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Appendix 1 – Examples of nearby rooftop extensions

Appendix 2 – Wicklow Street roof typology



1. Introduction

This planning statement has been prepared on behalf of our client, Alex Bank, of Casswell Bank Architects, in support of the planning application for the refurbishment and extension of his home at No. 1 Wicklow Street in the London Borough of Camden (LBC).

The proposals have been developed by Casswell Bank to refurbish and extend our client's home by one additional roof storey including a roof top terrace; and to refurbish and restore the exterior of the property. The proposals are considered a sensitive but contemporary approach to a new roof extension which adds character and interest to the street and surrounding conservation area.

This statement provides further information on the proposed works and considers the relevant planning policy that has been taken into account in devising the scheme.

A separate Design and Access Statement (DAS) has been prepared by Casswell Bank Architects to explain the existing site context and proposed works in more detail. Other supporting documentation includes:

- Heritage Statement prepared by Cogent Heritage
- Daylight and Sunlight Study prepared by Joel Michael Reynolds

The proposals have been developed for submission following pre-application advice received from LBC in January 2022. The scheme has been amended to address officers' feedback and this is discussed further in the application documentation.

2. Site context

Site

The building, No. 1 Wickow Street, is a 2-storey, 3-bedroom, residential dwelling (lower ground, ground and first floor) with a rear yard. The front facade is in poor condition and is unique on the street, with little relation to other properties. The site is located adjacent to the Northumberland Arms public house on the corner of Wicklow Street and Kings Cross Road. It is not Listed but is located within the Kings Cross Conservation Area (sub area 4). The building is considered to be an unlisted building that makes a positive contribution to the Conservation Area. The residential dwelling is accessed from the street, up three steps to the main front door. Adjacent to this are double garage doors which provide access to a rear workshop, not owned by our Client.

Surroundings

Wicklow Street is a narrow, cobbled street which is predominantly residential in character. It is within sub area 4 of the Kings Cross Conservation Area. The Northumberland Arms pub sits on the corner with Kings Cross Road, while to the west of the property is a residential mansion block, Derby Lodge (Grade II listed) (5 storeys), and a terrace of 19th century 4 storey houses opposite this on the southern side of the road. The terrace and Site are directly adjacent to No. 3 which is a 2 storey modern infill property plus mansard level and rendered façade. This buildings sits on the other side of No. 1.

The west end of the street is characterised by open car parking sites to a railway cutting, with some larger open plots used for storage. To the far western end there are larger scale buildings including the rear of the main Throat, Nose and Ear Hospital, part 6 part 7 storeys and the 4 storey Nurses Home, constructed of red brick and steel framed windows. Opposite is the convex flank and rear elevation of the stock brick building fronting 17-27 Britannia Street – this is approximately 4/5 storeys with a possible set back roof extension and garden terrace.

The wider area is characterised by the large arterial roads Kings Cross Road and Grays Inn Road which provide key links into central London. These roads are characterised by a mix of early 19th century terraces and larger scale institutional buildings. Between these main roads are narrow streets such as Wicklow Street, paved with granite setts and lined with later 19th century buildings, of former light industrial, commercial and housing sites.

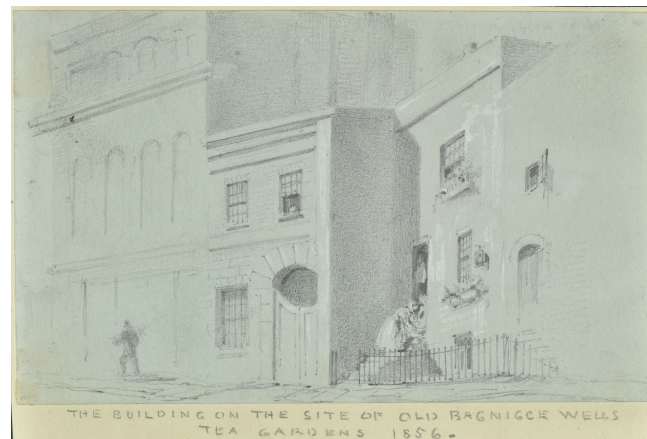
Historic Character

The Conservation Area Appraisal describes the site as:

