
First Floor_kitchen/larder/utility



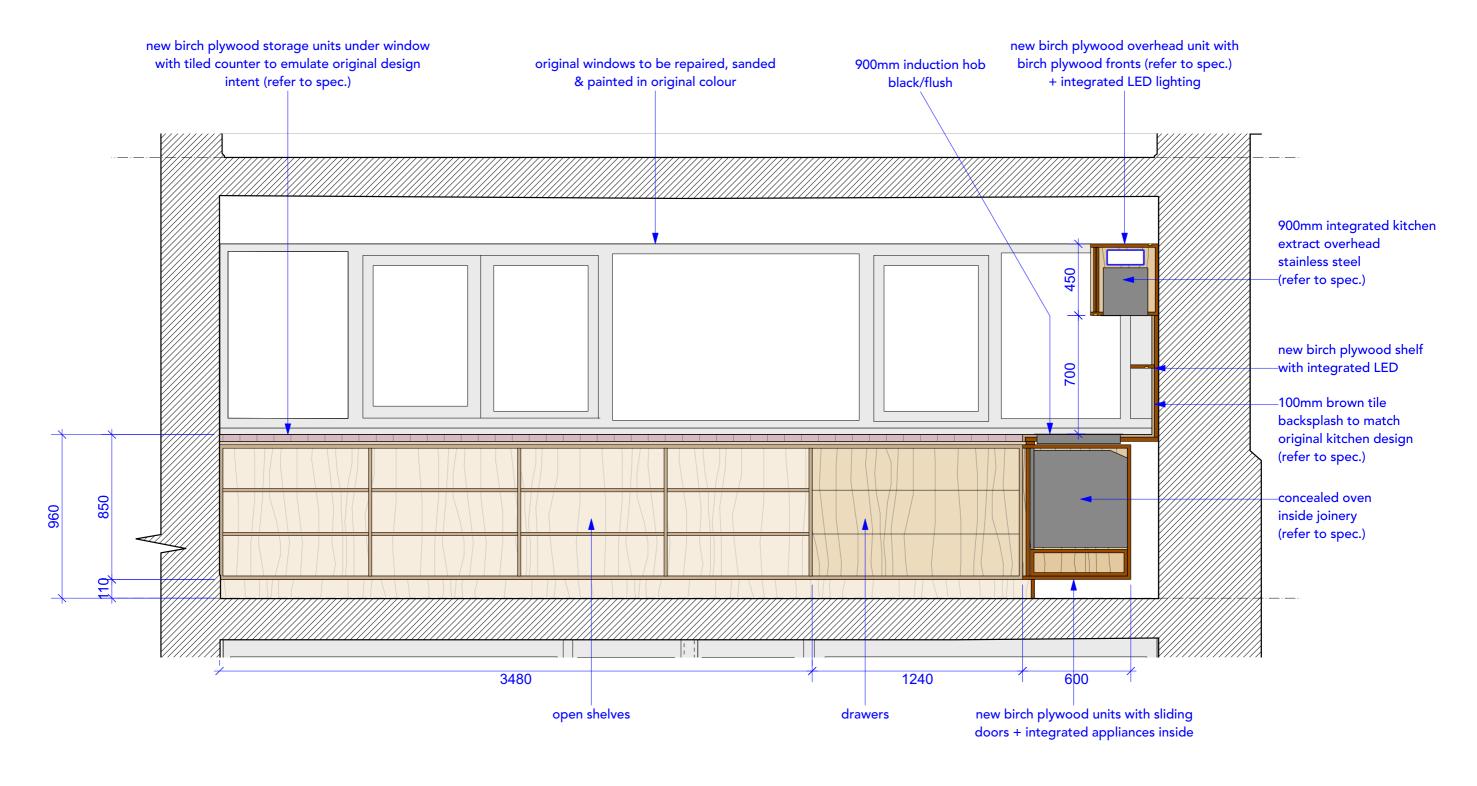
First Floor_kitchen/larder/utility



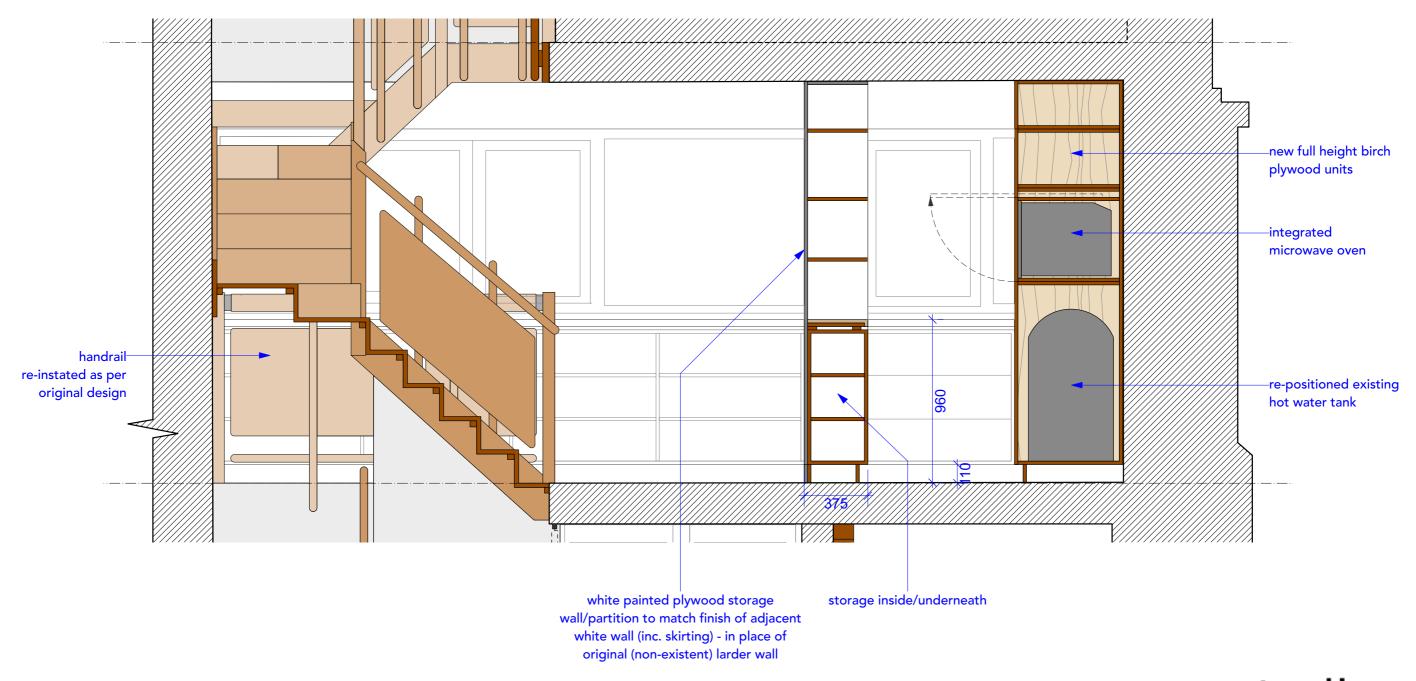
First Floor_kitchen/larder/utility



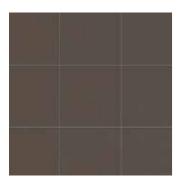
First Floor_kitchen/larder/utility



First Floor_kitchen/larder/utility



First Floor_kitchen/larder/utility_materials & specification



type: backsplash

type: window counter top

material: ceramic tile

colour: brown

size: 100x100x6mm

brand: reed harris / tessera



type: kitchen worktop

material: quartz

colour: light beige

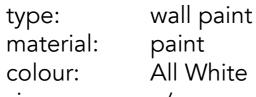
size: n/a

brand: variostone / light beige



type: all joinery/storage material: birch plywood clear oil/varnish

size: n/a brand: n/a



size: n/a

brand: Farrow & Ball / Dulux Match



type: floor finish material: cork tile colour: natural, sea

colour: natural, sealed size: 300x300x8mm brand: pure tree cork



type: original stair material: plywood sanded colour: clear varnish

size: n/a brand: n/a



type: original windows material: timber - sanded colour: re-stained black

size: n/a

brand: dulux / matt finish varnish

First Floor_kitchen/larder/utility_materials & specification cont.



