

Works to plant roof on 2F level to be undertaken during Phase 2 of the project

Redecorate timber elements of the lantern and reinstate/ repair the lead flashing where missing or misplaced to prevent the deterioration and decay of the lantern timber elements

Replace/ reinstate slipped, missing or broken tiles with new slates to match. Remove temporary bitumen repairs and reinstate with matching slates. Reinstall roof slates with slates to match existing where unknown slates have been used for roof repairs

New mansafe system installed to allow for access and maintenance of roof and gutters. Final mansafe layout to be determined following roof inspection

**Phase 2**  
New FCU/ MVHR units to replace existing - to M+E details

Existing undersized and outdated plant replaced with new plant supported on new plant deck. Plant deck structure to be supported with new steel beams spanning from party wall to external masonry wall to relieve loads on existing auditorium dome

**Phase 2**  
New FCU/ MVHR units to M+E details

Allow for new waterproofing throughout following removal of the existing M+E equipment

**Allow for glass panels to new doors**  
New door formed within existing window sizes to provide alternative means of escape from new roof plant  
Allow for glass panel to door to retain natural light gain to stair/ corridor

Existing crossing infilled with an additional row of 15no additional seats to match existing. The infill of the existing crossing is required to balance the loss of 24no seats at the back of the Stalls where the new accessible lift is inserted to ensure that the minimum viable number of 400 seats is retained.

**Reduced scope of alterations**  
Existing balustrade upstand retained

Underside of rake locally altered to allow for improved headroom to Building Regulation standards and to allow for lift installation. Dotted lines indicate profile of the existing rake where altered. New RC lift shaft to support existing GF slab and underside of circle rake

Allow for levelled door threshold  
New concealed ductwork in ceiling void

**Reduced scope of demolitions**  
New platform lift with shallow pit created above existing concrete slab - existing slab not affected by the works

Regrade floor throughout the bar area to allow for level access from auditorium to Lift and Accessible WC

New seats with materials and upholstery to match retained seats

D

D

D

Tower Street

West Street

Ground level

LIGHTWELL

STORAGE

CORRIDOR

5

LAUNDRY

CORRIDOR

2

DINING ROOM

CORRIDOR

BASEMENT

GRID

**Existing circle door retained**  
Existing circle door retained. Manned solution to be negotiated with the Approved Inspector to for door to be retained

Existing theatre services removed and rationalised with new rigging bars to de-clutter the auditorium from temporary audio and theatre lighting cableways. New mansafe/ fall arrest required for H/L safe access as currently missing  
New guarding/ rester at bottom of stairs required due to currently low level balustrade

Existing temporary cableways and rigging bars removed and replaced with new Internally Wired Bar to de-clutter the front of the balcony. Use the existing balustrade service holes at front for fixing the new IWB to the existing strengthened balustrade structure.  
New strengthening structure to the existing balustrade to be installed from the internal side of the balustrade facing the seating rake without affecting the exiting front mouldings to Structural Engineer details.  
New guarding/ rester at bottom of stairs also required due to currently low level balustrade

**Existing radiators retained**  
Existing water-fed cast iron radiators retained, refurbished and retrofitted to be electrical radiators to M+E details.  
Radiator and marble shelf relocated along wall away from lift

New plant / ducwork on metal platform grille to M+E details

1  
500

1  
555

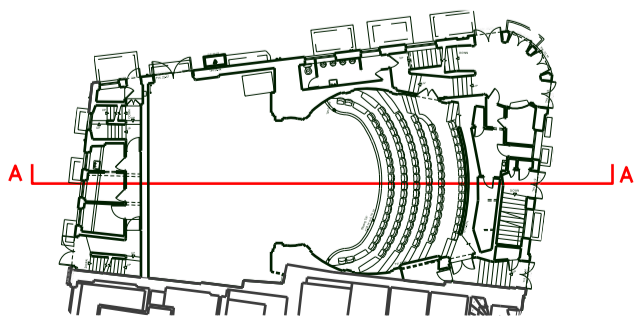
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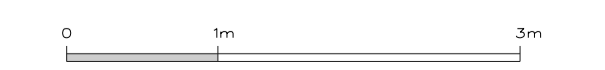
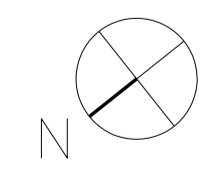
- Existing
- Existing demolished
- Existing seating retained and refurbished
- Proposed



THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS

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Rev:	Date:	Description:
D	20/09/22	Planning
C	20/07/22	Planning
B	19/07/22	Planning
A	13/07/22	Planning
/	17/06/22	Planning

Job: 2201 Ambassadors Theatre  
Client: Ambassador Theatre Group

Drawing: Proposed Section AA  
Drawing no: 2201-3-220  
Rev: D  
Status: Stage 3  
Scale: 1:50@A1, 1:100@A3  
Date: 17/06/22

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