

Design and Access Statement

New outbuilding at the rear of the garden and installation of ASHP

4 Lambolle Road | London | NW3 4HP

STEYN STUDIO



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Introduction

On the 27th of May 2021, planning permission (2020/3292/P) was granted for erection of single storey outbuilding and installation of an associated air source heat pump in rear garden to replace existing play equipment, for use ancillary to the lower ground floor flat. This application was initially submitted by Green Retreats Ltd. Following its approval, details required by conditions no's 3, 4 and 5 2021/2945/P were approved which allows the approved works to commence.

The client however has since had second thoughts about the appearance of the approved outbuilding as in their view it is not in keeping with the architecture of the existing property, and also wants it to be more complimentary towards the garden. Steyn Studio was approached to submit a new application considering what was previously approved as well as the clients new aspirations.

The new application is therefore identical to the previous, seeking permission for the erection of a single storey outbuilding and installation of associated air source heat pump. The only difference, as illustrated throughout this document, is the changing the roof to a low pitched pyramid green roof covered with sedum.



Existing

Site and context

The current garden at the rear of 4 Lambolle Road is of an area of aprox. 250 sqm. The main part of the garden is planted with a large grass lawn and flower beds along the boundary walls, running from the paved patio at the back of the house, to the existing deck and playground at the rear of the garden.

The boundary fences along the perimeter are mainly half height brick walls, topped with trellis. Half of the rear brick wall is higher than the rest with a height of 2.8m.



Existing garden



Existing garden



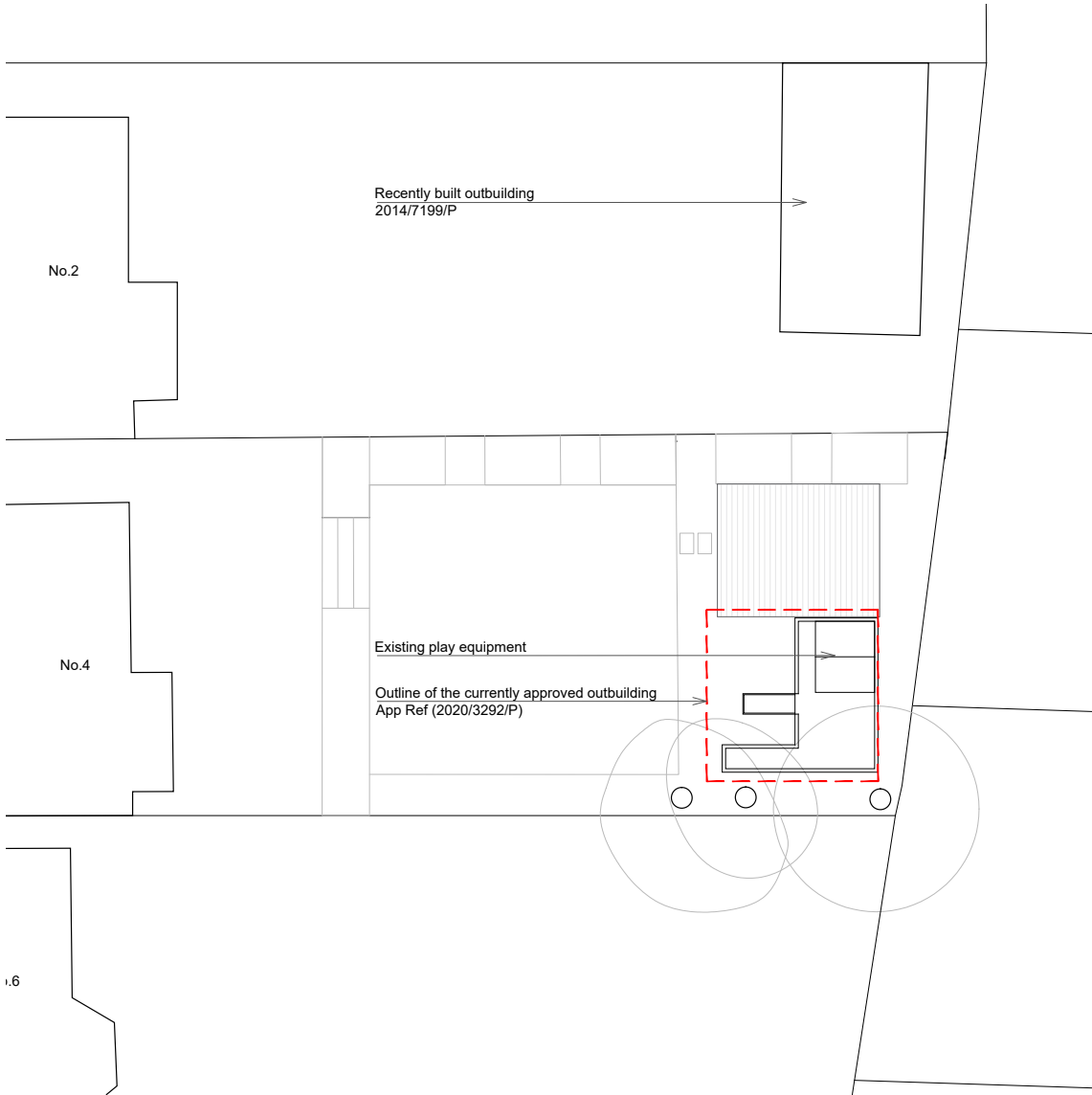
Existing play area



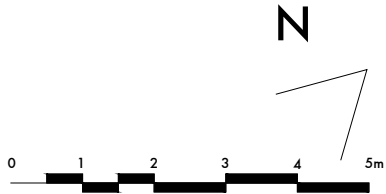
Planning

Planning History

- 2007/0908/P| Approval for the Erection of a children’s timber play equipment structure in rear garden, including a timber playhouse, raised platform, slide and swings
- 2020/3292/P| Approval for the Erection of single storey outbuilding and installation of associated air source heat pump in rear garden to replace existing play equipment, for use ancillary to lower ground floor flat.



Existing site plan



Planning

Planning Policies

Current planning policies - Camden Planning Guidance GPG “Home Improvements”. (January 2021) Section 5.5 Outbuildings. Some of these, impacted by the revised design, are listed below:

- ”Ensure the siting, location, scale and design has a minimal visual impact on, and is visually subordinate within, the host garden.” - The proposed building is subordinate to the garden size and is sited inconspicuously at the rear of the garden.

- ”Not detract from the open character and garden amenity of neighbouring gardens and the wider surrounding area.” - By locating the new outbuilding adjacent to the rear boundary wall is subservient to the main garden space and allows a significant fully open garden to be retained. The new proposal includes a green sedum roof which allows the building to blend in better into its garden surroundings.