“The adjacent property at No. 1 Wicklow Street, is a two storey later 19th century dwelling, which is constructed of stock brick with rusticated stucco at ground floor level and a wide vehicular entrance with original timber gates and granite sett paving”

The building is thought to have been a coach house and yard for the large pub it conjoins. It may have been a small dairy at some point. Historic sketches (opposite) show the house without a front door just the large passage gates. The construction is typical of its time, solid masonry, partially stuccoed, with timber floors and partitions (lathe and plaster). The roof has a double pitch form and is hipped before the front parapet with a double gable parapet to the rear. The house is mid-terrace with larger buildings either side. Please see Heritage Statement for more detail of historical development of the site and surroundings.

At some point the property was split into the house and workshop. The workshop is not owned by our client, it extends beneath the house and out into a series of ramshackle buildings that abut the rear façade and form an L-shape around our little sunken yard. Our Client owns a flying freehold over the passage-way.



Historic pencil sketches of 1 Wicklow Street and the Northumberland Arms PH, 1856

3. The proposals

Our Client wishes to undertake a full renovation of the site including an external refurbishment and the erection of a single storey roof top extension, with roof terrace. Full details are provided in the Design and Access Statement but summarised below.

Description of Development

The proposed description of development for the planning application is:

External refurbishment of No. 1 Wicklow Street to include new timber sash windows, repair to stucco, reinstatement of features, new coping stone, erection of single-storey roof extension and new roof top terrace accessed by external spiral staircase.

Roof Extension | The proposed roof extension will provide a large room at the top of the house to provide a new social space, combining a kitchen, dining and living space. The space will be characterised by tall inward opening glazed doors. The extension will provide circa 31.5sqm of new floorspace. The height of the front of the extension relates to the neighbouring pubs principal cornice. The height of the terrace parapet is below the ridge of no.3. The terrace will be accessed from a spiral stair located to the rear of the property, not visible from the public realm.

The form of the new volume responds to the immediate context of the roof line and the long view from the west. The volume has been pulled back from the boundaries on 3 sides to create little pockets of external space for plants and greening. The façade nearest the pub allows for the pub's cornice, which turns the corner to remain intact and untouched. The largest gap, at the rear, is big enough for an external spiral stair leading to the roof top terrace.

The stair will not be visible from the public realm, located at the rear of the building and obscured behind part of the new façade. The form of the larger volume extension has been adjusted in response to the pre-application feedback to reduce the appearance of the terrace from the street, by pulling in the north west corner of the terrace, it reduces the prominence of the terrace when viewed from the public realm.

The parapet walls including the double gable on the rear would be retained. The front parapet would be raised slightly and a coping stone reinstated.



External refurbishment | The proposal also includes for the external upgrade of the property to improve the appearance and contribution to the street scene. The works will include:

- installation of new stone coping raising the front parapet to line through with the adjoining parapet of No.3
- Replacing aluminium sash windows to the front façade and timber doors to the rear of the property
- Increasing door openings to increase natural light levels and improve access to external spaces
- Repairs and alterations to front façade that reinstate heritage features including reinstating missing plaster cornice, stucco repairs/decorations, tiling concrete entrance steps, replacing missing chimney pots, rationalising plumbing to rear façade.

4. Pre – application Advice

Pre-application discussions have been held with LBC Officers about the principle of the proposals. A pre-application submission was made in December 2021 and a pre-application meeting held on 21st December to discuss the scheme. Written pre-application feedback was received in January 2022 which was supportive of the principle of the proposals. We summarise the feedback below and (in blue) how the scheme has addressed the comments made and the design amended to respond.