type: sink under-mount material: stainless steel colour: stainless steel size: 750x440x180mm brand: Reginox / New York



type: extract material:

colour:

brand:

size:



type: tap (boiling water / filter)

material: stainless steel

colour: brushed size: n/a

brand: quooker / flex



type: fridge (integrated)

material: n/a

colour: white / integrated

size: 600mm

brand: Neff / KI7863DF0G



type: induction hob

material: glass colour: black

brand:

size: 940x520mm

Miele / KM7897FLFS



type: ceiling spotlight bar

material: metal colour: white

size: 400/500/600mm

brand: Astro / Ascoli 3/4/5



type: oven (concealed)

material: glass colour: black size: 600mm

brand: Neff / B57VS24H0B



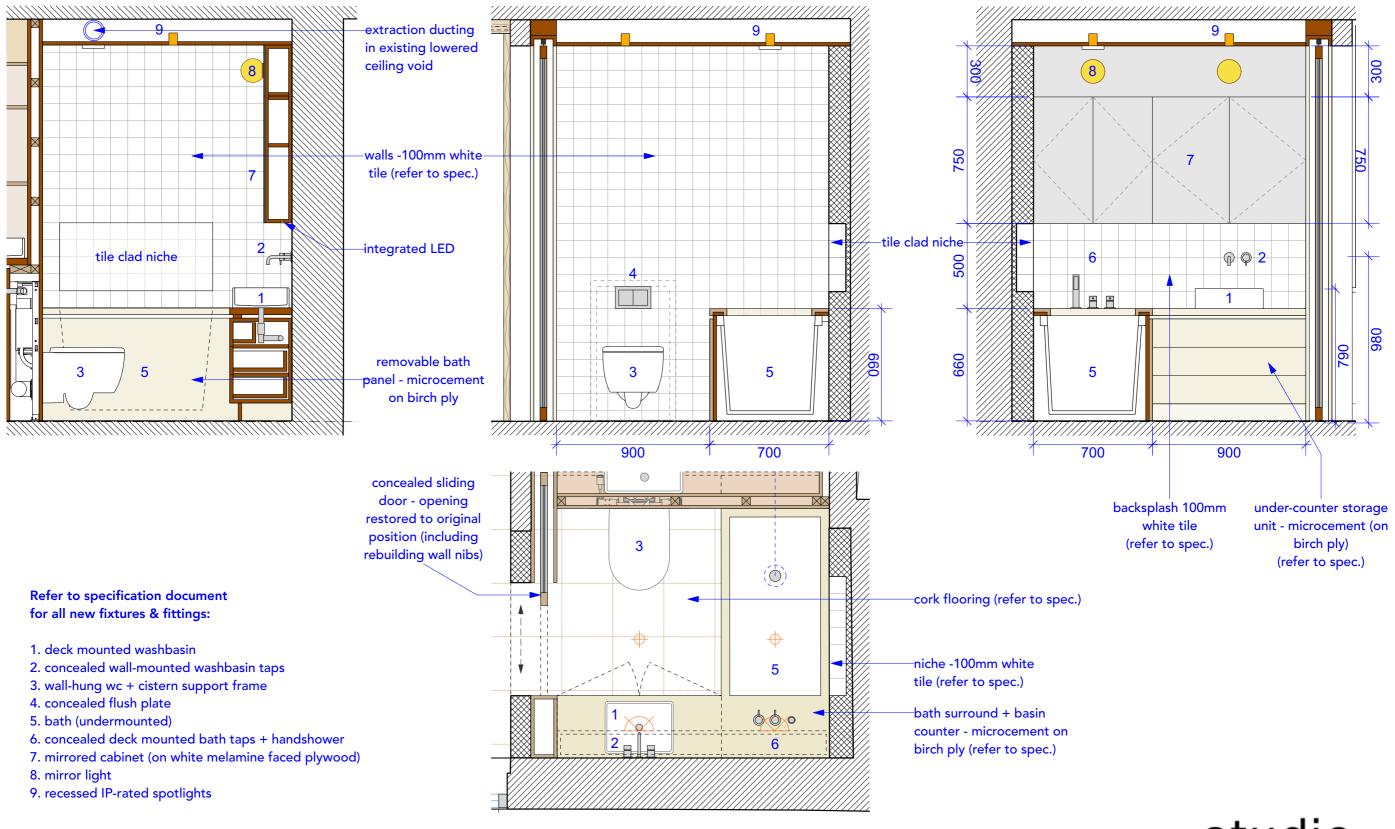
type: oven / microwave

material: glass colour: black size: 600

brand: Neff / C17MS32H0B

21b AINSWORTH WAY

First Floor_bathroom



21b AINSWORTH WAY

First Floor_bathroom_materials & specification



wall finish type: material: ceramic tile

colour: white

100x100x6mm size:

reed harris / tessera brand:



bath surround/front panel type:

counter finish type:

microcement on ply material:

colour: white n/a size: n/a brand:



mirror for vanity cabinet type:

mirrored glass material:

colour: n/a n/a size: n/a brand:



floor finish type: cork tile material:

natural, sealed colour: 300x300x8mm size: brand: pure tree cork



mirror/wall lights type: frosted glass material:

white colour: n/a size:

flos / mini glo-ball brand:



basin (surface mounted) type:

material: ceramic colour: white

605 x 320mm size:

brand: arezzo



basin faucet + controls type:

material: stainless steel

colour: brushed n/a

size:

crosswater / mpro brand:

First Floor_bathroom_materials & specification cont.



type: under-mounted bath

material: fibreglass/grp

colour: white size: n/a

brand: omni tub / solo



type: bath controls material: stainless steel

colour: brushed size: n/a

brand: drench / mpro



type: bath filler + waste material: stainless steel

colour: brushed size: n/a

brand: drench / mpro



type: ceiling spotlight material: metal / recessed

colour: white

size: 90mm dia.

brand: mr resistor / rock n'roll /

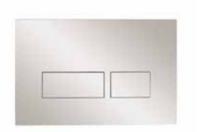
IP + fire rated



type: wall-mounted toilet

material: ceramic colour: white size: n/a

brand: duravit / me by stark



type: wall-mounted flush-plate

material: stainless steel colour: brushed

size: n/a

brand: crosswater / mpro



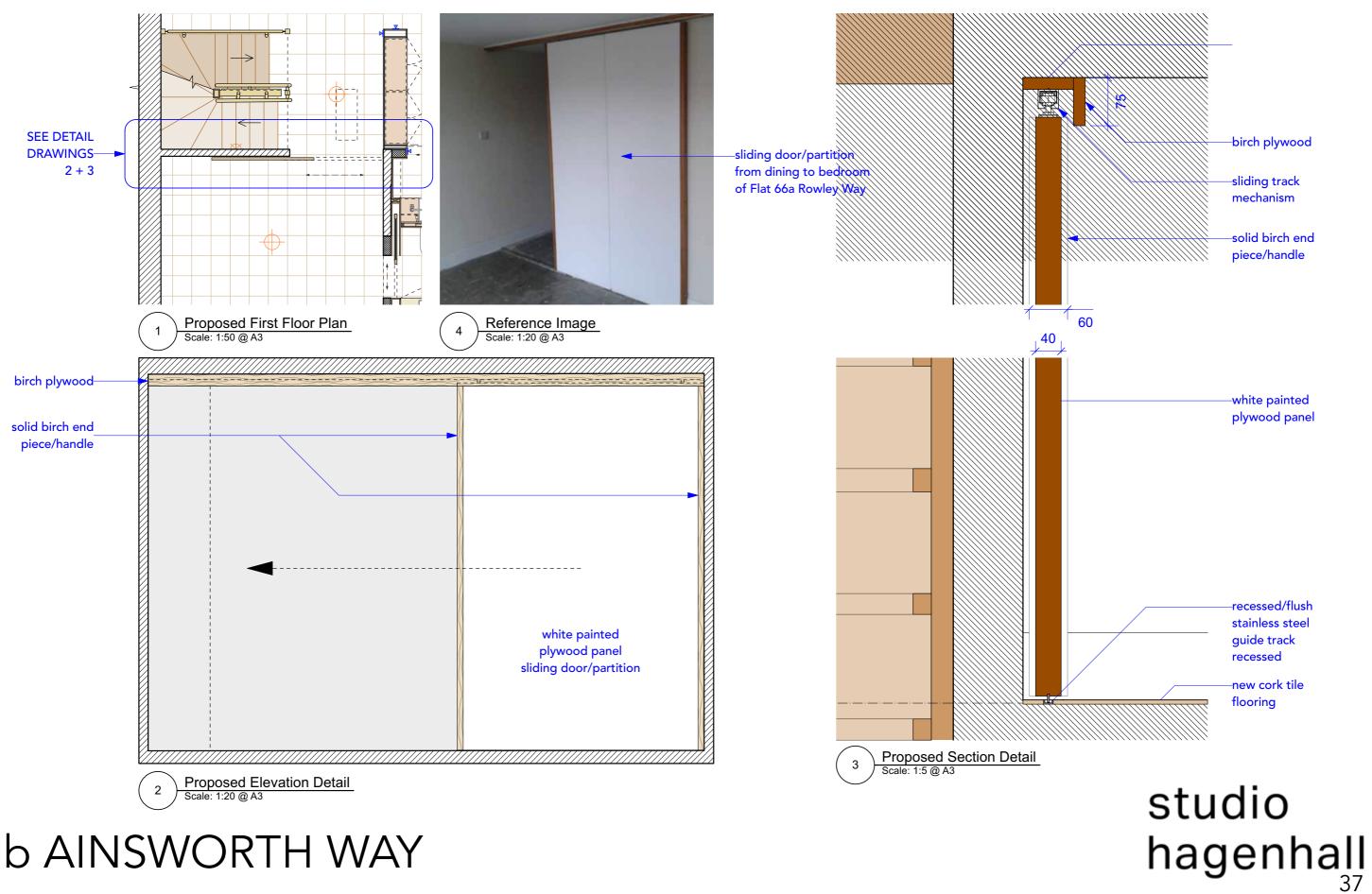
type: toilet cistern/frame

material: concealed colour: brushed size: 820x150mm

brand: geberit / duofix kappa



Typical Sliding Door/Partition Detail

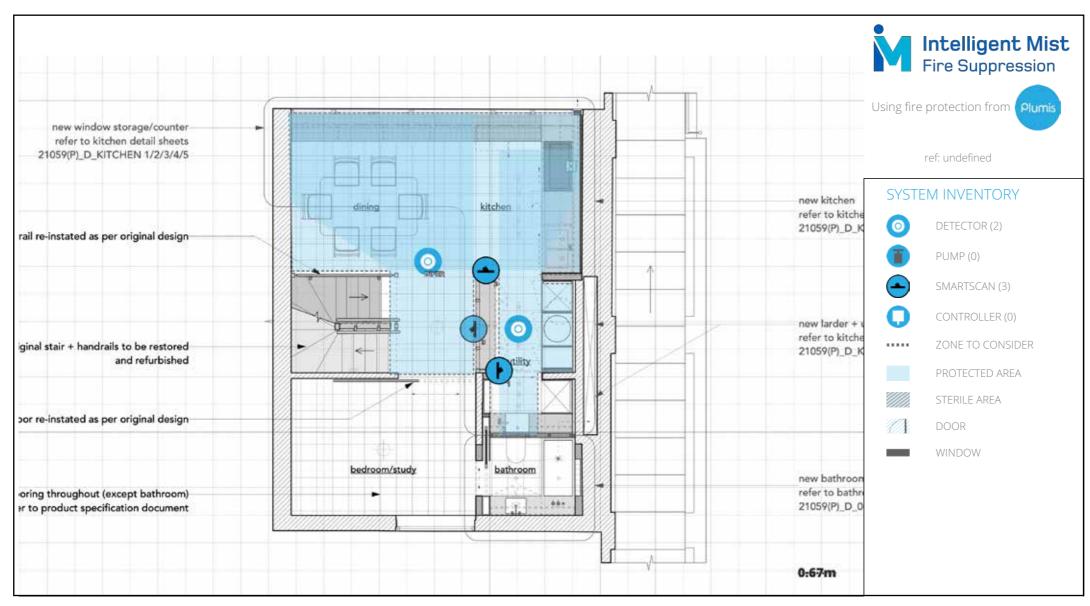


21b AINSWORTH WAY

First Floor_Fire Safety & Suppresion_Proposed mist system

By proposing to remove the non-original walls and fire doors in order to return the property to its original open plan form (including re-instating timber sliding door/room partitions), the appointed Approved Inspector has indicated the need to install a mist system to contain any potential fire to the kitchen/dining area in order to meet current Building Regulations. Building Regulations state that one cannot downgrade the level of fire protection from the existing level of protection, which is currently provided by the non-original wall + fire door between the kitchen and the stair/landing.

