

# Casswell Bank Architects



**1 Wicklow Street  
Design + Access Statement  
15th August 2022**

Content

1.00

Introduction

2.00

Context

3.00

Existing House

4.00

Design Proposal

5.00

Neighbouring Amenity

6.00

Appendix:  
Structural Design  
Practice Profile

- DESIGN TEAM
- Architect: Casswell Bank Architects

- Planning Consultant + Agent: The Planning Lab

- Heritage Consultant: Cogent Heritage

- Structural Engineer: Foster Structures

- Daylight + Sunlight: JMR Surveyors

- Facade Prototype: David Murphy Studio, Artist

This D+A statement has been prepared by Casswell Bank Architects. Please consider it conjunction with the following:

Existing Architectural Drawings

103_L01_01	Location Plan	1:1250 @ A3
103_L01_02	Site plan + Section AA	1:100 / 1:200 @ A1/A3
103_L02_01	LG + GF Plans	1:50 / 1:100 @ A1/A3
103_L02_02	1F + Roof Plans	1:50 / 1:100 @ A1/A3
103_L04_01	Section BB	1:50 / 1:100 @ A1/A3
103_L04_02	Section CC + Rear Elev	1:50 / 1:100 @ A1/A3
103_L05_01	Wicklow St Elev	1:50 / 1:100 @ A1/A3

Supporting Documents

Planning Statement, The Planning Lab

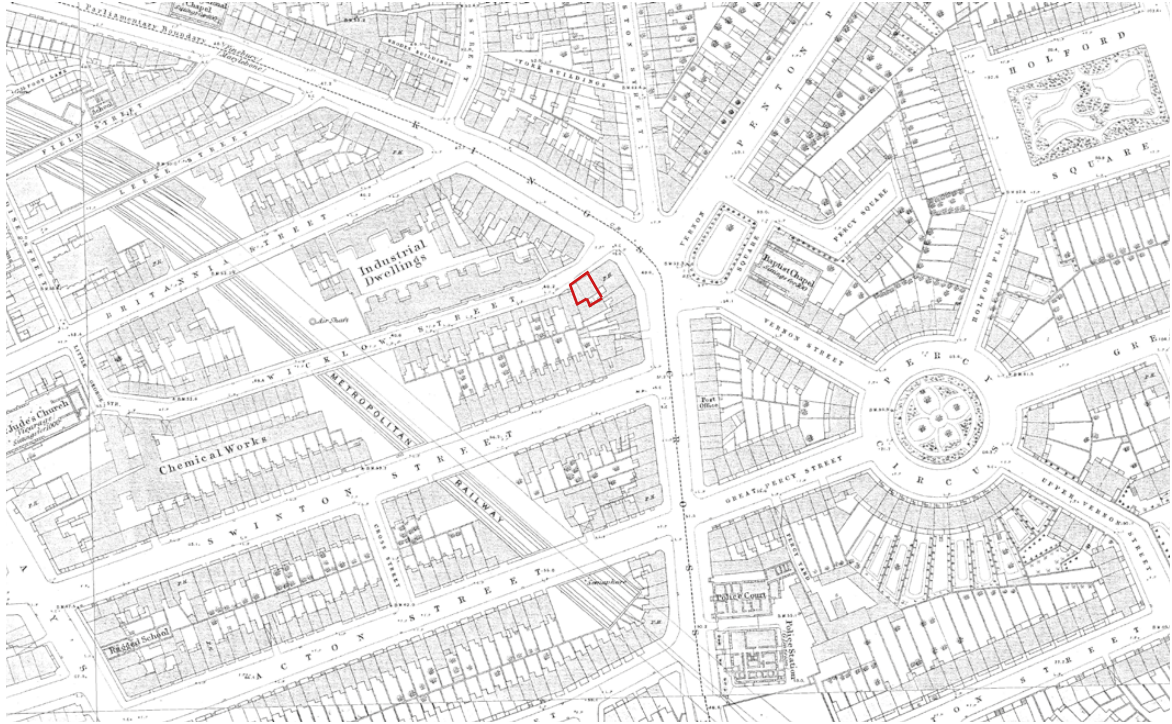
Heritage Statement, Cogent Heritage

Daylight + Sunlight Report, JMR Surveyors

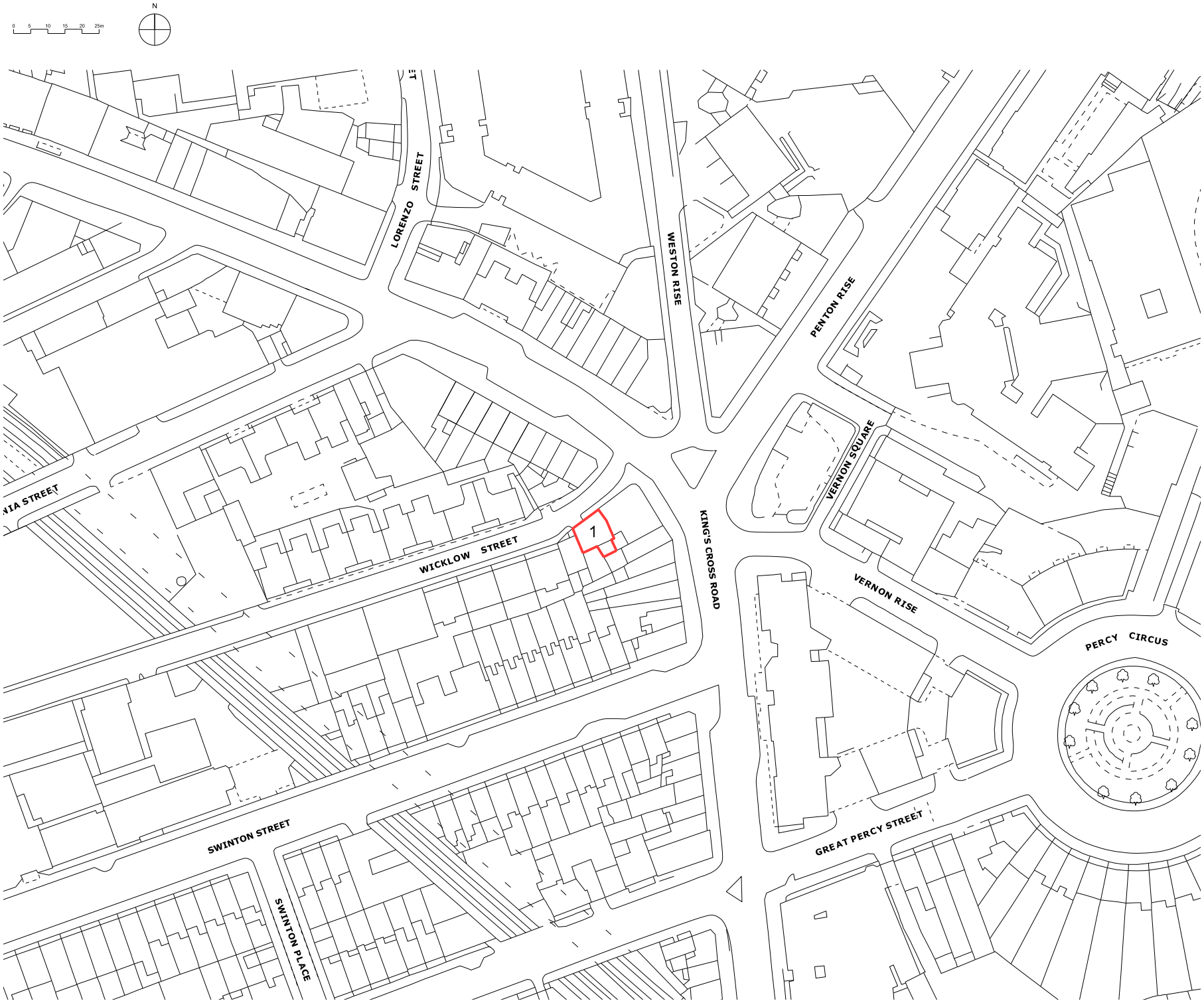
Proposed Architectural Drawings

103_L11_02	Site plan + Section AA	1:100 / 1:200 @ A1/A3
103_L12_01	LG + GF Plans	1:50 / 1:100 @ A1/A3
103_L12_02	1F + 2F Plans	1:50 / 1:100 @ A1/A3
103_L12_03	Roof Plan	1:50 / 1:100 @ A1/A3
103_L14_01	Section BB	1:50 / 1:100 @ A1/A3
103_L14_02	Section CC + Rear Elev	1:50 / 1:100 @ A1/A3
103_L15_01	Wicklow St Elev	1:50 / 1:100 @ A1/A3





Historic OS Map from the 1870's with property highlighted in red



Location Plan with property highlighted in red

This design and access statement has been prepared in support of a full planning application for the refurbishment and extension of 1 Wicklow Street - a mid-terrace three bedroom single-family house. The proposal makes minor alterations to the rear façade and significant heritage improvements to the front façade such as reinstating a missing cornice and replacing modern aluminium frame windows with timber frame sash windows. A new social space is proposed within a high quality, contemporary rooftop addition that benefits from associated external amenity spaces in the form of roof terraces around and above the extension.

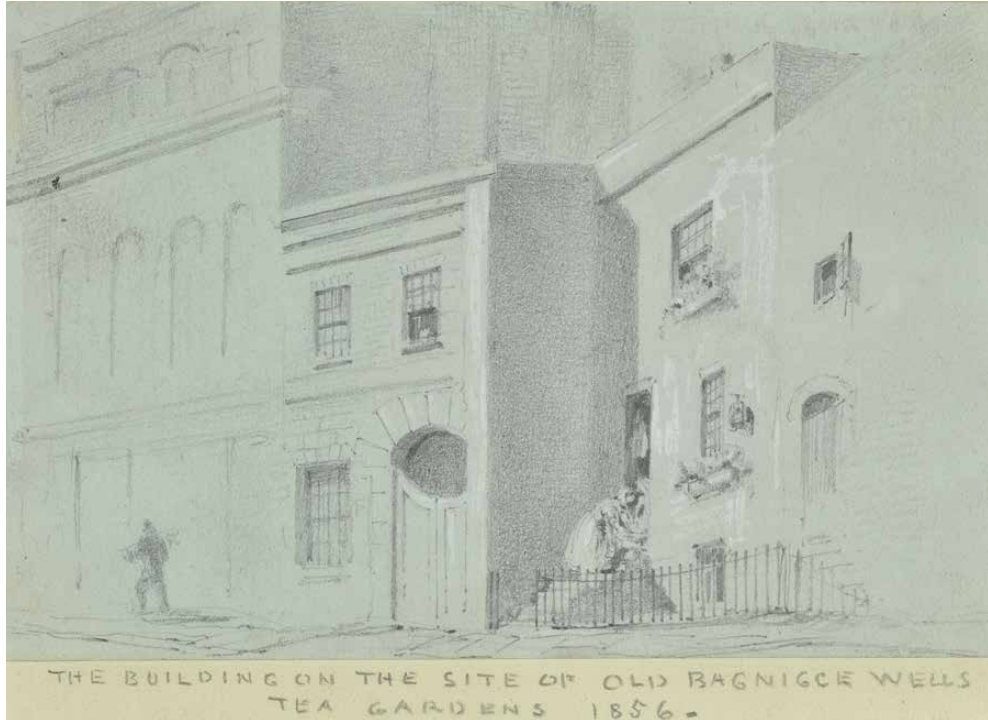
The design has been developed in consultation with Camden Council in response to pre-planning application feedback received on 24/01/2022 as follows:

- The geometry of the roof top addition has been revised to soften the form and reduce the visual impact of the roof terrace from the street.
- The material, detail and colour palette of the roof top addition has been developed to relate to the character of the conservation area and has been more clearly justified in design terms.
- A site-wide plan + section made from a professional point cloud survey evidences that privacy and overlooking of neighbouring properties will be acceptable and not significantly worsened.

- A daylight sunlight study has been produced to demonstrate compliance with BRE guidance.
- Energy and sustainability credentials have been provided.

The building is not listed but is located within one of Camden's Kings Cross conservation areas (sub area 4: Gray's Inn Road). The report seeks to demonstrate how the design proposal responds to the unique qualities of the site and provides a suitable addition to the existing context.