Design Comments

- The pre-application submission was reviewed at the Council’s Design Surgery where the principle of a ‘nontraditional’ or creatively designed roof top extension was supported.
- The scale of the roof top extension was considered to be acceptable with it being suitably set in from the edges and then further set back on the terrace.
- Concern was raised about the extension essentially having two floors as a result of the rooftop balustrades. It is considered that by setting the terrace back from the street and ensuring the height of the terrace parapet is lower than the apex of the parapet and roof ridge of No. 3 Wicklow Street, and considerably lower than the pubs parapet wall and chimney stack, the extension is not overly tall, nor gives the impression of being 2 storeys in height.
- Concern was raised about the scale of the roof terrace and that this appeared slightly overbearing within the context of the site. *In response to this, the form of the higher volume has been adjusted to reduce the appearance of the terrace from the street. Specifically, the north-west corner of the terrace that was previously stepped out has been pulled in to reduce the impact and prominence of the terrace when viewed from the public realm.*
- It was noted that the frames appearance and use of solar shading system appears quite commercial in character and does not link to the character of the conservation area or residential use of the property. *In response to this comment the materials palette has been adapted to soften the appearance of the frame (discussed more below). The frame design is considered to soften the appearance of the roof top addition, while also providing visual interest. The solar shading is an additional benefit of the design and not considered to be the primary design narrative.*
- It was noted that the materials should relate to the character of the conservation area which has a mixture of both residential and industrial type uses. Officers support the use of materials other than brick however their needs to be a clear justification. Currently the link between the blue colour and the use of terracotta pipes appears vague. *In response the submission has a revised material palette using timber posts in a warm silver grey, with a faceted profile to break up the surface and provide a delicate silhouette. Grey green pigmented metal panels, solid timber panels and frameless inward opening glazed doors and windows are fixed behind the timber uprights. These will be screened by a delicate façade comprised of pinkish/purple grey vitreous enamelled metal tubes hung between the timber uprights. This screen creates visual links with the pinkish/purple hue of the original bricks on the host building (reminiscent of old purple bricks) and harmonises with the painted balustrades, stone and stucco used in the area.*
- The green roof is supported and it is encouraged to building on this aspect making any extension softer in appearance and contributing to improved biodiversity. *As noted above, the materials pallet has been softened and the timber will provide a natural backdrop for further planning on the terraces.*

Amenity

- The design and positioning of the extension adjacent to the flank wall of the pub and No.3 ‘hide’ the extension meaning the impact on outlook and sense of enclosure is minimal from the front and sides.
- In terms of the area, there are rear gardens and terraces and other amenity areas present. However, outlook is already limited and the additional extension does not appear to significantly contribute to this relationship so is considered acceptable.
- In terms of privacy, the extension is not considered to impact from the front. To the rear, from the rear, the extension could have views into and around other properties on Kings Cross Road, Wicklow Street and Swinton Street. Whilst the issue may be resolved, care should be taken in evidencing that issues relation to privacy and outlook are not worsened. *The distances between the extension and the amenity spaces have been provided and it is not considered that the extension will make the privacy of these spaces any worst than existing condition.*
- The applicant needs to submit a full BRE assessment of the impact on daylight and sunlight. *This has been prepared by Joel Michael Reynolds as part of the application submission. It concludes that there is a very good level of compliance with the BRE Guidance considering the urban context. It is not considered that the extension would cause harm to the habitable rooms serving the adjoining properties.*

Energy and Sustainability

- The Council requires development to minimise the effects of climate change and encourages all development to meet the highest feasible environmental standards that are financially viable during construction and occupation. Policy requires development to reduce carbon emissions by following the energy hierarchy. *The scheme proposes a number of measures that will help reduce carbon emissions at the property including new timber windows and insulation.*
- Policy also requires development adopt appropriate climate change measures including reducing run off and green roofs. *The proposal includes a new green roof which will help reduce surface run off. Planting on the new terrace is also proposed to improve greening and biodiversity.*

5. Planning policy framework

The National Planning Policy Framework 2021 (NPPF) & Planning Practice Guidance 2021 (PPG)

This is a key part of the Government's reforms to make the planning system less complex and more accessible, and to promote sustainable growth. The NPPF retains a presumption in favour of sustainable development. This applies unless any adverse impacts of a development would 'significantly and demonstrably' outweigh the benefits.