- ”Ensure the height will retain visibility over garden walls and fences.”- The outbuilding height is kept within 3m, similar to the approved scheme. The dividing walls along the perimeter are mainly half height brick walls, topped with trellis. Half of the rear brick wall is higher than the rest with a height of 2.8m.

- ”Consider installation of green roof and/or solar panels.” - A green Sedum roof is proposed for the new outbuilding.

- ”Consider installation of water butts.” - Water butts will be considered at the rear of the new outbuilding.



View towards the rear garden and showing the approved outbuilding at No.2



View from the rear garden



Boundary wall

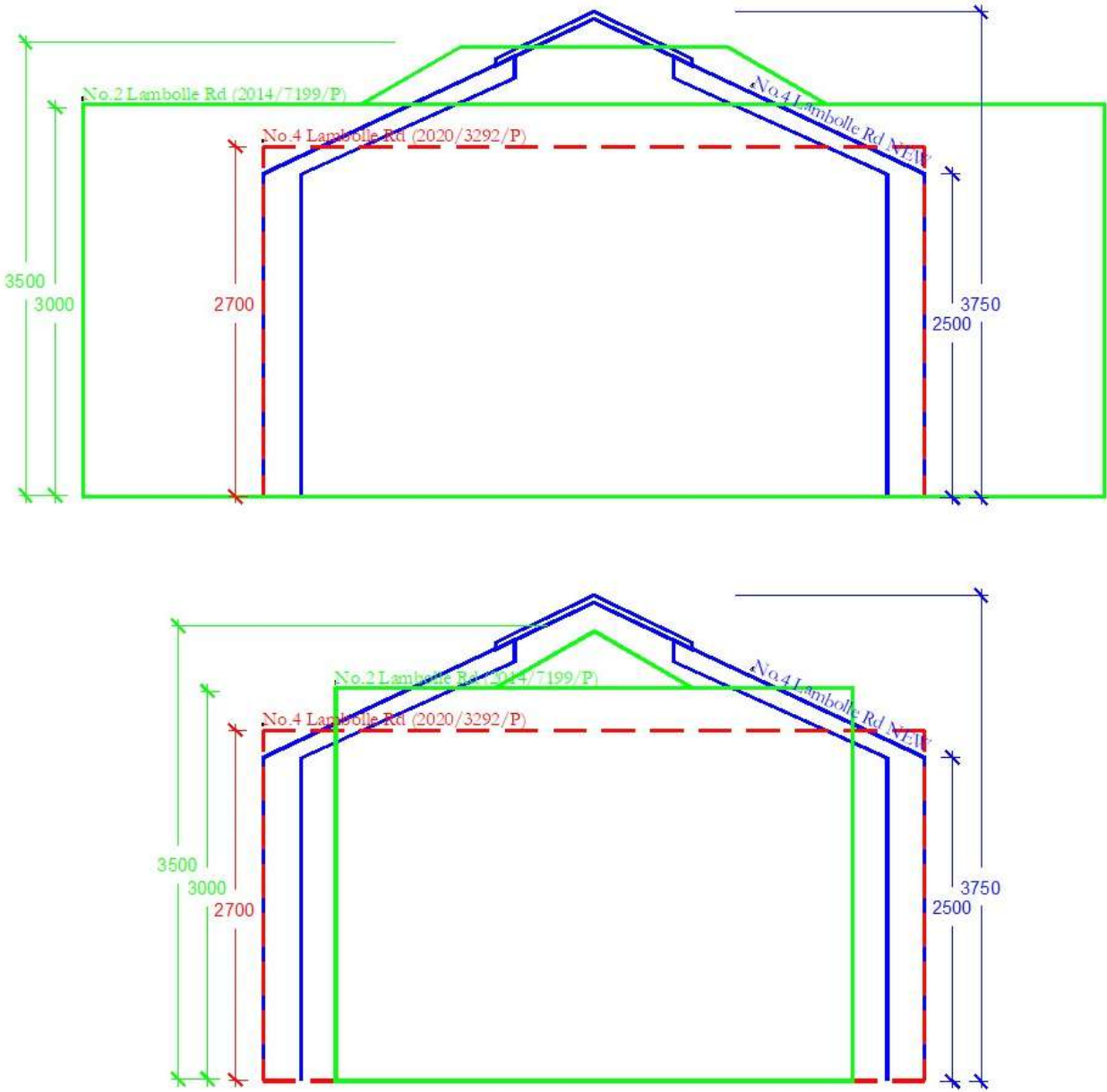


Pre-Application Advice

Planning Policies

We sought informal pre-application advice based on a similar proposal to the one proposed as part of this application, with the differences being that it was a bulkier design due to its 35degree pitched zinc roof. The planner discouraged the added bulk and recommended adding a green roof. We took on board these comments and decreased the bulk of the proposal by lowering the pitch of the roof to 25 degrees and adding a green sedum roof.

The adjacent diagrams show the outline profiles of the approved scheme at No.4 (red) as well as the approved and implemented scheme at No.2(green), compared with the new proposal at No.4(blue). The out-building at No.2 is also located within 2m of the its property boundary and with a taller eaves height. We think it is relevant to consider our proposal against what was approved at No.2. There is only a 25cm difference in height, and considering sightliness and the position of the highest point in both instances in the middle this difference is not significant.