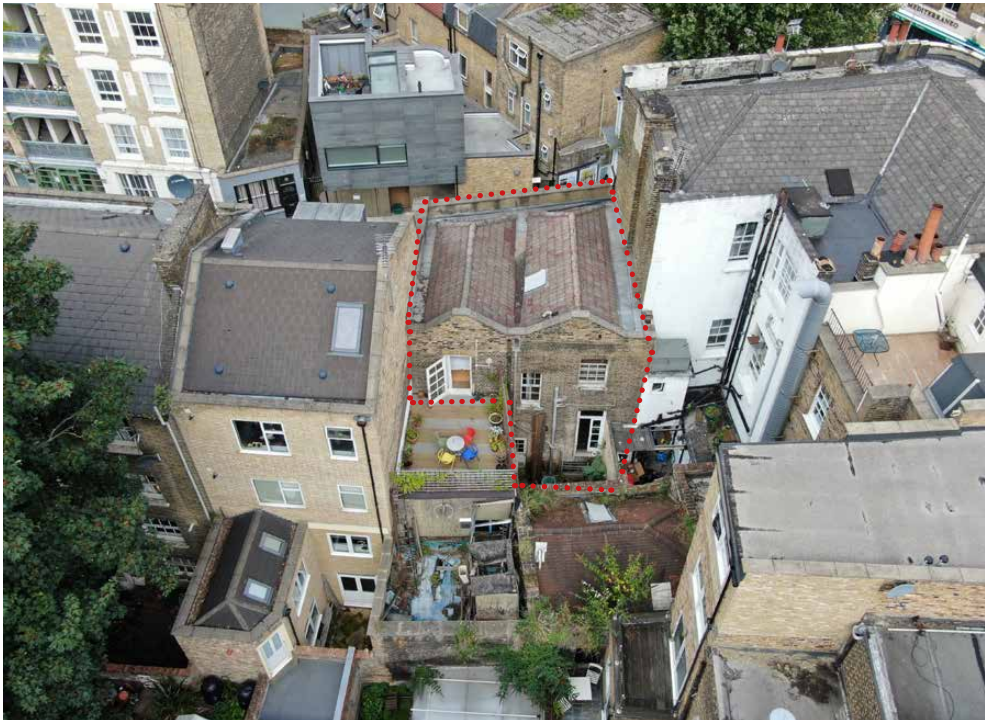
Historic Image of 1 Wicklow Street from 1856 © London Metropolitan Archives  
Note the cornice and absence of current front door



Photograph 01 aerial view looking east along Wicklow Street (property highlighted in red)



Photograph 02 showing the existing roof form with modern tiles + ridges and gutters. Note how the pub's stucco cornice and quoins turns the corner



Photograph 03 aerial view looking north from the rear yards (property highlighted in red)

Wicklow Street is one of a number of east-west streets connecting the larger thoroughfares of Kings Cross Road and Inn Road. 1 Wicklow Street is located at the east end of the street next to The Northumberland Arms Public House that occupies the corner of King's Cross Road. 1 Wicklow Street is described in Camden's Kings Cross Conservation Area Statement as "a two-storey later 19th century dwelling, which is constructed of stock brick with rusticated stucco at ground floor level and a wide vehicular entrance with original timber gates and granite sett paving" and recorded as a building that makes "a positive contribution to the Conservation Area".

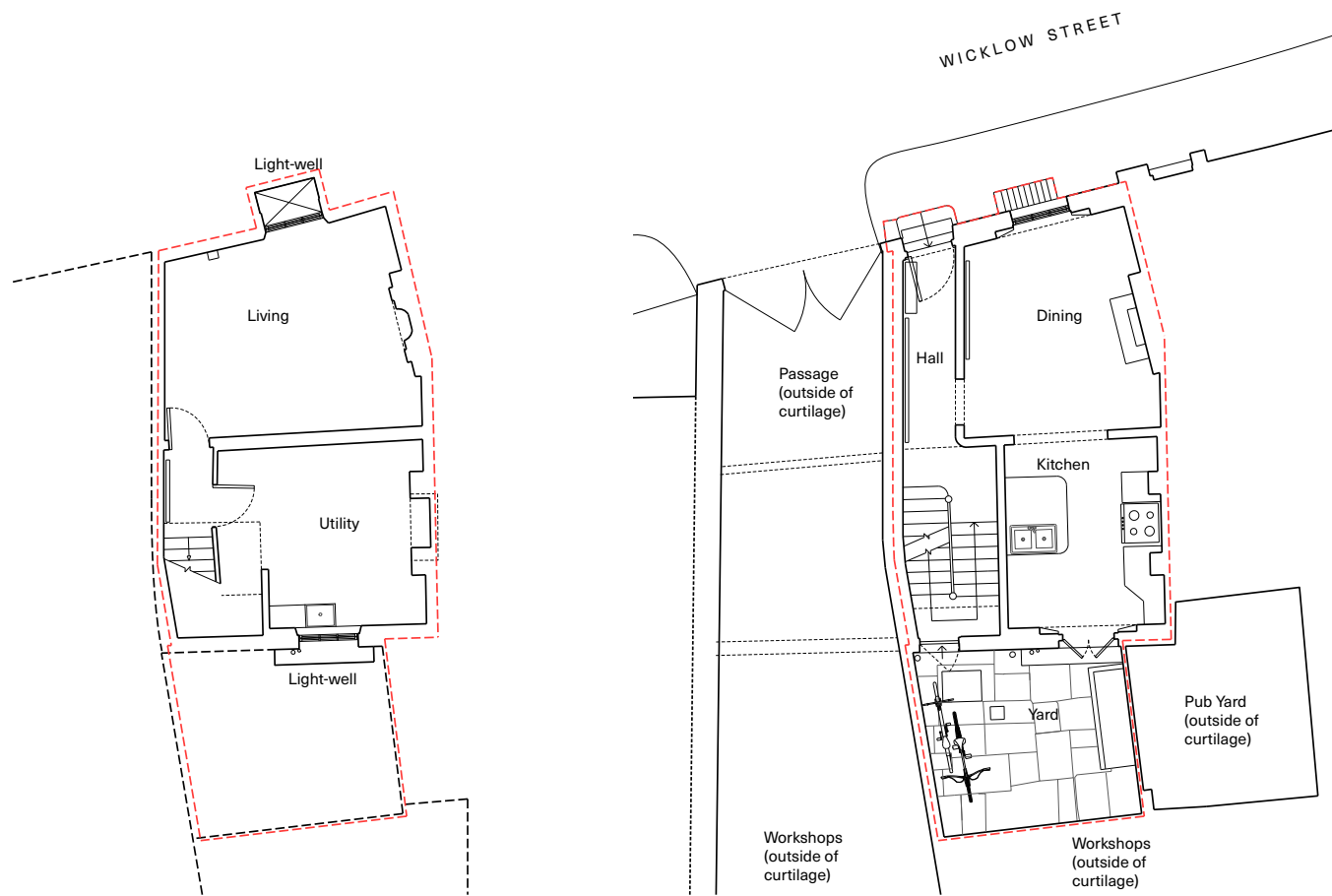
The building dates from the early Victorian period and was most likely originally used by the neighbouring pub as a coach house. According to hearsay the building and rear yard has also been used as a milk parlour and for other light industrial purposes. At some point this little working building was split and converted into a house and the workshop we see today and has remained in this use since that

time. The building retains the appearance of a small industrial building despite its partial conversion to a single-family house sometime in the 20th Century. A pencil drawing dated 1856 shows the building's street façade without the current front entrance door. Presumably this was added at a later date and the building was originally entered from the rear yard via the passage.

Wicklow Street is characterised by a strong sense of enclosure, variety and lack of uniformity in its architecture and roofscapes. 1 Wicklow Street is considerably lower in height than its neighbours and contributes to the varied roofscape of the street. Refer to The Heritage and The Planning Labs statement for a more detailed description of the property illustrated with photographs taken along the street.

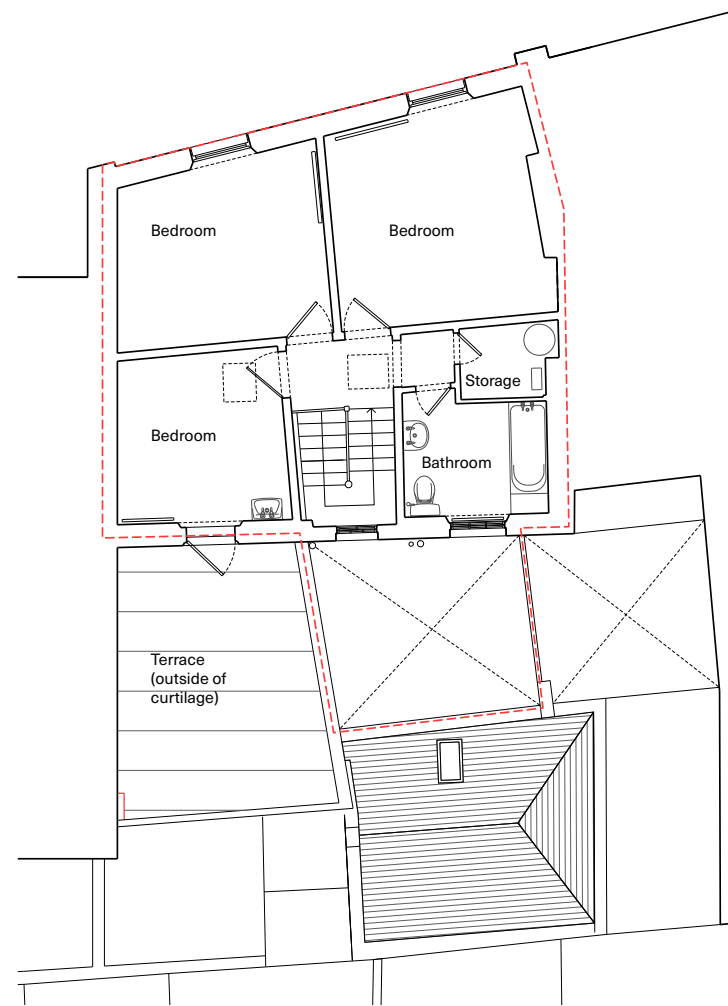
The existing roof has a double pitched form that is hipped at the front behind a parapet and a double gable to the rear. The roof is finished in modern concrete tile and ridge pieces. The roof is not visible from the surrounding public realm.



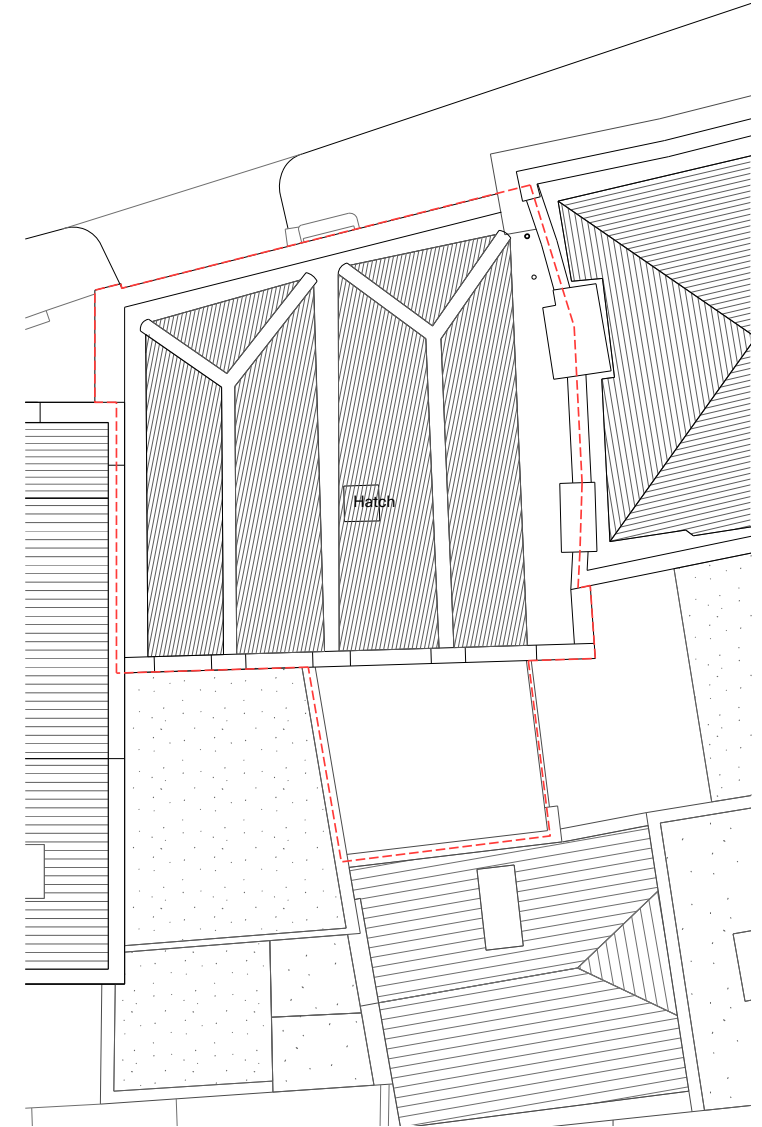


Lower Ground Floor Plan

Ground Floor Plan



First Floor Plan



Roof Plan



## 3.00 Existing House

The existing building is arranged over ground, lower ground and first floor with a rear yard. The lower levels occupy approximately half the footprint of the building with the other half given over to a gated passageway at street level that leads to workshops at the rear. The freehold of the passage and land to the rear has a different owner and is occupied by a metal engineering company. The house extends over the passageway at 1F level providing three small bedrooms and a bathroom accessed off a compact stair landing.