Under Section 38(6) of the Planning and Compulsory Purchase Act 2004, the determination of planning applications must be in accordance with the development plan, unless 'material considerations' indicate otherwise.

The Development Plan

Incorporating: the GLA's London Plan (LP), 2021 and The Camden Local Plan comprising of: **The Camden Local Plan (CLP)** July 2017; the **Site Allocations Plan** September 2013 and the **Policies Map** (updated version) January 2019.

Supporting information to the Development Plan is found in the **Camden Planning Guidance Documents**. The following of which have been consulted as part of the proposals -

- Home Improvements (January 2021)
- CPG Design (January 2021)
- CPG Amenity (January 2021)

Selected other **Supplementary Planning Documents (SPD)** include –

- LBC Kings Cross Conservation Area Appraisal and Management Strategy (2004)
- Historic England Good Practice Advice in Planning Notes 1-3 (March 2015)

Adopted site specific designations

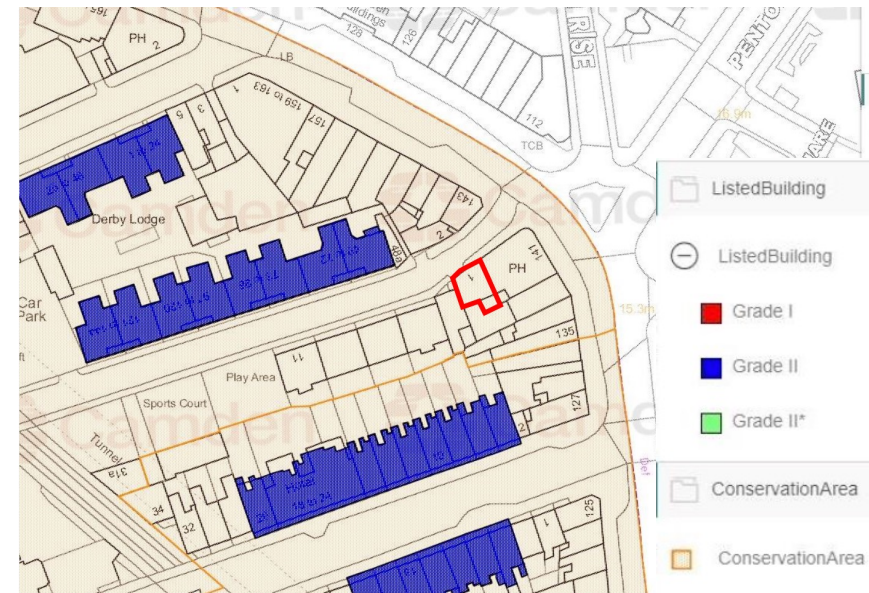
- Central London Area
- Kings Cross Conservation Area
- View 3A.1 Kenwood to St Pauls

Nearby designations:

- Site 126 Wicklow Street Open space



Extract from
LBC's
Proposals
Map



Extract from
LBC's Heritage
Map showing
nearby listed
buildings

6. Planning policy review

The following section reviews the key planning policies from the LBC Development Plan that are relevant to the consideration of the roof extension and exterior refurbishment at No. 1 Wicklow Street.