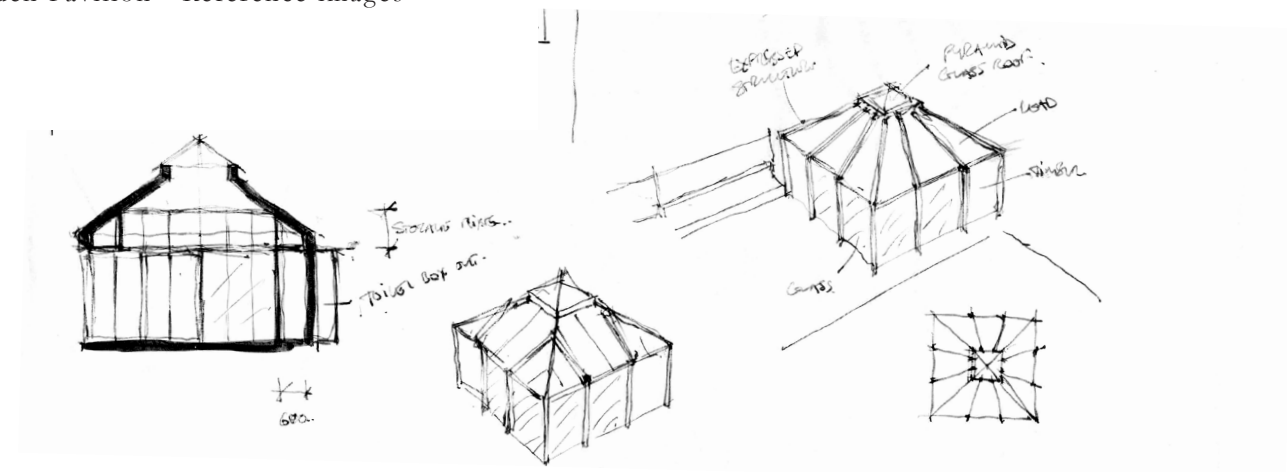
Design

Concept

- Garden structure 'at home' withing the garden environment.
- Integrated withing the rest of the garden, becoming an extension of it.
- The proportions and rhythm is inspired the classical elements found in Georgian Architecture and garden gazebos
- The pitched roof increases storage opportunities in the roof volume.
- Decorative interest is added through structural bracing patterns, which also assists functionally to keep the structure upright



Garden Pavilion - Reference images



Concept diagram



Design

General

The proposed design is identical to the approved scheme in terms of its location, footprint size, internal distribution and eaves height. The air source heat pump is also retained in the same position and the materials proposed are also similar.

As indicated on the drawings, the only difference in the design is the proposal for a pyramid hipped roof in lieu of the current flat roof, as well as the articulated structural detailing on the facades and roof, which has been inspired by the Architecture of the house, as well as garden gazebos. The latter is a familiar garden structure and provides visual interest which becomes a focal point in the rear of the garden, and have been interpreted in a slightly more traditional manner than the previous design, yet with more contemporary detailing.

The end result is a design which is more complimentary to the architecture of the house and the garden compared to the contemporary flat roofed box.

The drawings included shows how the new proposal compares to the existing approval, with the latter indicated in a dotted line.

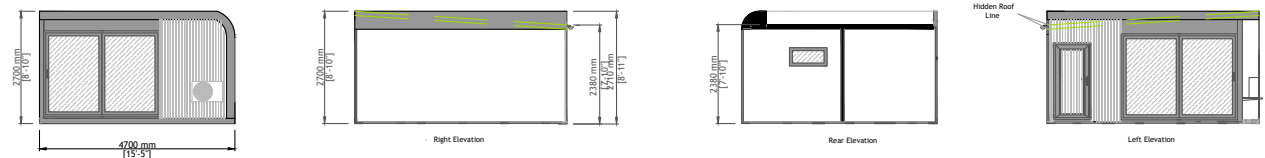
Access

Access into and within the dwelling, along with the garden, will not be affected by the proposals.

There is no alteration to the existing parking accommodation within this proposal.



Aerial View - Proposed outbuilding



Elevations - Approved scheme 2020/3292/P



3D view - approved scheme 2020/3292/P



3D Views - Proposed Outbuilding



View from the terrace



Aerial view



First floor view



Garden view



Summary

Our proposal is seeking to create a new outbuilding at the rear of the garden to replace the currently garden play equipment, which would provide an enhanced workspace for the current occupiers.

The proposal has no negative impact on neighbours as the garden is sufficiently remote from the house and neighbouring properties.

We trust that the further development and detail that we are illustrating in this application are as per your expectations and that the application would be viewed favourably.



Garden view



Interior view

Existing Drawings

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Existing Site Plan
Scale 1:100

NOTES
ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. NO SCALING. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT. ©

KEY PLAN

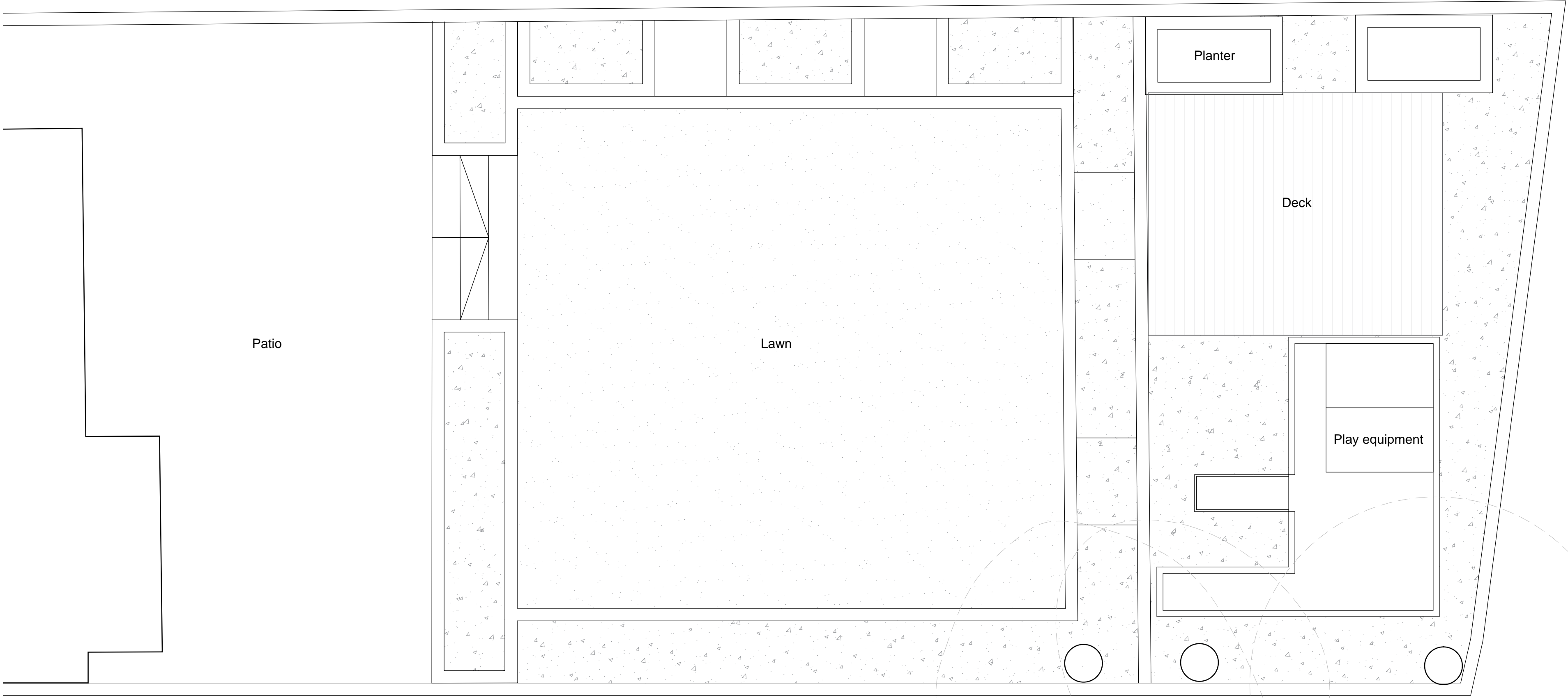
REV	DATE	COMMENT
P1	26.08.22	First Issue