The property has not had a substantial upgrade since it was renovated in the 1970's. It is in poor condition throughout and requires upgrading, modernisation and enlarging to provide additional bathrooms, larger social spaces with improved levels of natural light / ventilation / outlook / energy efficiency and more external amenity space for contemporary living. No proposed changes are being made to the access, parking or refuse arrangements. These all remain as existing.

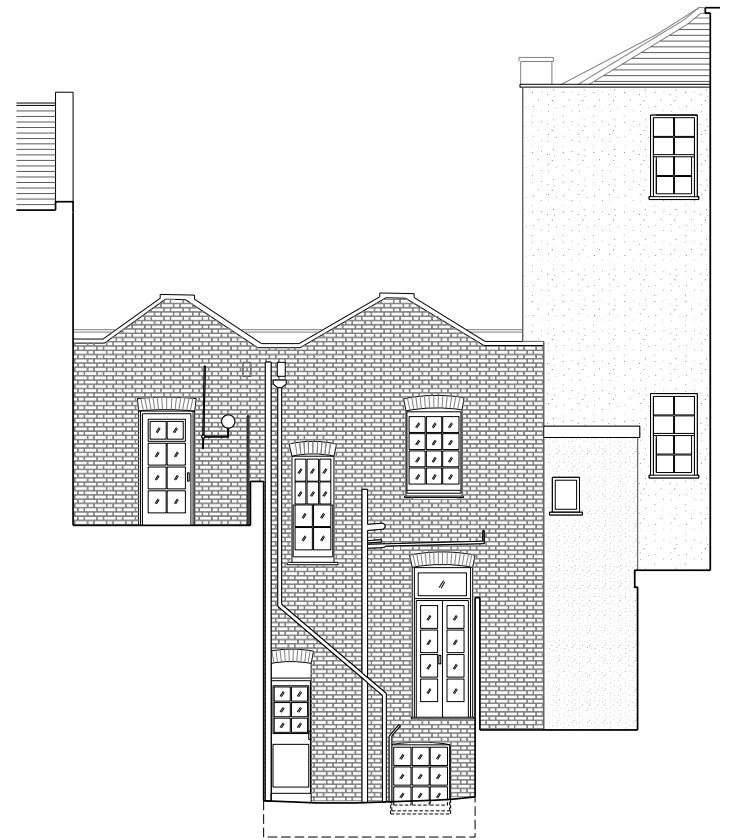




Photograph 04 the existing street facade



Wicklow Street Elevation



Rear Elevation

0 0.5 1 1.5 2 2.5m

The front façade of 1 Wicklow Street is unique and bears little or no relation to the other buildings along the street. The façade has a squat appearance and an asymmetrical composition of openings. The dominant feature is the wide passage entrance and original timber doors. To the side of the passage is a set of concrete steps and a narrow front door with a plain fan light above and a large sash window. The ground floor area of the façade is in rusticated stucco.

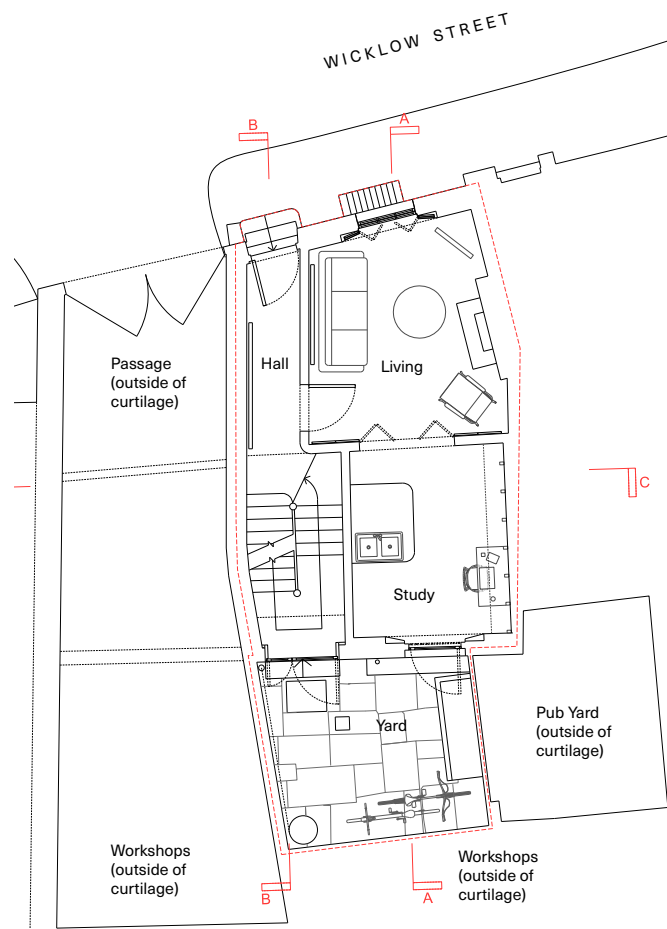
The two windows at first floor level are set within a band of brickwork with stucco cills and surrounds. The windows are spaced widely apart and positioned unequally from the corners of the building. A broad stucco parapet obscures the hipped roof from view.

The historic image from 1856 show that the façades have been subject to a number of unsympathetic changes:

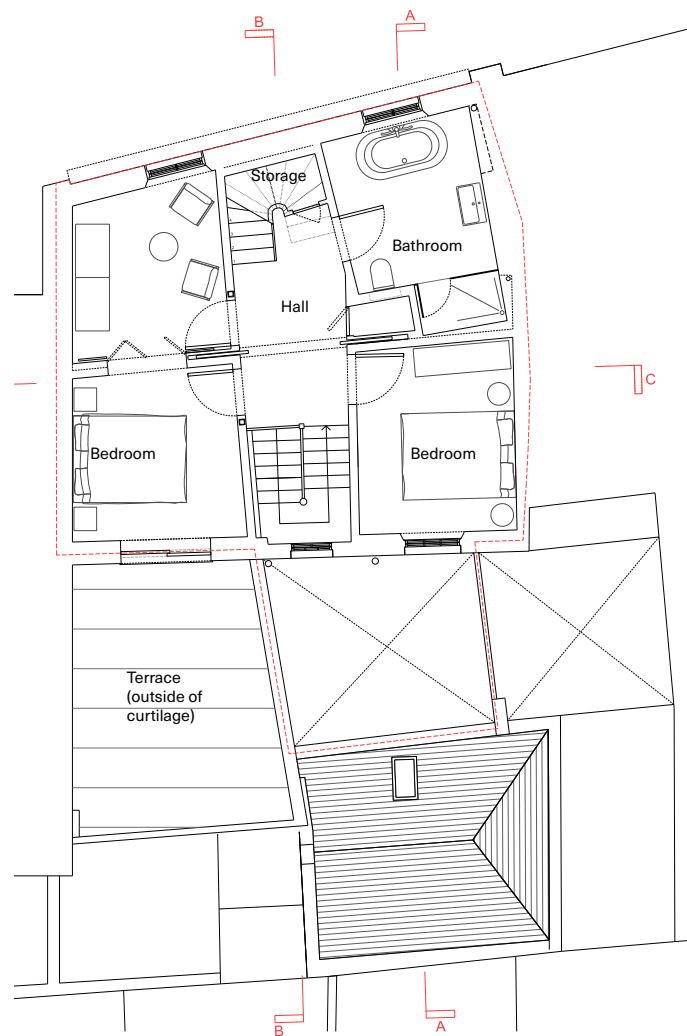
- Concrete steps added to the front facade to access the front door.
- The existing front windows at first floor level changed from timber sashes to double glazed aluminium sashes.
- The broad stucco parapet was previously subdivided with a cornice that the previous owner confirmed fell off in the 90s and was never replaced. A modern precast coping appears to have been installed at a lower level creating a stepped profile.
- Removal of original chimney pots
- Plumbing added to the rear facade

The rear of the property is not visible from the public realm and enclosed on both sides by the larger neighbouring buildings and workshop buildings. The façade is of stock brick with a double gable parapet abutted by the roof. The rear façade contains an assortment of old timber sash windows and three modern timber frame doors. Two of these modern doors were installed by the previous owner in openings that were formally windows.