Principle of a Roof Extension

The **Camden Home Improvement Guidance** notes that extending properties at roof level is a well-established method to increase useable space in properties. The most common type is a mansard, while a traditional approach is often preferred, applicants are encouraged to think about different approaches to additional roof levels. A new roof level should:

- a. Be subordinate to the host building
- b. Include features informed by the host building and surrounding context
- c. Take the form of a traditional mansard, a modern interpretation or a more innovative approach; supported by pre-application advice
- d. Consider the installation of green roofs and/or solar panels.
- e. Consider other greening opportunities through planters
- f. Consider adequate insulation material to the new roof and floor below
- g. Consider shutters and thick curtains to aid with the overheating in the summer
- h. Be aware of the prominence of your homes' roof to appreciate what impact an additional roof level will have on the street scene and wider area
- i. There are cases where an additional level could help re-unite a group of buildings and wider townscape. You should consider the scale of the adjacent development if proportionate to the host building and street scene and reflect this in the proposals
- j. Erecting a roof extension on a building within a complete terrace that currently has no extensions and is not identified in the CAA as being significant is likely to be acceptable, generally in a traditional form. If the complete terrace or group is identified as being significant for its roof line, a new roof level is likely to not be acceptable regardless of its form. It is strongly recommended that pre-application advice is sought where it is unclear what design approach would suit the host building. You should also discuss your proposal with your neighbours to explore the possibility of a joint application.
- k. Where a group of buildings are originally designed as a complete composition a comprehensive design for the whole group is encouraged. Your design should be supported by pre-application advice prior to a planning application submission. If a comprehensive design for the whole group is not achievable, you should still consider pre-application advice to ensure your proposal would not block further development.
- l. If buildings are part of a group where differing heights add visual interest, you should consider maintaining that pattern into the design of the new roof storey.

There is little consistency in height, style or form at roof level immediately around the site, this has been demonstrated in the roof typology analysis which is included in Appendix 2 of this statement. The site is not part of a group of buildings or a terrace, nor has it been designed as part of a complete composition. The site is considerably lower in height than its neighbours. For these reasons, it is considered that the site is appropriate for a new roof level extension and given the immediate varied context and surroundings, there is potential at the host building for a more contemporary design as supported in the pre-application advice. We address each of the Home Improvement Roof extension criteria below.

- a. **Be subordinate to the host building** | While a contemporary addition, the extension is elegant and simple in form and design. The extension will be set back from the frontage to ensure it remains subservient to the host building, similar to a typical dormer. The new storey is composed of two storeys, a smaller front volume (with stair) and taller volume behind (living space). The larger mass is recessive to minimise its visual impact on the host. The front volume is centered on the brick façade of the host building to provide balance to the asymmetrical elevation of the host building. It has also been pulled in from both corners of the build to reduce its impact on the host building, neighbours and the street. Further, a set of refurbishment works are proposed to the host building, which will refresh the building and reinstate its contribution to the streetscene.
- b. **Include features informed by the host building and surrounding context** | The height and scale of the extension has been informed by the immediate neighbours, the pub and no. 3 Wicklow Street. The form of the higher volume to the rear relates to the immediate roofscape context and serves to screen the unsightly blank side of the wall of the pub. The appearance of the extension has been designed to be distinct and legible as a contemporary additions, however the materiality and colour palette, most notably the pinkish/purple grey vitreous enamelled metal tubing, has been informed by the surrounding context.
- c. **Take the form of a traditional mansard, a modern interpretation or a more innovative approach; supported by pre-application advice** | The proposal is for a more innovative approach, rather than a traditional mansard. It is considered that given the local character and context and analysis of the host building, this is a suitable location for a more contemporary approach to a roof extension which will contribute to the interest, character and appearance of this part of the Kings Cross Conservation Area. What is proposed is a high-quality rooftop addition that is distinct from the host building and legible as a contemporary addition. The rooftop addition has been designed to be subordinate and recessive to the host building and the pub.