PLANNING

<div>STEYN  STUDIO</div> <div>Unit G1 Lion Works 55-57 Walls Road London, E9 5UH mob: 0793080586 tel: +44 (0) 20 323 90228 email: info@steynstudio.com web: steynstudio.com</div>	
PROJECT NAME	Garden Pavilion
ADDRESS	4 Lambolle Road London, NW3 4HP
DRAWING	Site plan
DRAWING NO.	F 0 102 P1
DATE	August 2022
SCALE	1:100 @ A1
DRAWN BY	CF
CHECKED BY	CS

F | 0 | 102

P1



Existing Ground Floor Plan
Scale 1:50

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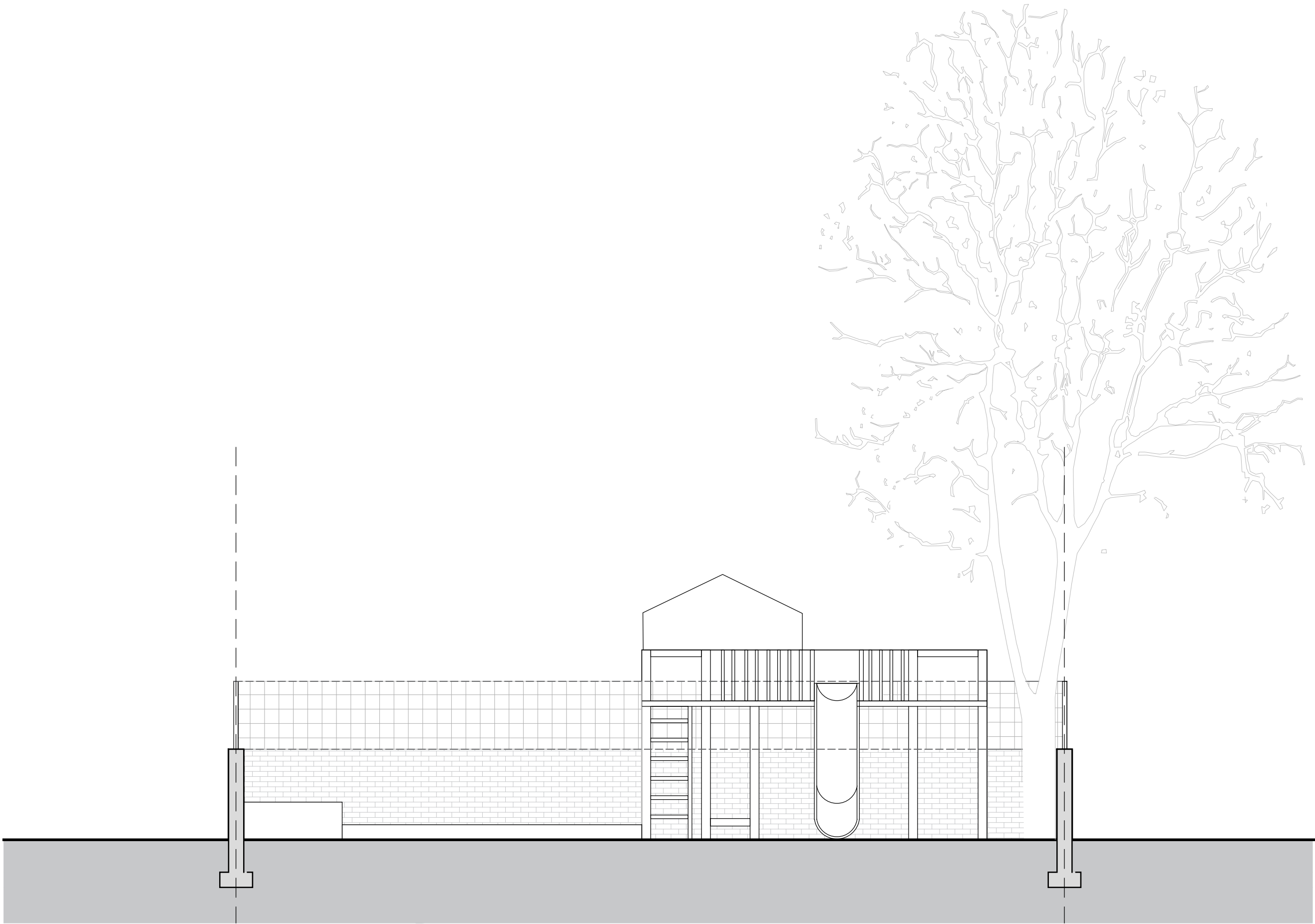
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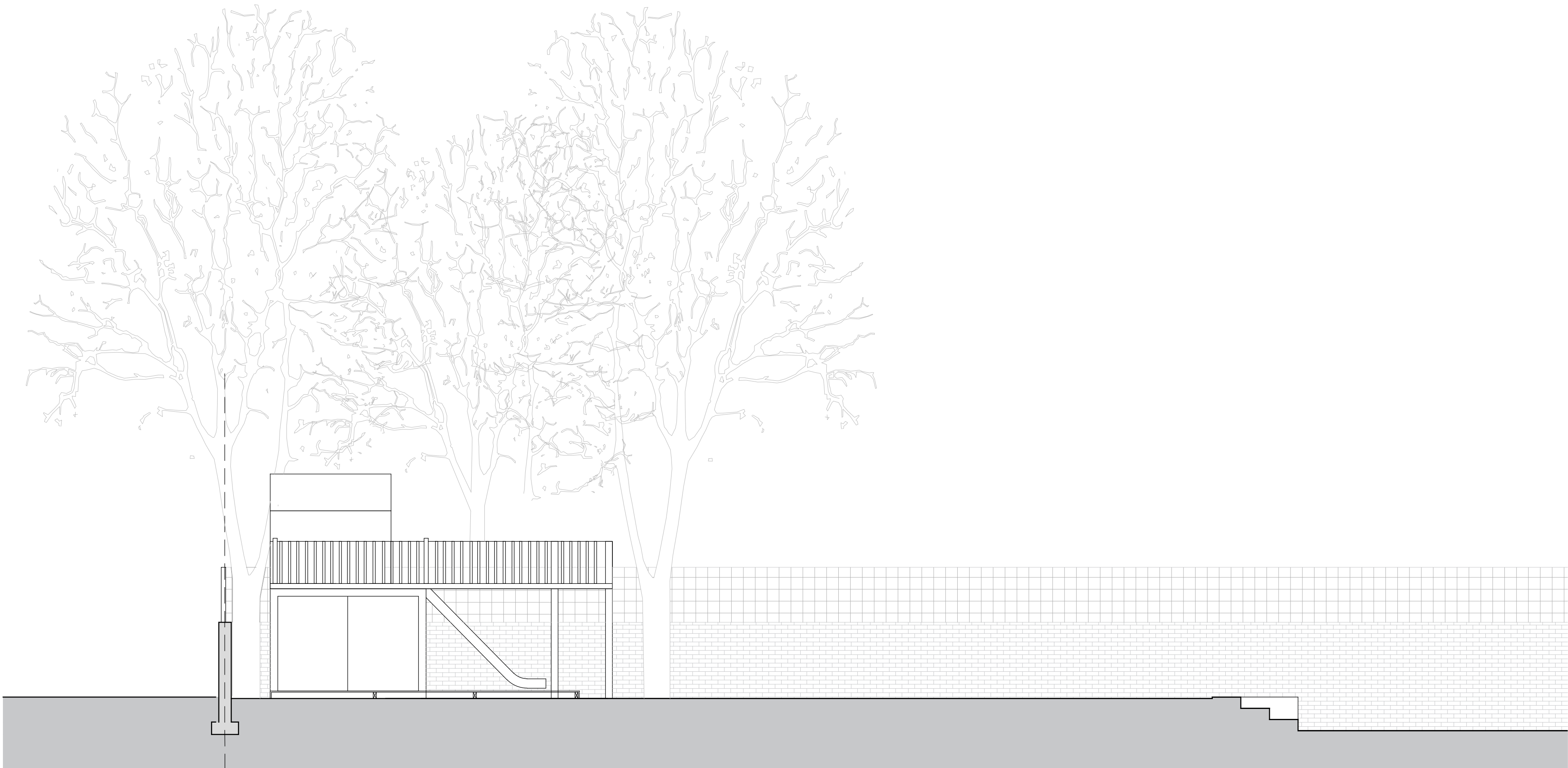
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DATE	August 2022
SCALE	1:50 @ A1
DRAWN BY	CF
CHECKED BY	CS