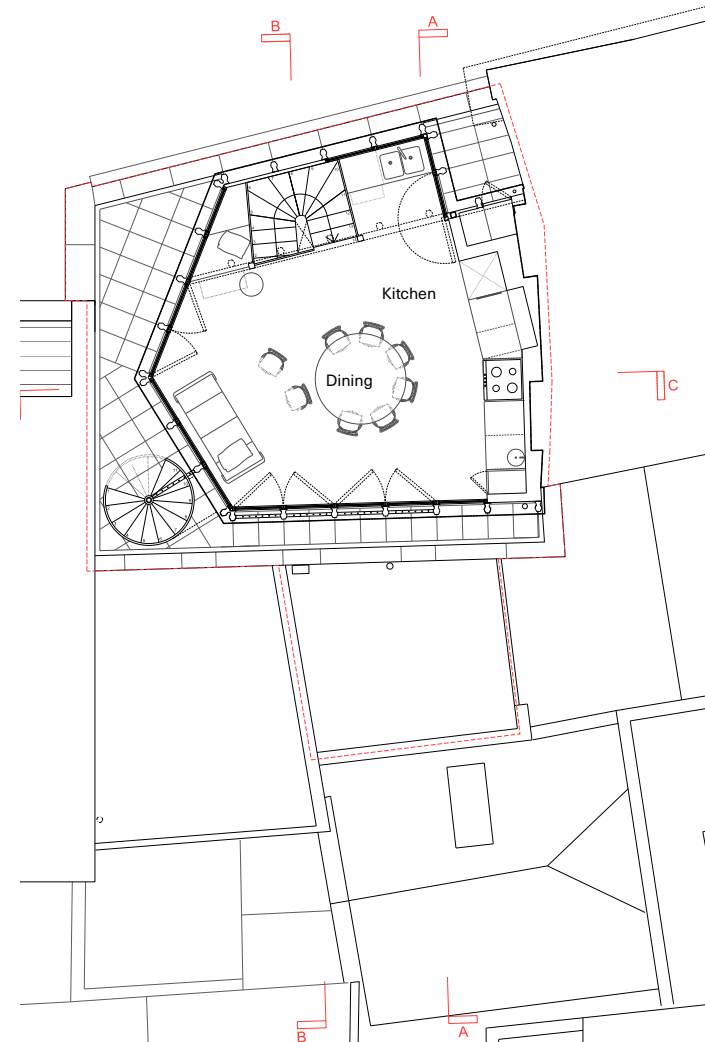




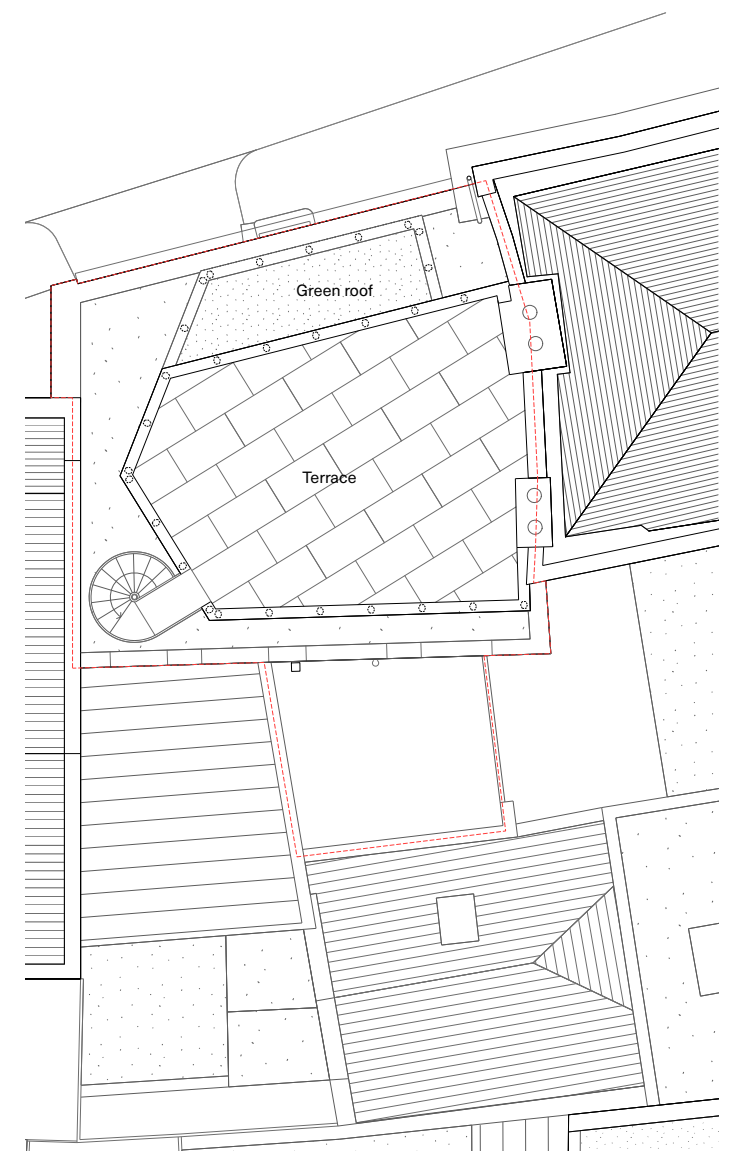
Ground Floor Plan



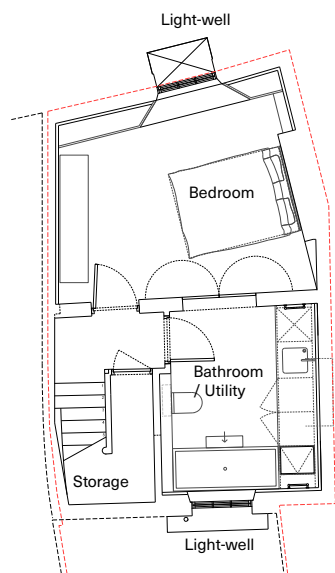
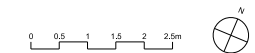
First Floor Plan



Second Floor Plan



Roof Plan



Lower Ground Floor Plan

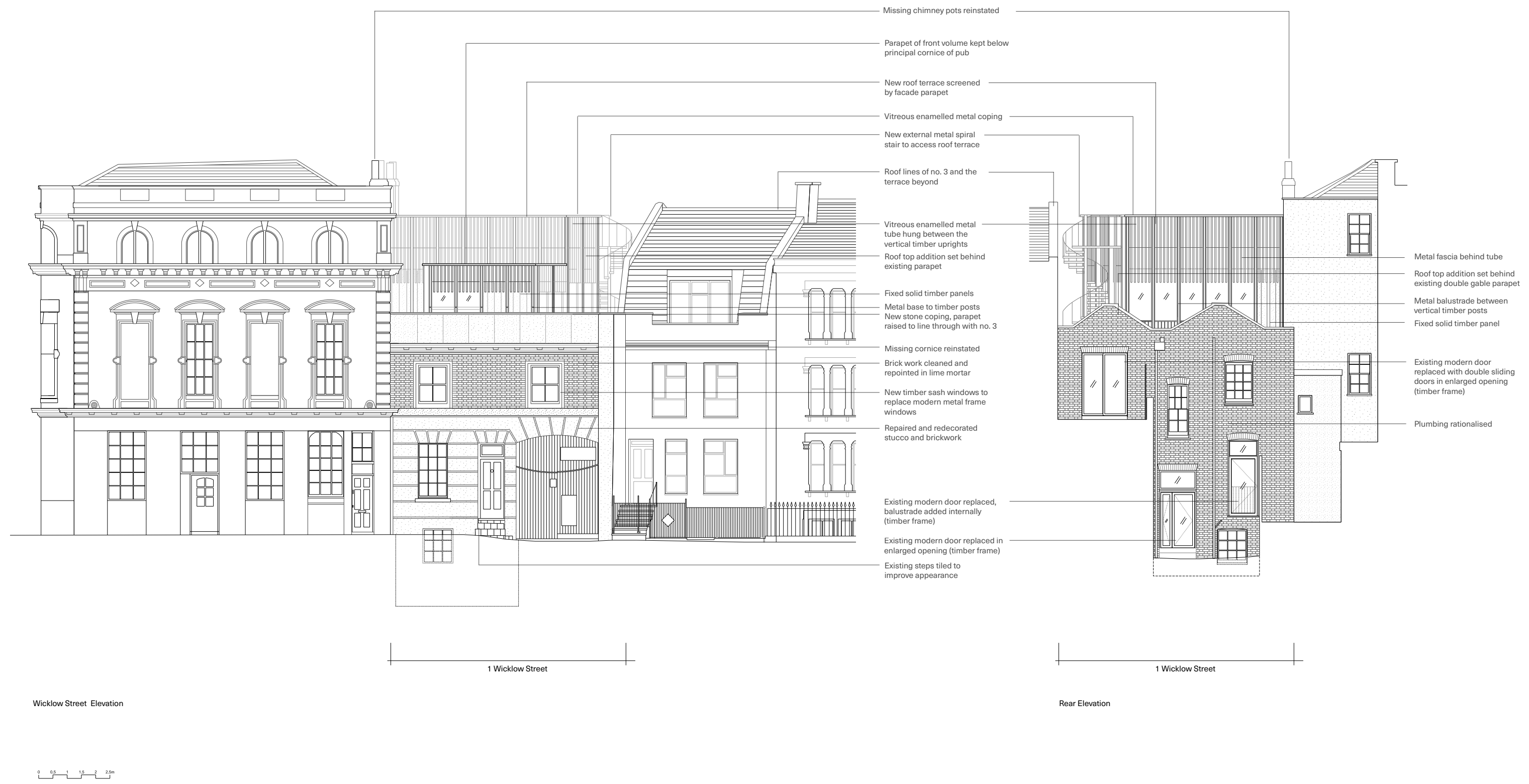
The proposed works have been designed in accordance with the following policies and guidance

- The National Planning Policy Framework 2021
- The London Plan 2021
- The Camden Local Plan 2017; protecting amenity A1+A3; Design and Heritage D1+D2; Sustainability and climate change CC1-3; Transport T2.
- Camden Planning Guidance Documents 2021: Home Improvements, Energy efficiency and adaptation; Design + Amenity.
- The Camden Kings Cross Conservation Area Appraisal and Management Strategy and Historic England Good Practice Advice in Planning Notes 1-3

Refer to the supporting Planning Statement for a more thorough assessment of the proposals in relation to planning policy. A summary of the proposals at 1 Wicklow Street are as follows:

- Removal of the existing roof structure retaining the front stucco parapet and rear double gable brick parapet.
- Install a new stone coping raising the front parapet to line through with the adjoining parapet of no.3 Wicklow Street.
- Replacing aluminium sash windows on the front facade and modern timber doors on the rear of the property. As part of this process some of the door openings will be enlarged to increase natural light levels and improve access to external spaces.
- A number of repairs and alterations to the front façade that reinstate heritage features lost over time to improve the appearance of the host building; replacing metals frame windows; reinstating missing plaster cornice; stucco repairs /decorations; cleaning and repointing brick in lime mortars; tiling the concrete entrance steps; replacing missing chimney pots; rationalising plumbing to the rear facade.





- A new roof top addition to provide a naturally lit and ventilated social space allowing for kitchen, dining and living to take place on one level. The internal floor area will be increased by 31.5 sq.m.
- 42sq.m of combined new external amenity space will be created for the family house. This will be split between the terraces surrounding the roof top addition at second floor level and the new roof terrace above accessed via a metal spiral stair located at the rear of the property to remain invisible from the public realm.

Access: No change

Layout:

A roof top addition is deemed appropriate in a conservation area because of design quality and the context. The host building is substantially lower than the surrounding buildings and the street has an existing strong sense of enclosure.

The host building is distinct. It does not form part of a terrace that is a complete composition. The addition does not impact on any significant views from the street.

A new internal staircase located at the front of the building will connect the first floor to the proposed roof top addition. The lower levels have been reconfigured to provide bedrooms on the rear of the house where possible.

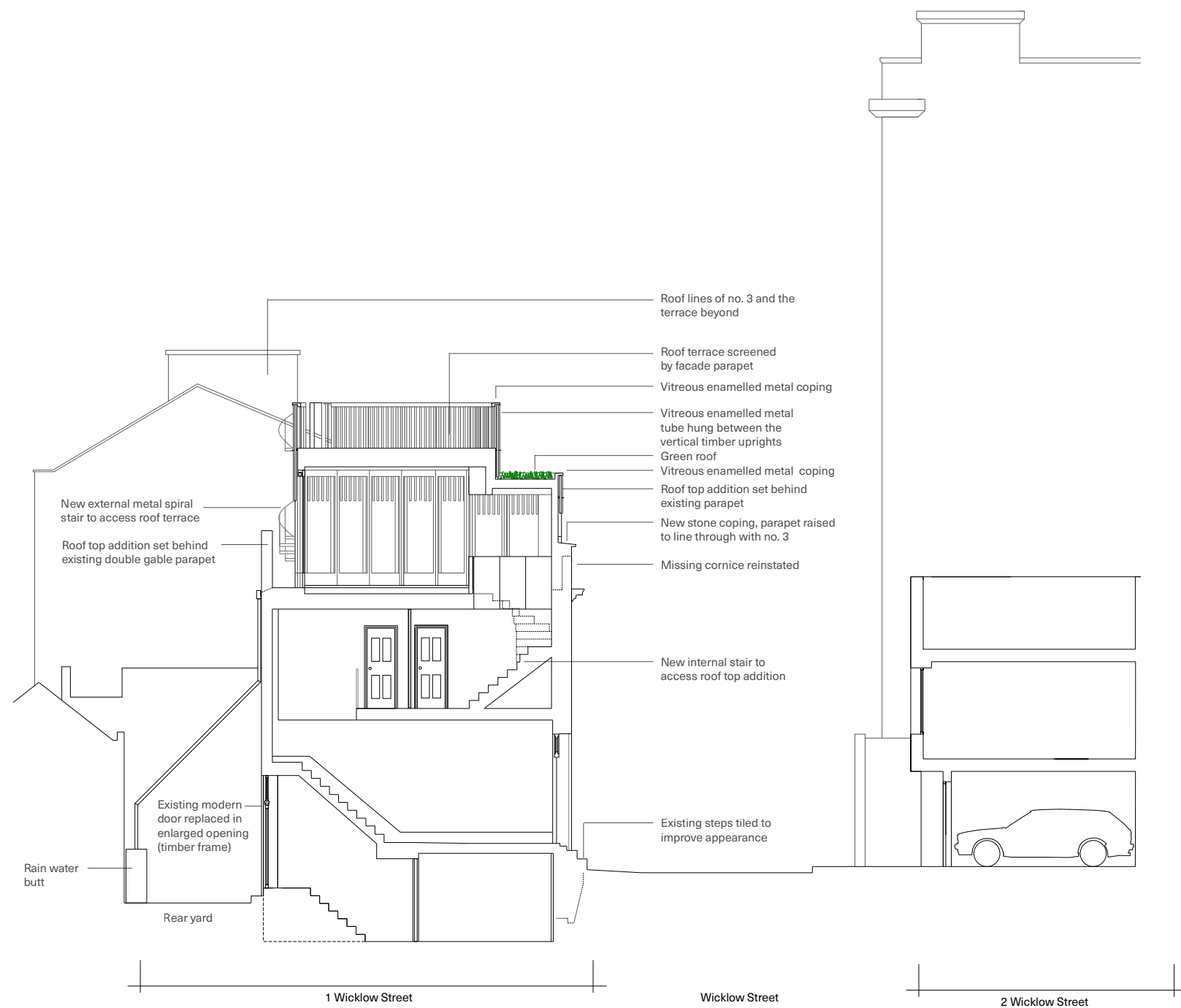
Massing:

The new storey is composed of two volumes - a smaller volume at the front (in which the new stair arrives) and a taller volume behind containing a new kitchen, dining and living space with roof terraces around and above. The larger mass is recessive to minimise its visual impact on the host building and surrounding streetscape.