- d. **Consider the installation of green roofs and/or solar panels** | The extension has been designed with landscape and greening in mind. The lower mass has been designed with a flat green roof, sitting behind the parapet. This will help with greening, biodiversity and also drainage. The footprint of the extension steps in to allow for planters and greening at roof level. Likewise, the proposed terrace will provide opportunities to plant and green the roof.
- e. **Consider other greening opportunities through planters** | As above, planters and greening are proposed as part of the design for the roof extension.
- f. **Consider adequate insulation material to the new roof and floor below** | Suitable insulation will be proposed as part of the design and construction of the new extension.
- g. **Consider shutters and thick curtains to aid with the overheating in the summer** | The design has been developed with overheating in mind. The glazed areas of the façade and the roof terrace parapet will be screened by the bespoke façade design which will also provide solar shading. This screen will mitigate against overheating and soften the appearance of the roof top addition.
- h. **Be aware of the prominence of your homes' roof to appreciate what impact an additional roof level will have on the street scene and wider area** | The design of the extension has been informed by a thorough understanding of the immediate roofscape and the contribution the site makes to the street scene and wider area. The site makes a positive contribution to the streetscene, notably by its double doors and traditional frontage. The external refurbishment works will also enhance the contribution the site makes to the wider area. It is considered that there is scope for further contribution to the varied street scene through a high-quality contemporary extension.
- i. **There are cases where an additional level could help re-unite a group of buildings and wider townscape. You should consider the scale of the adjacent development if proportionate to the host building and street scene and reflect this in the proposals** | The site does not form part of a typical group or terrace. However, it sits lower in height than its two immediate neighbours, the pub and No.3 Wicklow Street. For this reason, the extension can be seen to reunite this uncommon group by bringing the scale of the site up to a similar height as its neighbours. This provides some continuity in the scale of this part of the street, but its contemporary form and nature retains some of the individual character held by the host building.
- j. **Erecting a roof extension on a building within a complete terrace that currently has no extensions and is not identified in the CAA as being significant is likely to be acceptable, generally in a traditional form. If the complete terrace or group is identified as being significant for its roof line, a new roof level is likely to not be acceptable regardless of its form. It is strongly recommended that pre-application advice is sought where it is unclear what design approach would suit the host building. You should also discuss your proposal with your neighbours to explore the possibility of a joint application** | The site does not form part of a complete terrace or group as identified in the Conservation area appraisal.
- k. **Where a group of buildings are originally designed as a complete composition a comprehensive design for the whole group is encouraged. Your design should be supported by pre-application advice prior to a planning application submission. If a comprehensive design for the whole group is not achievable, you should still consider pre-application advice to ensure your proposal would not block further development** | The site does not form part of a group of buildings designed as a complete composition.
- l. **If buildings are part of a group where differing heights add visual interest, you should consider maintaining that pattern into the design of the new roof storey** | The host building is part of a group where differing heights add visual interest. While the extension at the host building will bring the height up to a similar height of its neighbours, the contemporary design, set against the pub and the mansard at No. 3 Wicklow Street continues to provide visual interest and retains the individual character of the host.

Amenity

Policy A1 of the Local Plan seeks to manage the impact of development to protect the quality of life of occupiers and neighbours. Factors that will be considered include visual privacy, outlook, sunlight, daylight and overshadowing.

Daylight and Sunlight | In accordance with Policy A1 of the Local Plan, a full Daylight and Sunlight study has been carried out to assess the impacts of the proposed roof extension on local amenity. This report reviews each property, the location of its habitable rooms and whether the impact of the development at No.1 Wicklow Street will meet and/or exceed the BRE guidance. In summary, many of the nearby properties are either too far to be impacted, do not have habitable rooms on the affected façade or windows facing the other way. Paragraph 125 of the NPPF (2021) states that *'local planning authorities should refuse applications which they consider fail to make efficient use of land, taking into account the policies in this Framework. In this context, when considering applications for housing, authorities should take a flexible approach in applying policies or guidance relating to daylight and sunlight, where they would otherwise inhibit making efficient use of a site'*. Taking the above into consideration, given there is a very good level of compliance with the BRE guidance given the urban context, in planning terms it is not considered that the extension will cause harm to the habitable rooms serving the adjoining properties.

Overshadowing | An overshadowing assessment has also been carried out in accordance with the BRE Guidance criteria in respect of 2 Wicklow Street, 139 Kings Cross Road and 141 Kings Cross Road. All overshadowing assessments undertaken in relation to neighbouring amenity space exceed the BRE Guidance criteria with the proposed extension in place.