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P1



Existing Front Elevation
Scale 1:50



Existing Side Elevation
Scale 1:50



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PROJECT NAME	Garden Pavilion
ADDRESS	4 Lambolle Rd London, NW3 4HP
DRAWING	Existing elevations
DRAWING NO.	F 0 300 P1
DATE	August 2022
SCALE	1:50 @ A1
DRAWN BY	CF
CHECKED BY	CS

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P1

Proposed Drawings

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Site Plan
Scale 1:100

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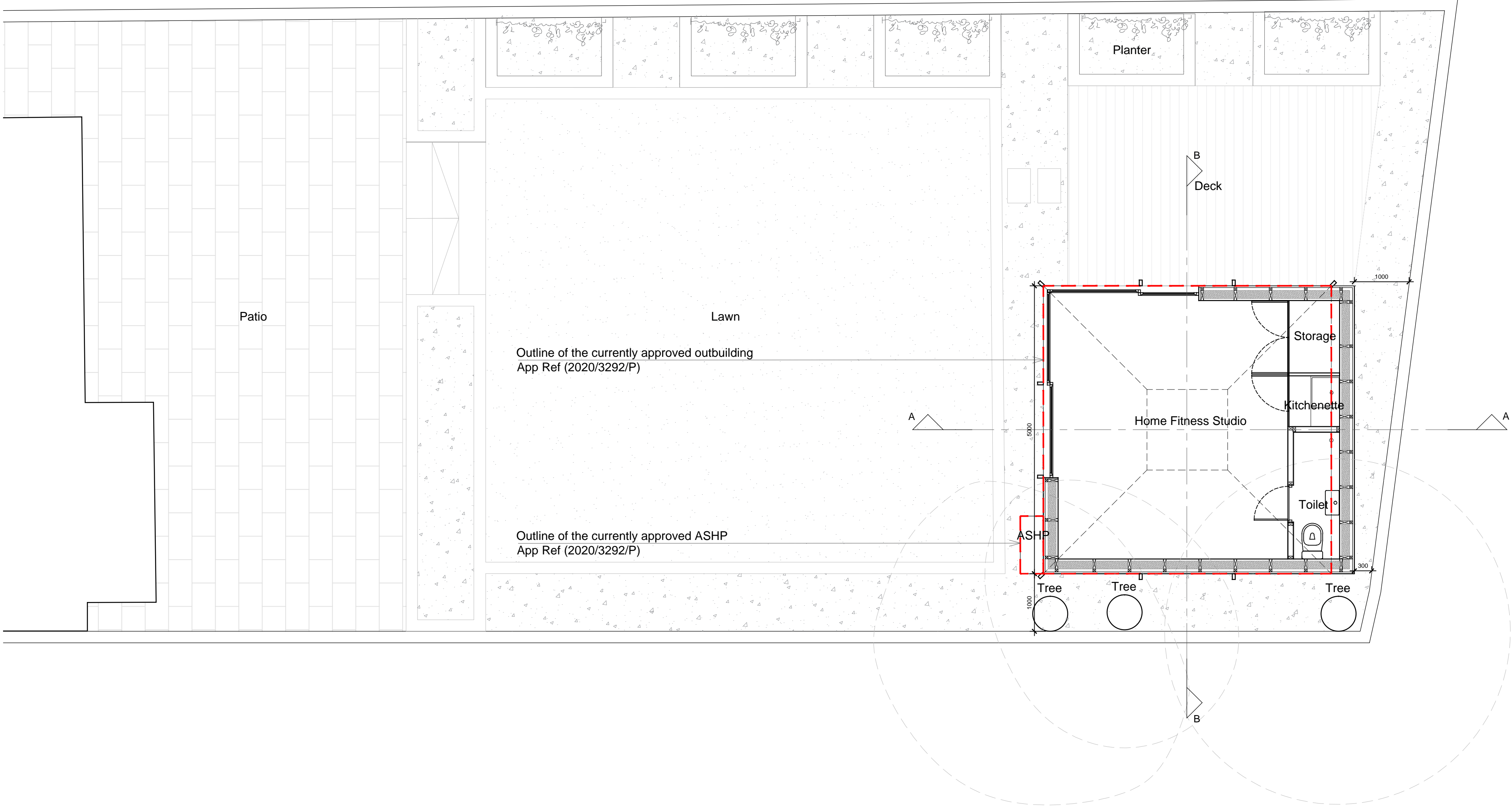
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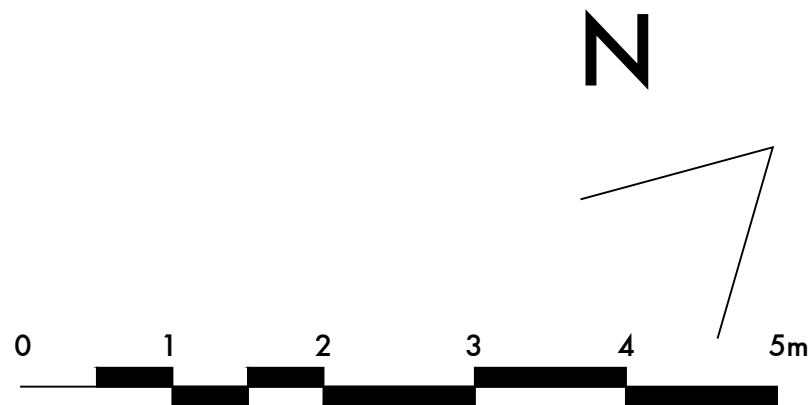
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PROJECT NAME	Garden Pavilion
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DRAWING	Site plan
DRAWING NO.	D 0 102 P1
DATE	September 2022
SCALE	1:100 @ A1
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P1