The lower, front volume has been carefully judged in relation to the front façade of the host building and the neighbouring buildings in the following ways:

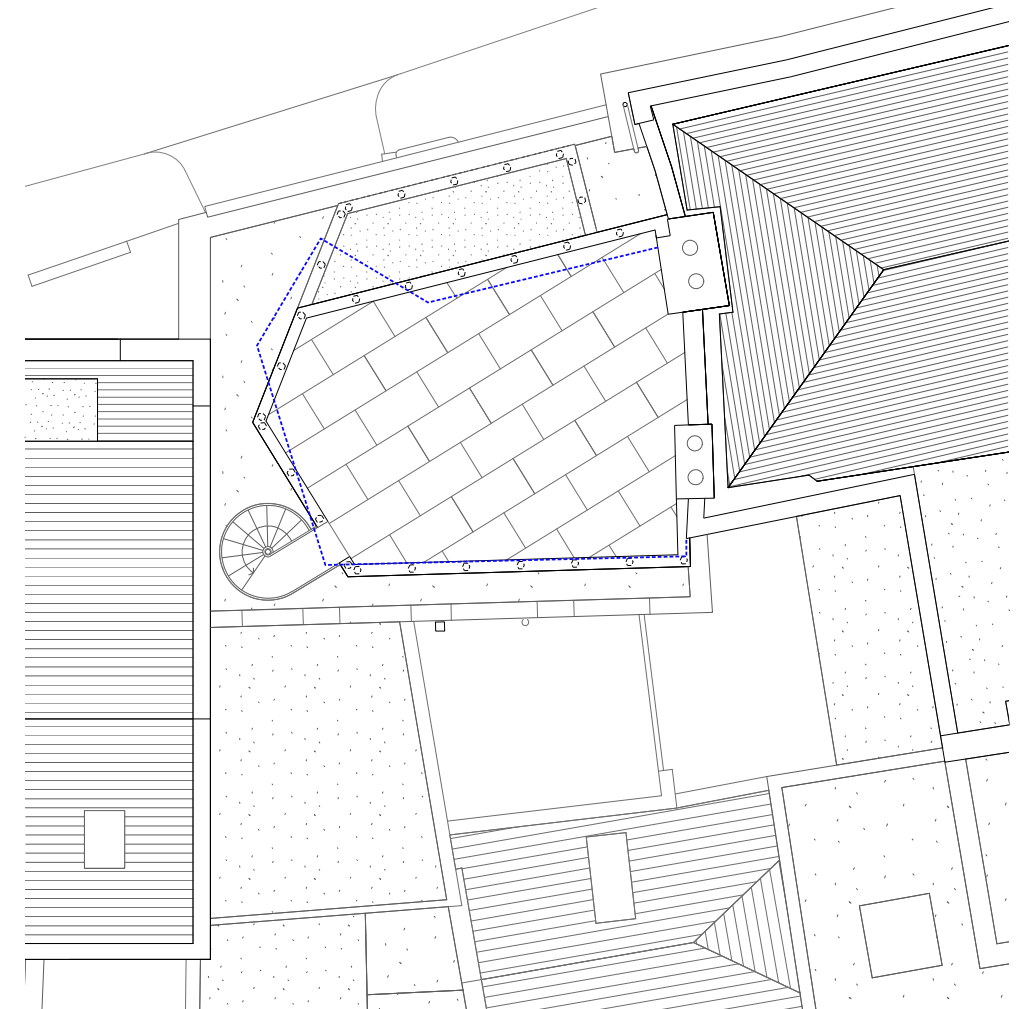
- The volume is set back behind the existing parapet similar to a typical dormer.
- The front volume is centred on the brick façade of the host building to provide balance to the asymmetrical elevation of the host building.
- The roof form will be a flat green roof behind a low parapet. The height of the parapet has been kept as low as possible to remain beneath the line of the neighbouring pub's principal cornice.
- The front volume has also been pulled in from both corners of the building to reduce its impact on the host building, the neighbouring properties and the street. The resulting recess between 1 Wicklow Street and the pub preserves the existing ornate stuccoed cornices and quoins of the pub which turn the corner and project over the roof of 1 Wicklow Street.





Section from street to rear yard

0 0.5 1 1.5 2 2.5m



Plan of proposed and pre-application roof terrace overlaid

0 0.5 1 1.5 2 2.5m

- The west corner 1 Wicklow Street steps forward from the terraced houses at a kink in the geometry of the street. The new massing has been pulled back from this prominent corner to reduce its impact.

The form of the higher volume to the rear relates to the immediate context of the roofscape and the higher party walls surrounding the site in the following ways:

- The rear volume will be built up against the large blank side wall of the public house. The proposed rooftop addition will screen much of the unsightly wall.
- The new perimeter walls have been set in on all the other three sides to reduce the impact of the rooftop addition and create small pockets of external space for planting.
- The west elevation has been pulled away from the mansard of no.3 Wicklow Street and inflected in plan to preserve the privacy of the dormer.

- This inflection also creates a wider area of external space at the rear where the external metal spiral stair has been located so as to be invisible from the street.
- The new roof terrace is set back from the street and screened behind the façade parapet. The terrace will not be discernible from the street or cause amenity problems to adjoining properties.
- The height of the terrace parapet is lower than the apex of the parapet and roof ridge of no.3 Wicklow Street and considerably lower than the pub's parapet wall and chimney stacks. The height of the chimney stacks will not require altering.
- The form of higher volume to the rear has been adjusted to reduce the appearance of the terrace from the street. This amendment has been made in response to pre-planning application feedback expressing concern that the roof terrace "appears vast and can appear slightly overbearing within the context of the site".

The drawing above shows in blue line the outline of the former roof terrace in relation to the revised outline of the terrace. The northwest corner of the terrace that previously stepped out has been pulled in to reduce the impact and prominence of the terrace when viewed from the public realm. The effect is significant and can be seen on the updated photomontages looking up and down Wicklow Street.

A mansard roof was discounted on the grounds that it would confuse the legibility of the addition and look too monolithic and awkward in relation to the complex geometry and spatial morphology of the unique and varied streetscape. The Heritage Statement sets out the merits of a more innovative approach in relation to conservation principles. Camden's Design Surgery reviewed the pre-planning application design and supported the principle of a 'non-traditional' or creatively designed rooftop extension. Reservations about the pre-planning application design have been addressed in the subsequent design developments described in the submission.





Pre-planning application montage



Existing view from Wicklow Street looking east towards Kings Cross Road



Proposed view from Wicklow Street looking east towards Kings Cross Road with facade improvements to the host building and new roof top addition

#### Appearance:

The proposed alterations to 1 Wicklow Street have been designed to make a positive contribution to the appearance of the host building and the character of the conservation area which displays a lot of architectural variety and no uniform character or roofscape.

The front façade of the host building will be enhanced through the restoration of missing features to strengthen the heritage character of the building. A high quality rooftop addition is proposed that is distinct from the host building and legible as a contemporary addition. The rooftop addition has been designed to be subordinate and recessive to the host building and the highly ornate pub.





Pre-planning application montage



Existing view from Kings Cross Road looking west down Wicklow Street



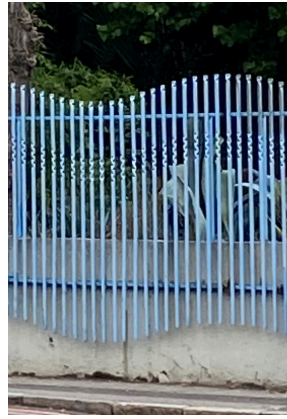
Proposed view from Kings Cross Road looking west down Wicklow Street with facade improvements to the host building and new roof top addition

A rhythm of vertical timber posts finished in a warm silver grey gives the roof top addition a frame-like appearance. The posts have been given a faceted profile to break up the surface and make them appear more slender. Grey green pigmented metal fascia, solid timber panels and frameless inward opening glazed doors and windows are fixed between and behind the timber uprights.





Local references : Colour palette - speckled brown tiles on the facade of The Northumberland Arms, warm varied greys and reddish pink browns of the brickwork to 1 Wicklow St and the original granite cobble stones



Local references : Filigree metal victorian railings on Wicklow St and metal tube screen to the gardens of the Penton Rise Estate opposite



Local reference : Filigree metal balustrade screens shared landings of Derby Lodge opposite



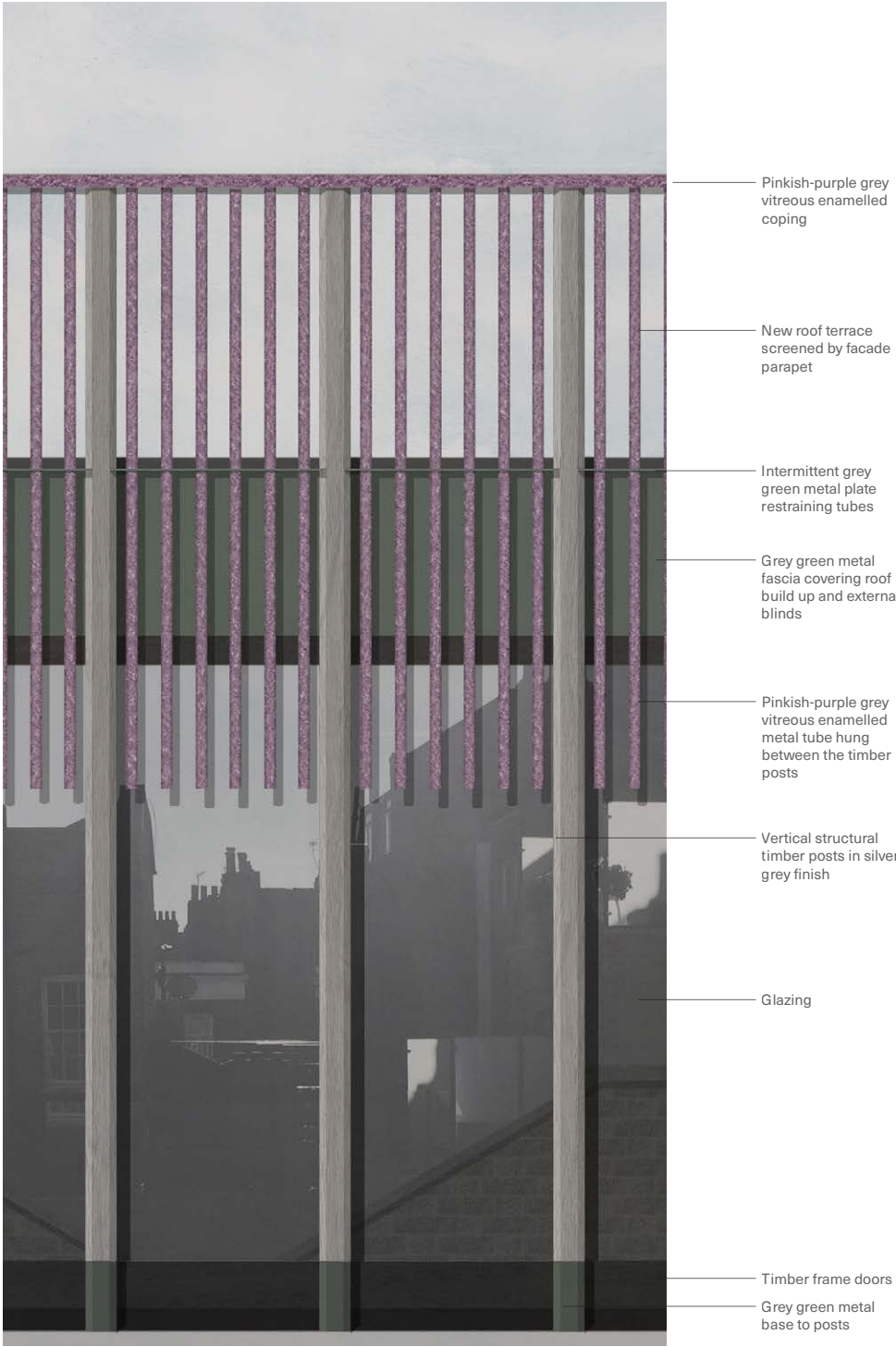
Reference : The Skainos Centre, Belfast. Example of a vitreous enamel and glass facade in an urban context



Reference : Vertical metal screen facade. House in Vila Real, Spain by Juan Marco Arquitectos



Reference : Vertical metal screen facade. Studio + Boutique in London Bridge by DSDHA



Proposed facade - structural bay and material study

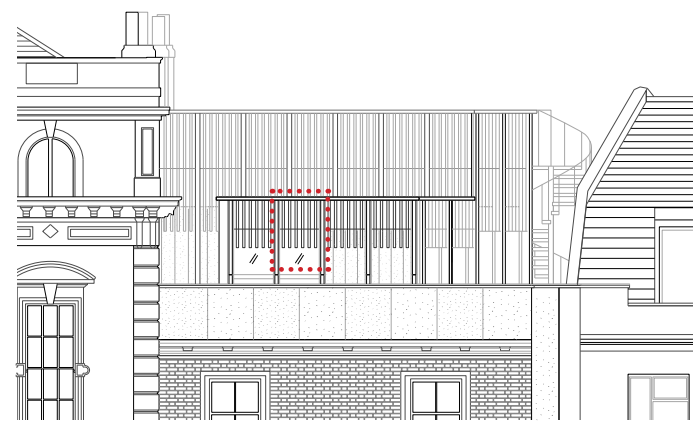
The upper areas of the new windows, glazed doors and the roof terrace will be screened by a bespoke and delicate facade made from pinkish-purple grey vitreous enamelled metal tube hung between the vertical timber elements from a metal coping. This filigree metal screen makes visual links to nearby residential buildings echoing the painted metal Victorian railings of the period terraced houses along Wicklow Street, the balustrades of Derby Lodge and fences in the area such as those enclosing the gardens of the Penton Rise Estate. The use of filigree metal screen façades can be seen on contemporary studio and residential buildings in London and abroad.

