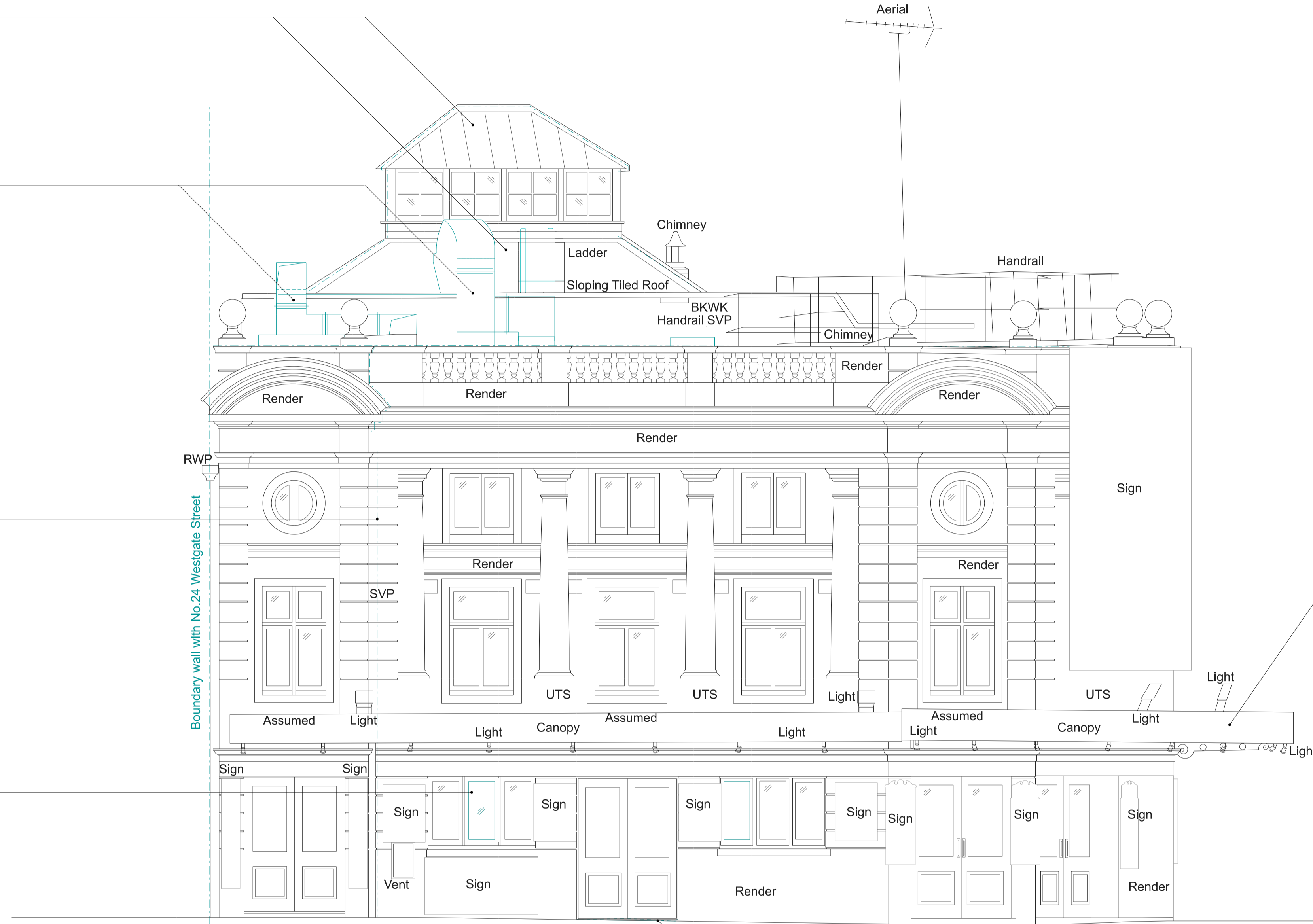


Replace/ reinstate slipped, missing or broken tiles with new slates to match. Remove temporary bitumen repairs and reinstate with matching slates.
 Reinstall roof slates with slates to match existing where unknown slates have been used for roof repairs
 Redecorate timber elements of the lantern and reinstate/ repair the lead flashing where missing or misplaced to prevent the deterioration and decay of the lantern timber elements

New M+E roof equipment behind second floor parapet

New lightning system to follow existing rain water pipes route

Existing extract grille removed and window pane reinstated to match existing



Painted steelwork supporting the glazed canopy to be refurbished/ redecorated to address isolated corrosion and peeling of decorative finishes to prevent further deterioration/ further corrosion.

Reduced scope of works to altering 1no door cill only - see side elevation on Tower Court
 Allow for levelled door thresholds and low energy automatic swing/ power assisted door openers and intercom installed to improve access for wheelchair users. Existing cills repaired as required

B

B

Key
 Existing
 Proposed

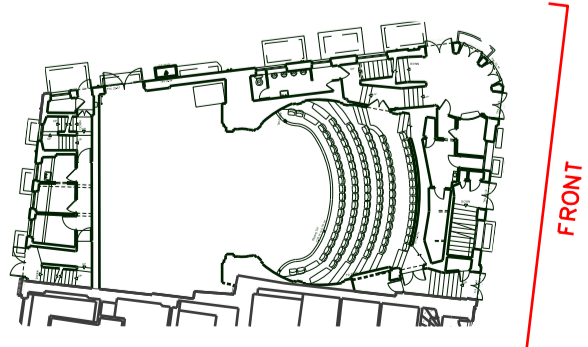
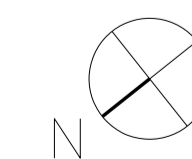
Note:
 Mansafe system installed to allow for access and maintenance of roof and gutters. Final mansafe layout to be determined following roof inspection.
 Clean, repoint and repair all masonry parapets and coping stones to prevent water ingress.
 Refurbish existing windows throughout.
 Fractures, low level impact damage, blown/ detached surfaces and blistering/ peeling paint in stucco render surfaces to be repaired to prevent further deterioration and detachment of Stucco render surfaces. Fractured and impact damaged stone/ stucco window collared to be repaired as well to prevent potential water ingress and further deterioration.
 Isolated bricks were fractured, with minor impact/ abrasion damage at low level to be replaced in matching brick/ repaired to prevent water ingress into the structure. Isolated soiling and graffiti to be cleaned.
 Painted steelwork supporting the glazed canopy to be refurbished/ redecorated to address isolated corrosion and peeling of decorative finishes to prevent further deterioration/ further corrosion.
 All rainwater downpipes to be cleared. Where existing original elements need to be replaced, replace with like for like.

Reduced scope of repairs

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS

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Rev:	Date:	Description
B	20/09/22	Planning
A	13/07/22	Planning
I	17/06/22	Planning

Job: 2201 Ambassadors Theatre
 Client: Ambassador Theatre Group

Drawing: Proposed Front Elevation
 Drawing no: 2201-3-300 Rev: B Status: Stage 3
 Scale: 1:50@A1, 1:100@A3 Date: 17/06/22

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