Ground Floor Plan
Scale 1:50



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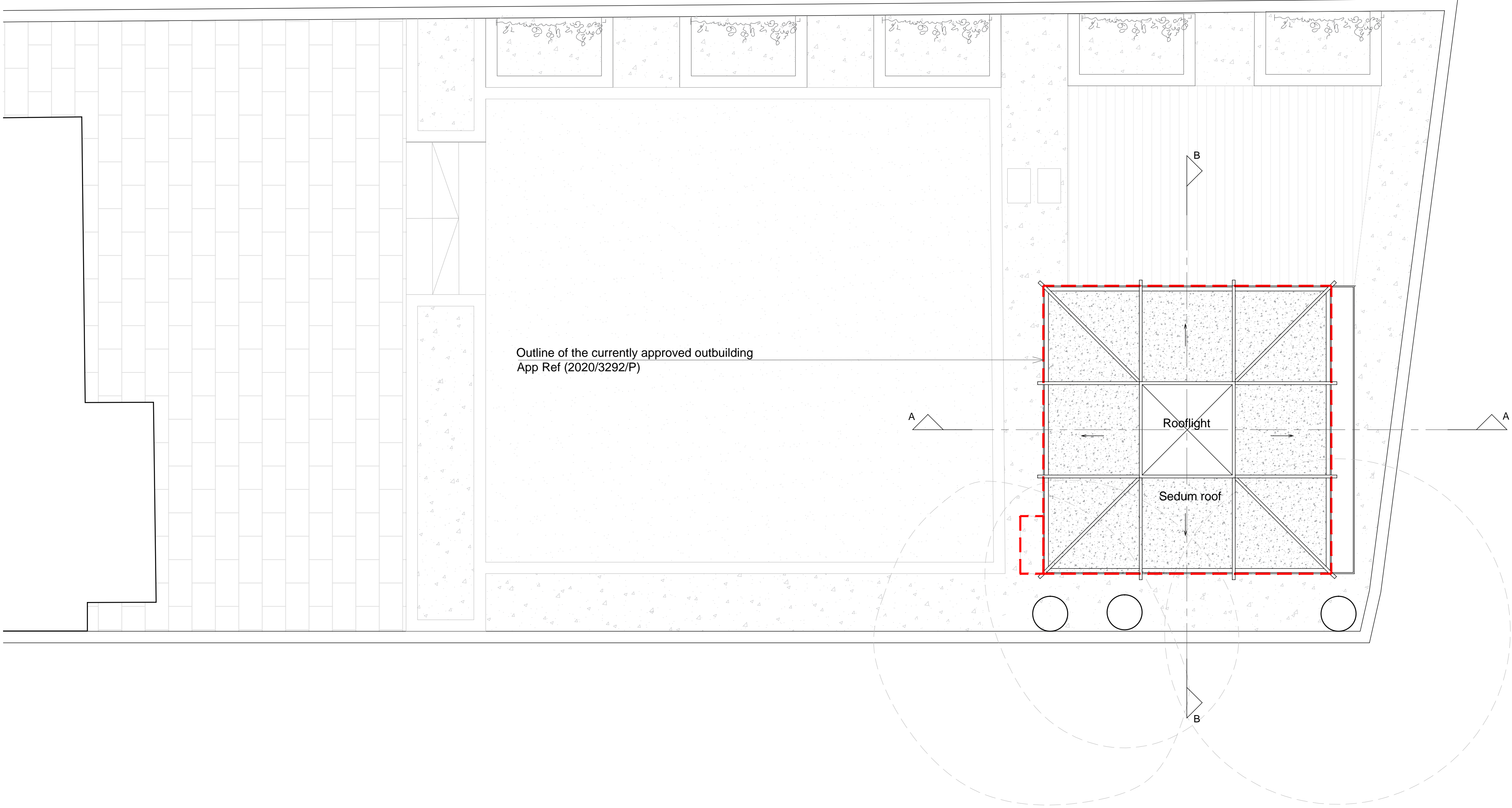
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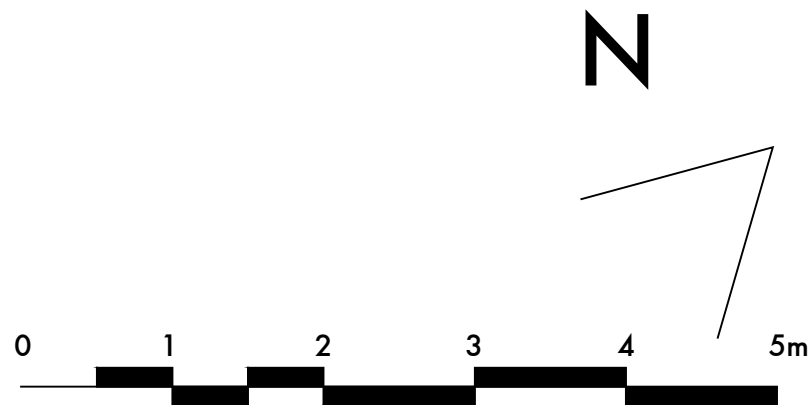
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P1