The use of vitreous enamel will provide a high quality and exceptionally durable surface finish that is easy to maintain. This makes it well suited for use on the façades of buildings in urban settings.

The variegated and speckled quality of the vitreous enamel finish will provide visual interest recalling the glazed faïence tiles used on the façades of the nearby Victorian public houses including The Northumberland Arms and The Prince Albert Pub on Kings Cross Road.

The material and colour palette of the roof top addition has been developed in response to feedback from the pre-planning application asking for a stronger relationship with the character of the conservation area and clearer justification of the materials / colours deployed. The material and colour palette now consists of timber, metal fascia and enamelled metal finished in warm greys with silver, pinkish-purple and green hues. These colours will harmonise with the reddish brown and purple stock bricks of the house, the brown speckled tiles of the pub next door and the varied warm grey and pink-ish granite cobble stones of the road.





mock-up located on front elevation

Pinkish-purple grey  
vitreous enamelled coping

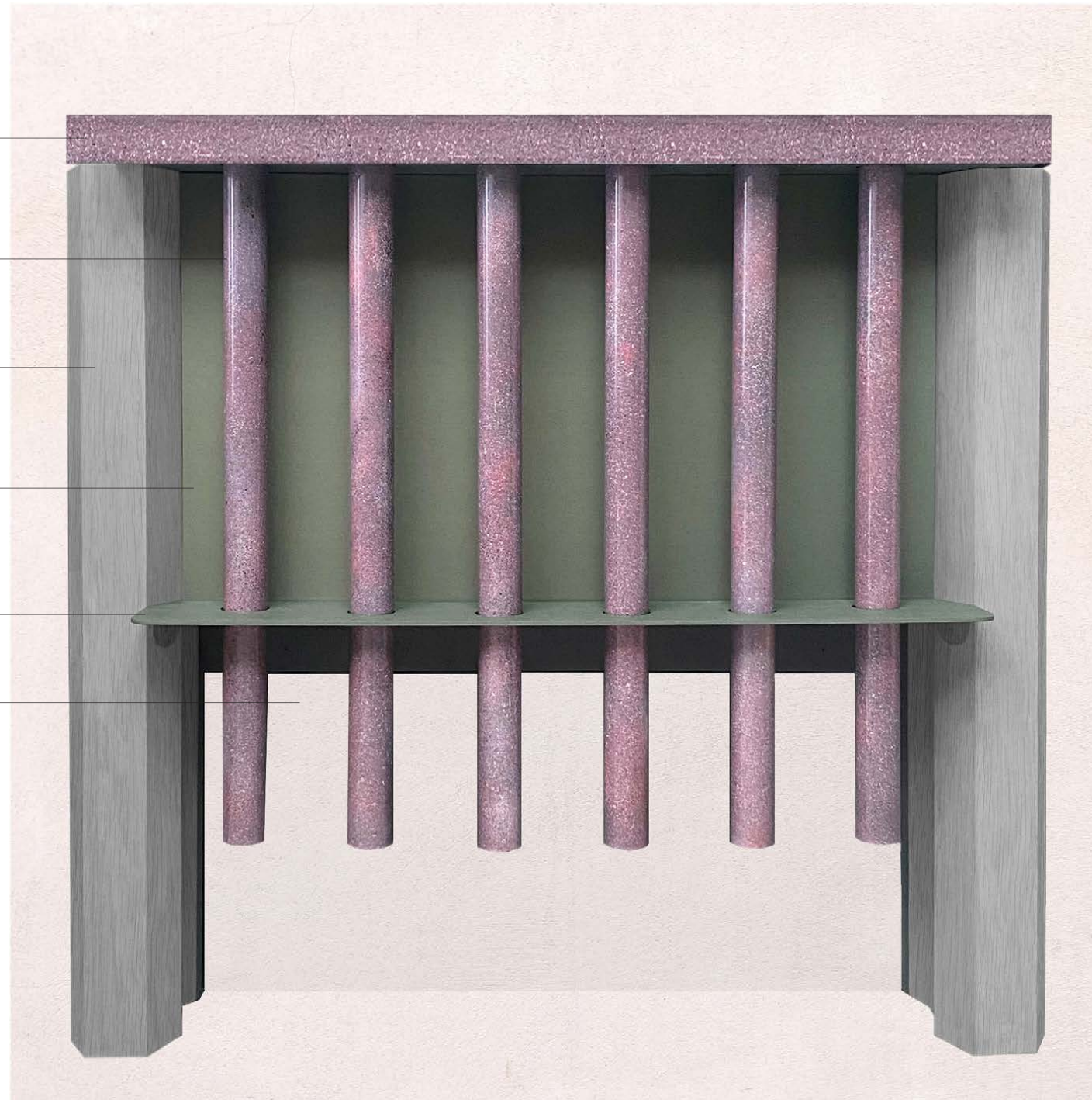
Pinkish-purple grey vitreous  
enamelled metal tube hung  
between the timber posts

Vertical structural timber  
posts in silver grey finish

Grey green metal fascia  
covering roof build up and  
external blinds

Intermittent grey green metal  
plate restraining tubes

Frameless glazing fixed to  
rear of timber posts



1:1 mock-up sample of timber posts and metal facade  
Frontal and oblique view



Photograph of existing brickwork at the rear of  
1 Wicklow Street

The façade design has been developed in collaboration with the artist / sculptor David Murphy ([www.davidmurphystudio.co.uk](http://www.davidmurphystudio.co.uk)). David has provided input on the metal work and colour treatment of the vitreous enamelling. A 1:1 scale mock-up sample of a piece of the facade has been produced to test how the materials come together and demonstrate the relationship between colours.

It is our professional opinion as practicing architects and artists that these materials and colours compliment the stock brickwork of the area (refer to the photographs of the front and rear brickwork of 1 Wicklow Street), the stucco, painted metal railings / balustrades and the granite cobbles of the conservation area. We believe that the roof top addition has been given a more recessive, gentle and elegant architectural expression that responds in an appropriate, contemporary manner to the decorum of the early 19th century host building as well as the surrounding residential and local industrial buildings.

#### Sustainable Construction + Energy Efficiency:

The structure will utilise sustainable timber construction and reclaimed structural steel to reduce embodied energy and minimise carbon. The majority of the structure will be constructed from environmentally sustainable timber using Cross Laminated Timber (CLT) and Accoya. The structure will be fabricated in a workshop to ensure build quality and speed up the assembly on site.

The construction will be light weight to ensure the host building is structurally capable of carrying the extra storey and associated loads. Foster Structures, the structural engineer, has confirmed the existing building is capable of supporting a roof top addition utilising this method of construction and has developed an innovative structural design concept using a CLT deck.

Insulation material added to the new roof and at second floor level will exceed regulations and greatly improve the existing environmental performance of the building.

Existing walls will be retrofitted with internal breathable wood fibre insulation and single glazed windows upgraded with thermally efficient double glazed like for like replacements with draft proofing. The façade design provides shading and reduces solar gain / overheating. The old gas boiler will be replaced with a new energy efficient air source heat pump. Low energy fixtures / fittings will reduce energy consumption and water saving sanitary ware will be installed throughout. Water butts will collect rainwater for watering terrace plants.

#### Landscaping:

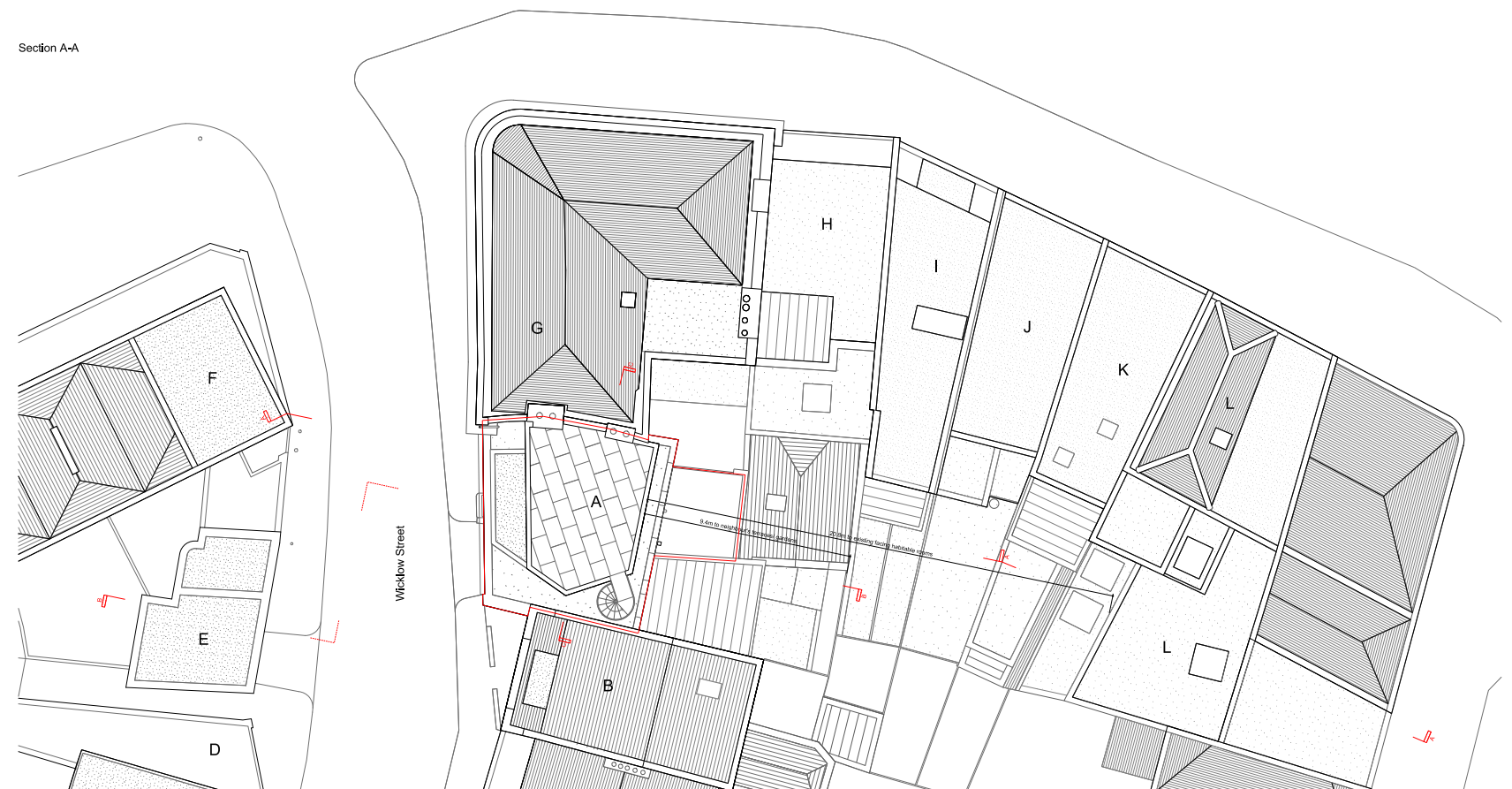
A number of measures will contribute to urban greening, increase biodiversity and slow down rainwater drainage:

- The roof top addition will include an area of green roof planted with sedum.
- Planters will be incorporated throughout the new external terrace spaces.





