

DEMOLITION NOTES:

- All asbestos to be removed as part of the enabling works package. Refer to asbestos report for details of locations. New R&D survey to be undertaken to confirm no remaining asbestos is present following enabling package.
- Refer to MEP consultant information for extent of services and electrical strip out.
- Existing external doors and frames carefully repaired and openings made good ready to receive new decoration.
- Existing sanitary ware carefully removed and abutments / substrates made good ready to receive new finishes and equipment.
- Existing kitchens and associated services carefully removed with abutments and substrates capped off. Refer to MEP drawings for extents and locations of stripped out services.
- Existing tiled wall finishes carefully removed and substrate made good ready to receive new finish.
- Existing casement windows carefully repaired and made good ready to receive new decoration and ironmongery.
- New opening formed at half landing between first and second floor providing access to external staircase. New lintels provided, external brickwork to be supported on steel lintel, no visible lintel permitted in external fabric.
- Existing curtains / blinds removed.
- Existing rooflights retained.
- Existing floor finishes carefully removed.
- Existing walls to be carefully removed and new lintels installed in accordance with structural engineers information. Provide temporary support as required.
- Existing mansafe system relocated at first floor roof level to provide access to areas outside of new roof terrace.
- Existing WC cubicles carefully removed.

GENERAL NOTES:

- Refurbished external door
- Existing lift refurbished
- All doors to be retained and redecorated. Where appropriate and in accordance with fire consultant specification treat with envirograf fire coating.
- New kitchenette
- New electric radiators as indicated
- New slate effect hearth
- Existing stairs refurbished with new carpet.
- Areas of damaged lath and plaster repaired, re-plastered and redecorated.
- Existing damaged and missing suspended ceiling to be carefully removed and replaced
- All existing windows to be refurbished and to receive new ironmongery
- Existing WCs fully refurbished with new sanitary wear and finishes
- Any existing damaged or missing areas of plasterboard with skim finish repaired and redecorated
- Existing cast iron fireplace and wood surround retained and refurbished. Existing decorated wood surround stripped back and redecorated
- New downlights in basement
- Existing fireplace hearth and surround retained. Existing decorated surround stripped back and redecorated
- All existing window boards and reveals retained, stripped back and redecorated
- Existing stone surrounds retained and cleaned
- Existing painted balustrade redecorated
- New stair tread installed to match existing stairs
- Existing stairs walls repaired ready for redecoration
- All existing wall and ceiling lights to be replaced. Existing locations to be utilised to avoid further intervention with historic building fabric.
- All existing trunking and conduits to be retained
- All previously infilled openings between 17 and 18 are to be reviewed and upgraded to provide 60min fire separation between buildings, from the no. 18 side, to be confirmed by building control
- All ceiling rose to be retained and redecorated
- All mouldings, skirtings, dado railing and paneling to be repaired and made good where damaged.
- All areas of water ingress/damp to be properly inspected and repaired.
- Replace All FCU's in existing locations.
- Existing window and door to be fitted with automatic opener as AOV

All ceiling rose' to be retained. Mouldings to be repainted. Colour TBC. As per finishes document.

Existing downpipe through to ground floor.

All existing damaged floors, wall and ceilings from asbestos and opening up works to be carefully and sensitively made good. Details of refurbishment are subject to details approved by the conservation off and LPA.

Existing low level FCUs to be retained. New and smaller boxing/cabinetry to be provided. Refer to finishes document for design intent to new housings.

All ceiling rose' to be retained. Mouldings, skirting and dado rails to be repainted. Colour as per finishes document.

All existing trunking and conduits to be carefully removed. New wiring and sockets to be in floor boxes with the exception of cleaners sockets which are to be provided wallmounted with brass faceplates. To be developed with contractors MEP design.

Existing low level FCU to be retained. New and smaller boxing/cabinetry to be provided. Refer to finishes document for design intent to new housings.

All existing damaged floors, walls and ceilings from asbestos and opening up works to be carefully and sensitively made good. Details of refurbishment are subject to architect details approved by the conservation off and LPA. High level damp damage

Existing fire place to be retained. Proposed new hearth required. Hearth to be as per finishes document.

All existing electric heaters to be replaced. Details to be provided by MEP consultant.

Existing low level FCUs to be retained. New and smaller boxing/cabinetry to be provided. Refer to finishes document for design intent to new housings.