The proposed mist system has been specified by "Intelligent Mist" to cover <u>only</u> the kitchen and utility area, in order to protect the stair and First Floor landing. The fire mist system (pump + pipework + mist plates) is entirely contained within the new joinery; a small pump will be located underneath the kitchen sink, and the visible plates containing the room scanner + water nozzle are similar in size and form to a 13A double socket plate and come in a stainless steel or painted white finish (to suite positions on birch ply or white painted walls/joinery respectively)





"Plumis Hydra Automist" Wall Plate in Stainless Steel



"Plumis Hydra Automist" Wall Plate in White Finish



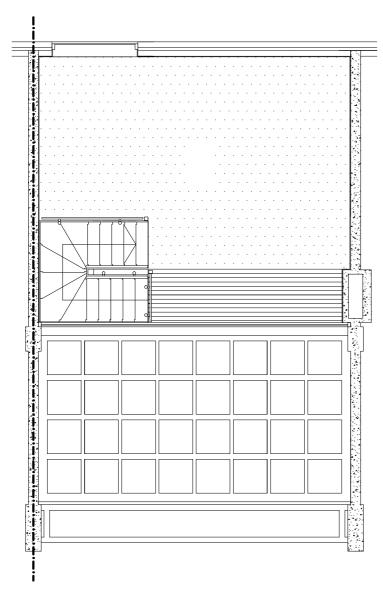
"Plumis" Mist System Water Pump (connects to mains water supply)

Proposed fire suppresion plan produced by "Intelligent Mist"

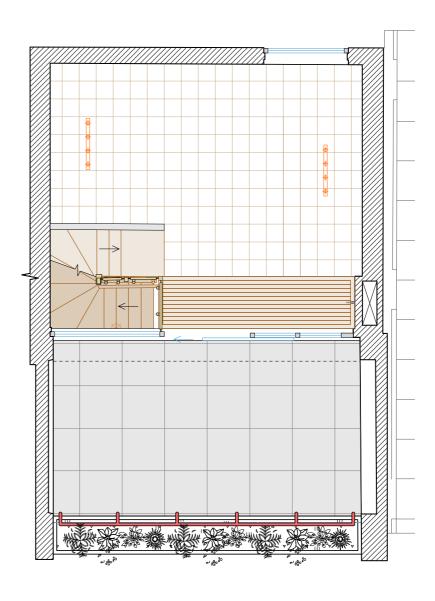
21b AINSWORTH WAY

Second Floor_design intent

Similar to the ground and first floors, the proposed intention is to remove all non-original partition walls, swing-doors and frames in order to return the second floor layout to Neave Brown's original open plan design. The partition adjoining the stair will be carefully removed to reveal the original concrete parapet wall. The original timber window plinth, currently covered over, will be revealed and restored to its previous condition. Internal decorations will be returned to their original palette of white uncovered walls, while the non-original timber flooring will be replaced with cork tiles throughout. All windows will be stripped, repaired and re-decorated to match exterior finish, as per the original design. The existing stair, one of the only original features not to be demolished, will be stripped of the existing carpet and paint, and re-paired and re-finished in line with the original design. The external handrail will be re-painted in the recommended colour to match, and the planter will be recommissioned.



original Neave Brown plan



proposed plan

5.0 CONCLUSION

In its current state, the floor layouts throughout 21b Ainsworth Way bear little resemblance to Neave Brown's original design, while the existing finishes and fittings are neither original, nor in keeping with the original aesthetic. The much needed regeneration to this family home will be done in a manner that will be respectful to the original historic design and will aim to reinstate and celebrate the architectural features and materials that make this estate so important.

The proposed works will aim to enhance the characteristics of the building while also enhancing and updating the interiors to meet modern day standards.

There are no new external structures or alterations proposed (aside from repairing and re-staining all windows to match the original specification). All internal alterations will be of a domestic scale with the intention of reinstating features and layouts that were previously removed and altered. The use of a sympathetic material pallet will reinstate the character of the building and the proposed additions will be firmly in the spirit of what Neave Brown and Camden Council intended.

All parts of 21b Ainsworth Way are private residence. The access to the site will be unaffected in the proposals made here. The highway is unaffected.