Section A-A



Site plan and section with privacy / overlooking separation distances

- A 1 Wicklow Street
- B 3 Wicklow Street
- C Derby Lodge
- D 48A Wicklow Street
- E 2 Wicklow Street
- F 143 King's Cross Road
- G The Northumberland Arms Pub 141 King's Cross Road
- H 139 King's Cross Road
- I 137 King's Cross Road
- J 135 King's Cross Road
- K 133 King's Cross Road
- L 131 + 129 King's Cross Road



0 1 2 3 4 5m

## 5.00 Neighbouring Amenity

### Daylight + Sunlight:

Detailed consideration of any impact the roof top addition will have on the daylight / sunlight of surrounding properties has been made. Refer to the Daylight and Sunlight Report prepared by Joel Michael Reynolds. The report demonstrates a very good level of compliance with the BRE Guidance considering the urban context and that the proposed development will not cause harm to the habitable rooms of the adjoining properties.

### Outlook and sense of enclosure:

The pre-planning application feedback stated that the design of the roof top addition would have minimal impact on outlook and sense of enclosure being set back and screened or hidden by the flank walls of the public house and no.3 Wicklow Street. Impact on the rear situation was deemed to be acceptable.

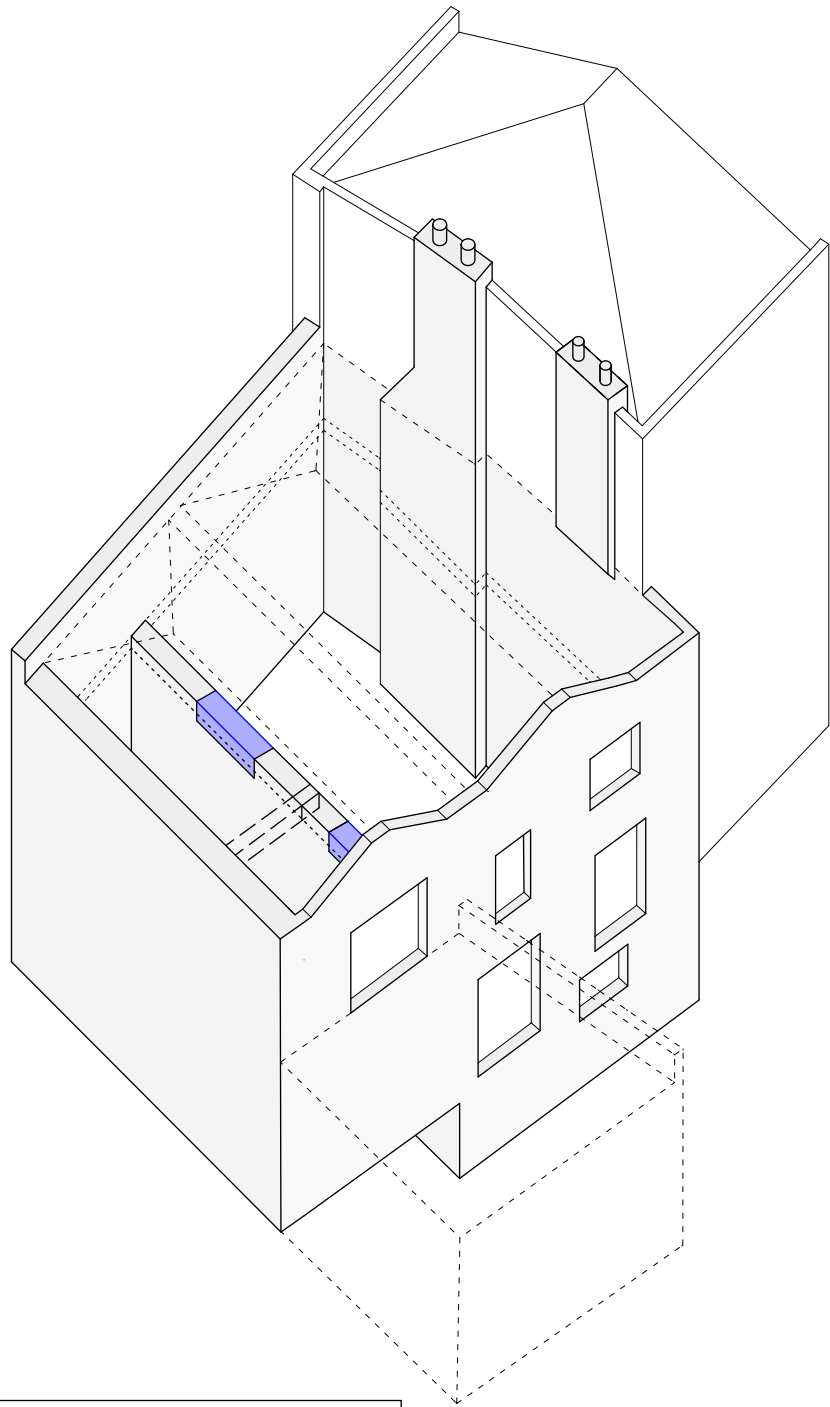
### Privacy and Overlooking:

The historic character of Wicklow Street and the surrounding streets creates an existing close-knit environment in particular within the interior of the city block. Visual privacy and overlooking of neighbours' properties to the rear will not be significantly worsened. The roof top addition is more than 20m from any existing facing habitable rooms and over 9m from the closest neighbours' gardens / terraces on the interior of the city block. These separation distances exceed the 18m stipulated in CPG Amenity Jan 2021.

The proposed new windows and terraces are set back to provide greater separation distances than those of the existing terrace and upper floor windows at first floor level facing neighbouring rear gardens. Metal balustrades to the rear glazed doors of the new roof top addition create 'Juliet' (or 'French') balconies at the back. The slither of terrace at 2F level to the rear is not accessible to further increase separation.

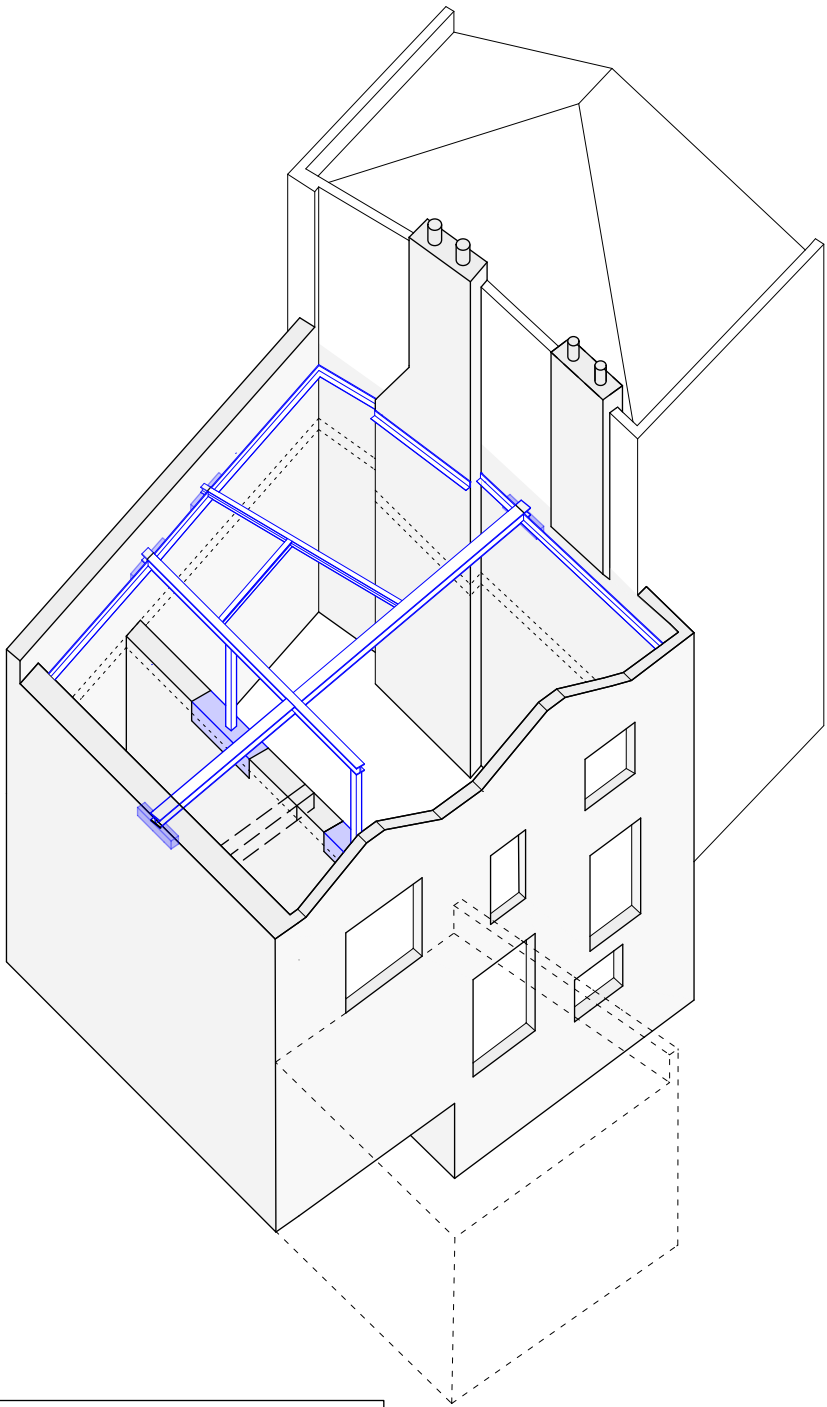






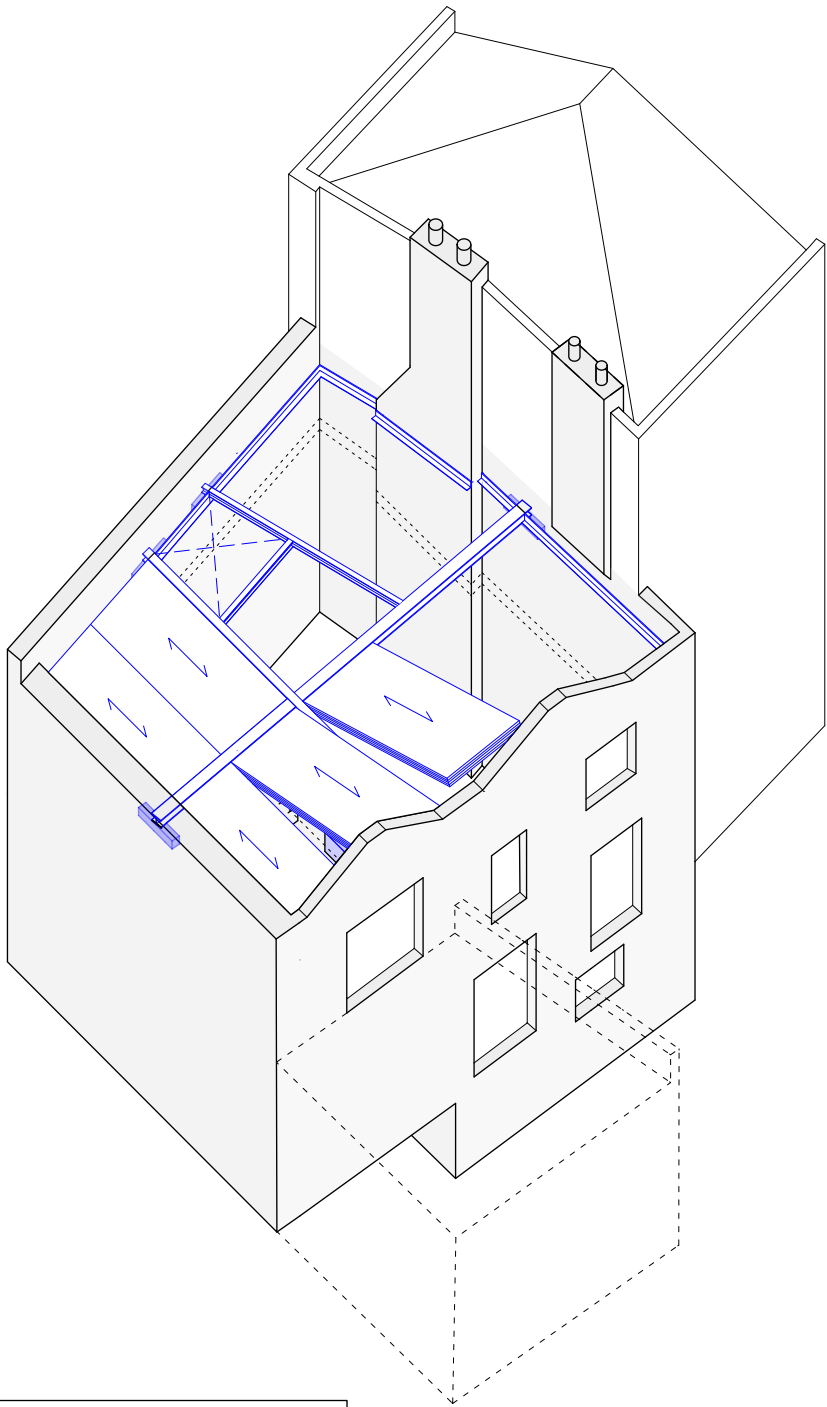
**Stage 1.**

Existing pitched roof removed. 2 no. new mass concrete spreader padstones set into head of existing loadbearing masonry party wall at first floor level. Padstones positioned to avoid existing first floor level downstand beam assumed to support existing first floor joists over access passage at ground floor below.