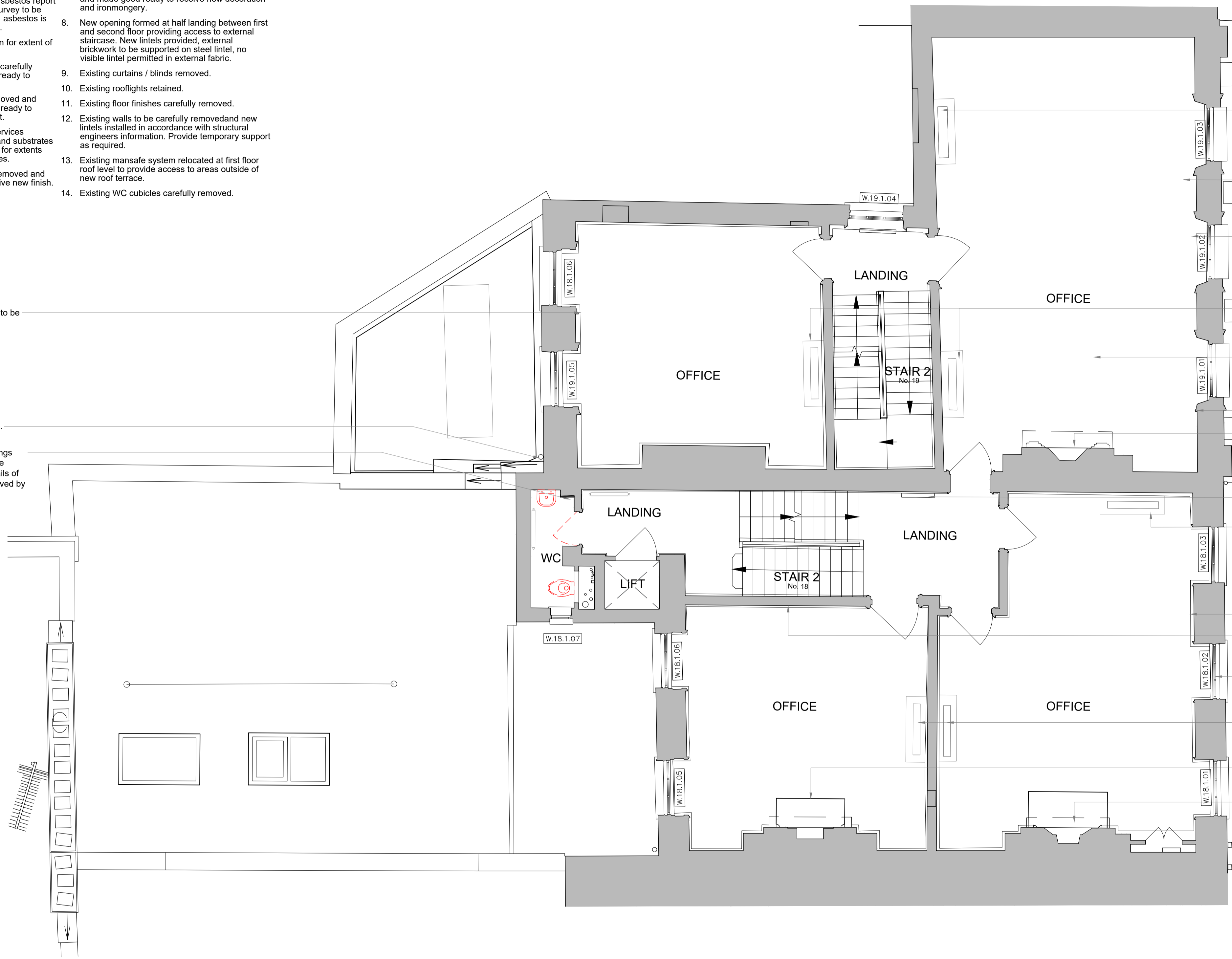
All existing wall lights to be replaced as per architects finishes document. Capped service locations in all offices above kitchen for future tea points. subject to MEP design and conservation approval.

All windows to be refurbished and repainted as per window type schedule. All windows to receive new ironmongery as per finishes document.

Existing low level FCU to be retained. New and smaller boxing/cabinetry to be provided. Refer to finishes document for design intent to new housings.

Existing fire place to be retained. Proposed new hearth required. Hearth to be as per finishes document.

Existing fire place to be retained. Proposed new hearth and fire grate required. Hearth to be as per finishes document.



1ST FLOOR - DEMOLITION PLAN

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SUBJECT TO SITE SURVEY
CHECK SURVEY UNDERTAKEN ONLY
BUILDING PARAMETERS TAKEN FROM DRAWINGS PROVIDED
BUILDING PARAMETERS TAKEN FROM AS BUILT DRAWINGS PROVIDED

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Client: **Hogarth Properties (Rothschild)**

Project: **PROJECT 04
18 & 19 SOUTHAMPTON PLACE**

FOR PLANNING

Title: **1ST FLOOR DEMOLITION PLAN**

Scale: 1:50 @A1	Date: NOV.21	Designer/Drawn By: TC / JPF	Checked By / Date: TC
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Drawing Number			
Project No. ML3953	Floor 01	Drawing No. 705	Rev P1