Roof Plan
Scale 1:50



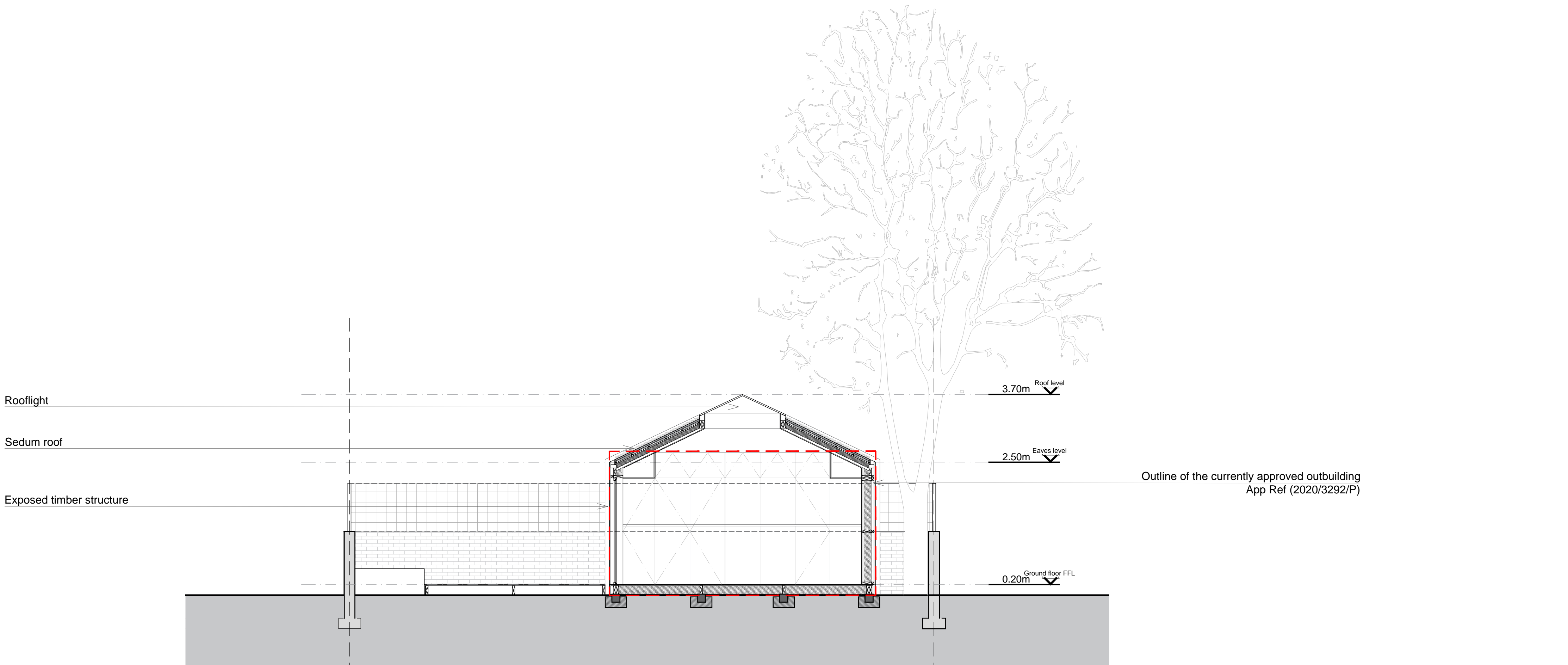
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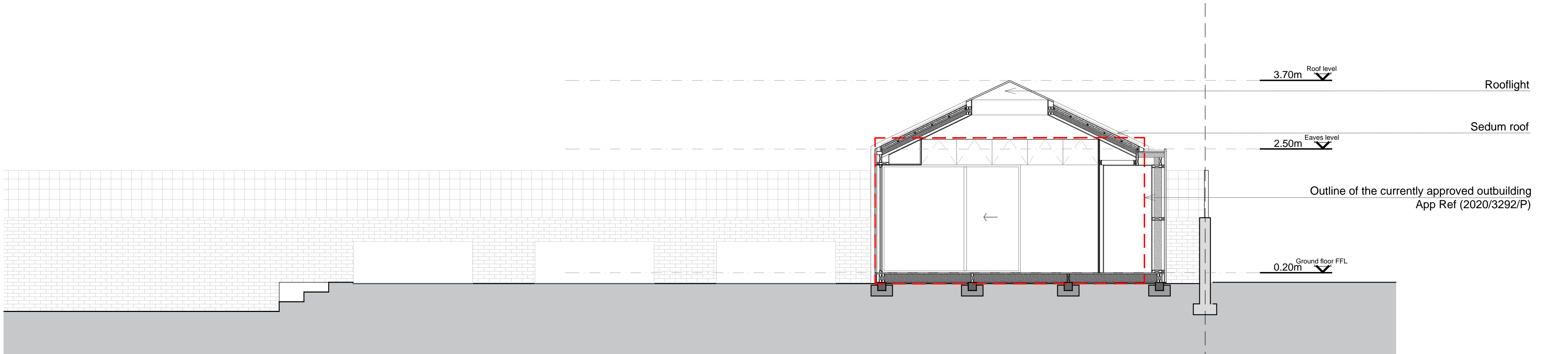
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DATE	September 2022
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DRAWN BY	CF
CHECKED BY	CS
D 0 101 P1	