**Stage 2.**

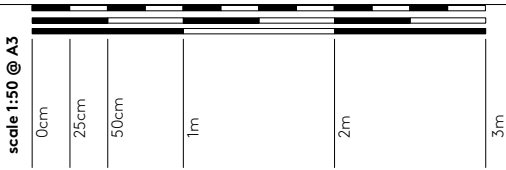
New steel support columns / goalpost frame installed off head of new padstones to support new spine beam spanning from goalpost frame onto new padstones to party walls. New secondary beams installed to trim out new stair void at second floor level and new perimeter angle installed to face of wall to support new CLT floor panels.



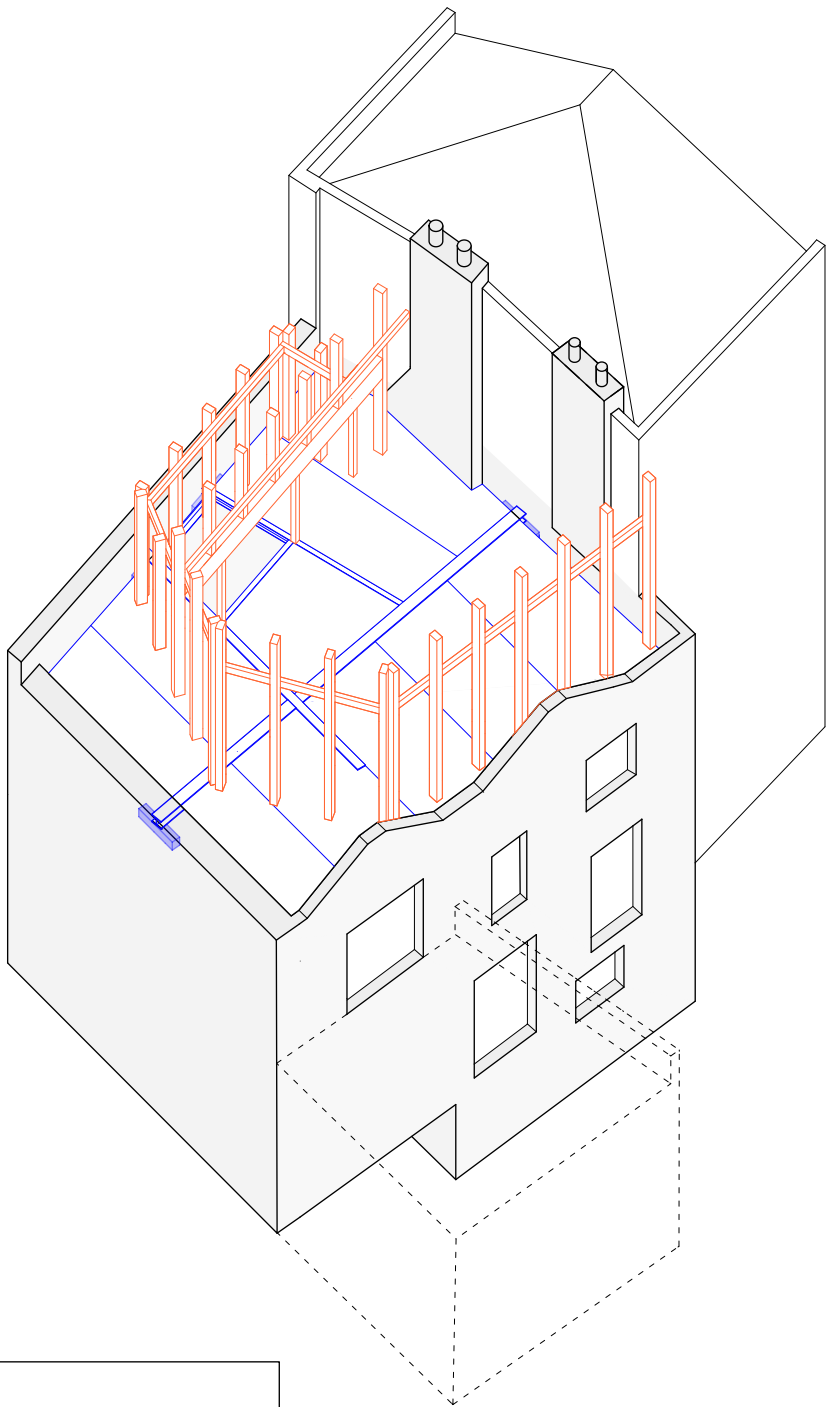
**Stage 3.**

New CLT floor panels nominally 200mm thick installed to form new floor level structural deck - spanning from face of steel support angle resin anchored to inner face of perimeter masonry walls onto new central spine beam (installed within depth of floor) and steelwork trimming out around new stair void.

Project:	Wicklow Street
Job No:	634
Drawing Title:	Construction Sequence 1-3
Drawing No:	634/1000
Date:	24.06.22
Revision:	A
Scale:	N.T.S.

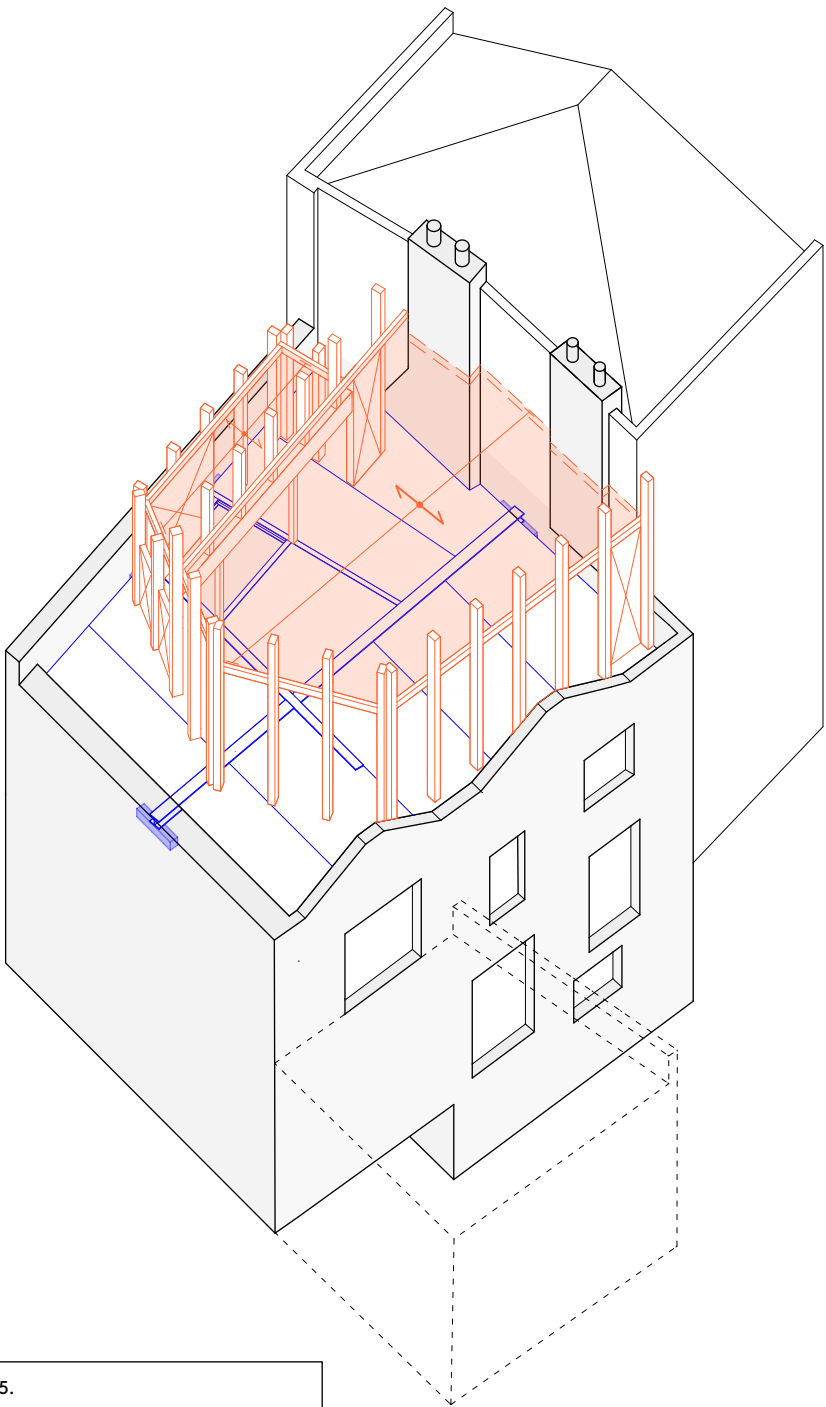






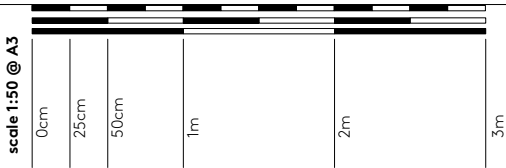
**Stage 4.**

New loadbearing timber posts to new roof extension installed supported off head of new CLT Structural floor deck. Perimeter ring beam installed to notched shoulder on inside face of posts to provide support to new timber high level roof joists. Lower level sedum roof supported on new trimmer beam supported off new timber posts down onto stair trimming steelwork or hidden in solid infill panel (see Stage 5.)



**Stage 5.**

New clear spanning timber roof joists to span between timber ring beam to inside face of loadbearing timber posts forming new accessible high level roof terrace. Cross bracing installed to solid infill panels of perimeter timber posts (including low level panels) to provide lateral stability to new timber framed roof extension.



Project:	Wicklow Street
Job No:	634
Drawing Title:	Construction Sequence 4-5
Drawing No:	634/1001
Date:	24.06.22
Revision:	A
Scale:	N.T.S.

General Notes:  
Copyright to these drawings and the designs shown therein are retained by foster structures ltd.  
These drawings are for information only (they should not be scaled from) all dimensions should be verified on site.  
Any discrepancies in the drawings should be brought to the attention of foster structures ltd. Any variations from these drawings should be approved by foster structures ltd.

# Casswell Bank Architects

Casswell Bank Architects creates architecture that leaves a positive impression on a place and its people whatever its scale and purpose. The role architecture plays in creating a welcoming home, a successful institution or a vibrant neighbourhood may only be a small part of the story, but we strongly believe that architecture is integral to people's wellbeing and produce rigorous designs attuned to the life of its users.

We shape unique architectural responses to our client's vision, the qualities of a place, statutory requirements and a range of cultural and historical references. We look to bring a sense of generosity to every project and exceed expectations regardless of scope or budget.

Construction is important to us as something tangible that can surprise and delight. We acknowledge the emotional quality inherent in building materials and are committed to bringing them together with care. Inventive drawings and physical models help us test spatial and material ideas and share them with our clients and the public.

Practice Directors, Sam Casswell and Alex Bank, are closely involved in the design of all projects and reinforce the themes and processes explored in the practice through their research as leaders of Studio 1 at the London Metropolitan University School of Art, Architecture & Design.

Our work has featured in the national press, architectural publications and talks given in the UK, Venice and Moscow. In June 2019, Casswell Bank Architects was part of the Architecture on Stage: New Architects lecture series at the Barbican Centre in London. The Linney project recently won an Architects' Journal Retrofit 2021 Award. Casswell Bank Architects are also featured in the Architecture Foundation's recent 'New Architects 4' book showcasing the next generation of up and coming UK architects.

**3A Trafalgar Mews, London, E9 5JG**  
**casswellbank.com 020 8525 1395**