Section B - B
Scale 1:50



Section A - A
Scale 1:50



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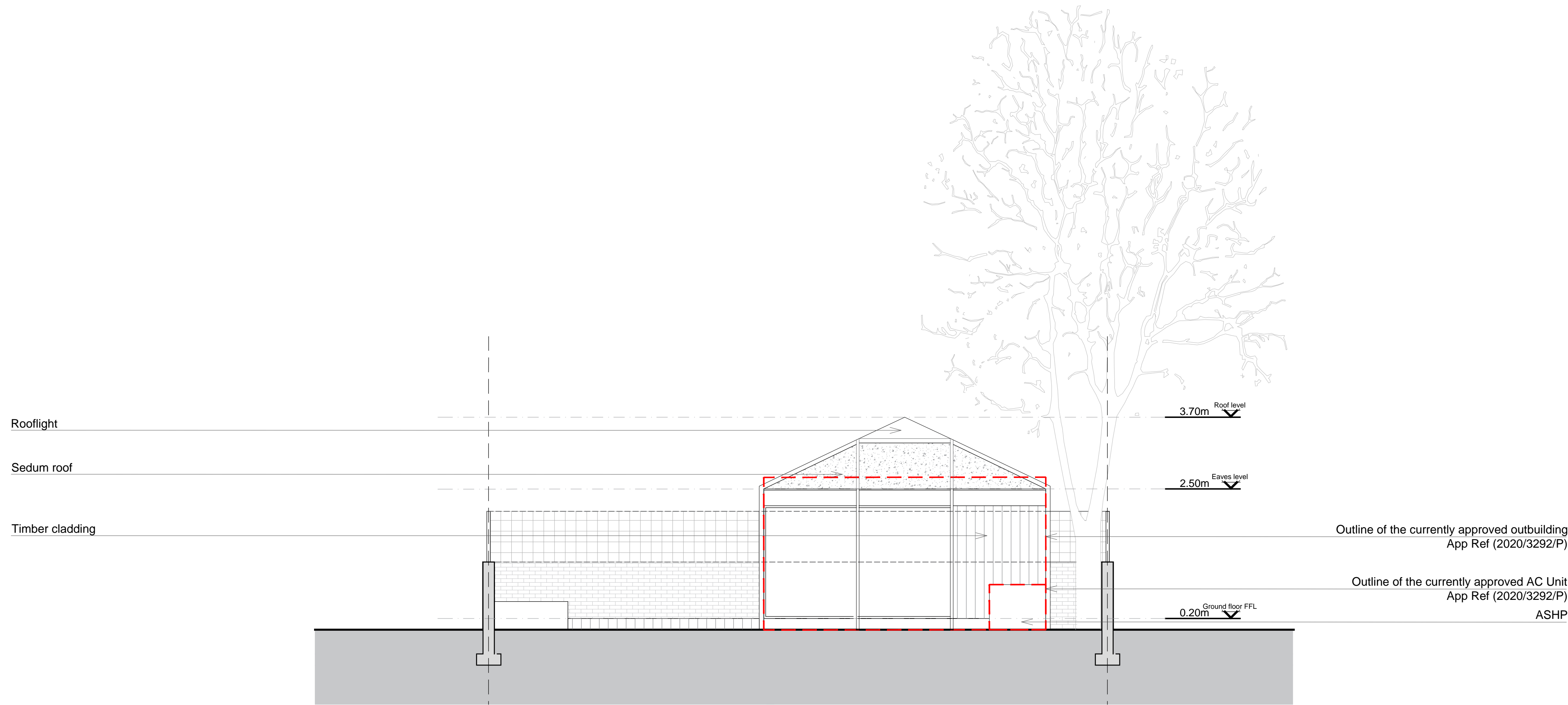
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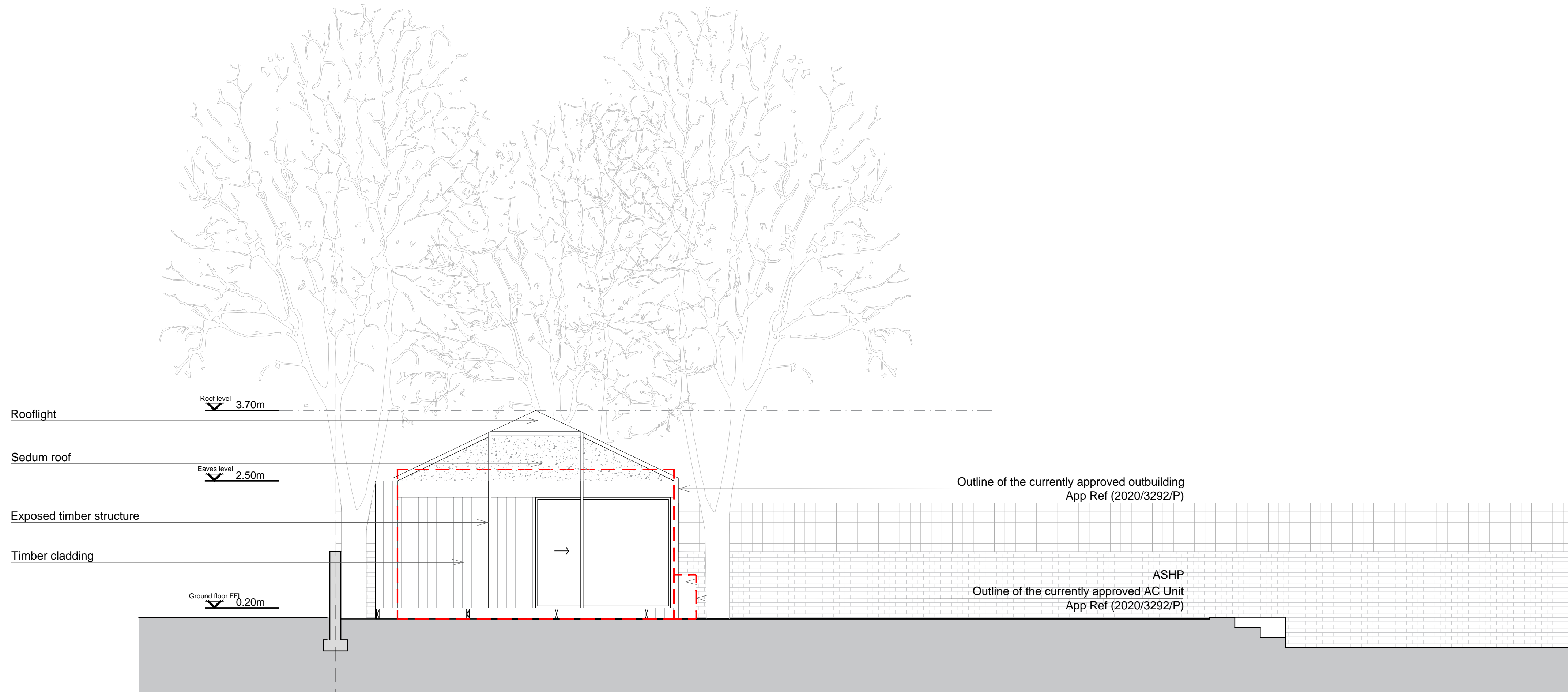
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DRAWING	Sections
DRAWING NO.	D 0 200 P1
DATE	September 2022
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DRAWN BY	CF
CHECKED BY	CS

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P1



Front Elevation
Scale 1:50



Side Elevation
Scale 1:50



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PROJECT NAME	Garden Pavilion
ADDRESS	4 Lambolle Road London, NW3 4HP
DRAWING	Elevations
DRAWING NO.	D 0 300 P1
DATE	September 2022
SCALE	1:50 @ A1
DRAWN BY	CF
CHECKED BY	CS

D | 0 | 300 P1

Thank You!

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