Privacy | The historic character of Wicklow Street and the surrounding streets creates an existing close-knit environment in particular within the interior of the city block. The location and position of the extension means there is unlikely to be any impact on privacy and overlooking from the front. From the rear, the larger roof terrace may provide some limited opportunities for overlooking into nearby amenity spaces, however, distances have been included in the DAS and the terrace is not considered to make the existing situation any worse. Any impact is considered to be minor and typical for a dense urban block of this nature. The timber frame and screen like façade will also limit any direct overlooking.

Design of New Extension

Policy D1 of the Local Plan seeks to secure high quality design development. The Council require design to respect local context and character, preserve or enhance the historic environment, is sustainable in design and construction, comprises details and materials that are of high quality and complement the local character; integrates well with surrounding streets, is inclusive, accessible, promotes health; is secure; includes high quality landscape and opportunities for greening, incorporated outdoor amenity space, preserves local views, provides a high standard of accommodation and integrates building services.

As set out in the accompanying Design Statement and Heritage Statement, a significant amount of background research has been carried out to fully understand the local context and the historic environment. The local context is varied in both use, scale, form and massing. In terms of local uses, there is a commercial use on the corner of the street at the Northumberland Arms public house and then the street is predominantly residential in nature, with a small open space, the railway cutting and brownfield surface sites used for car parking and some rather neglected. The scale of the immediate context varies, from small two-storey dwellings to larger 5/6 storey commercial/hospital buildings at the western most end of Wicklow Street. Likewise, the massing changes significantly along the street, with pockets of openness (the cutting) and larger buildings creating a greater sense of street enclosure.

The historic environment is characterised by this variety, and the cobbled streets and the Grade II listed Derby House which makes a significant contribution to the character of the area. No. 1 Wicklow Street, makes a quiet contribution to the streetscene with its industrial double doors which identify the building on the street.

The proposed extension is a simple and elegant addition to the building, utilising a structural timber frame to provide the form of the extension, with grey green pigmented metal panels, solid timber panels and pinkish/purple grey vitreous enamelled metal tubes hung between the timber uprights. Simple glazed doors and windows are fixed to the inner face. The volume is shapely and designed to respond to the immediate context of the roof tops and the long view from the west. The form has been simplified since the pre-application advice to pull in the northwest corner of the extension.

Casswell Bank has commissioned a physical scale 1:1 mock-up of an elevation detail, which has been photographed so that the materials and colours can be seen in real life conditions (refer to the DAS and Heritage Statement for photos).

The refurbishment works to the exterior will further enhance this with stucco repair and reinstating the coping stone. While the proposed extension will sit within the varied and assorted context of Wicklow Street. Bringing the scale/height of the building up to a level more aligned to its neighbours so contributing to a more consistent scale. The extension will sit abutting the Northumberland Arms, but set back from the front parapet (to be reinstated) and from the decorative cornice which wraps around the side elevation of the pub. The extension will sit just below the roof line of the mansard extension of No.3. The design will be sustainable in its construction using sustainable timber construction to reduce embodied energy and comprise high quality materials.

The design of the extension is contemporary. It takes the form of a timber frame, referencing local features and Pindar’s House (see Design Statement). It has been developed to be a contemporary addition to the building and streetscene. The proposed improvements to the exterior of the site, repair of render, new windows etc, will ensure that the host building remains the dominant form in the street scene. The extension has been designed to ensure it remains subservient to the rest of the building while still contributing to the interest and variety found along the street. In this location, the varied roofscape, lack of traditional form and absence of mansard roof extensions provide a prime opportunity to explore a more contemporary design which can contribute to the local character and context.

The extension will promote health and greening by way of its outdoor amenity space. The extension has been ‘pinched’ and set back from the parapet at the front and rear to provide pockets for planting and greening, likewise the upper terrace, accessed from a new spiral stair at the rear (not visible from the front) will provide opportunities for planters to further contribute to the greening at the site. The roof of the lower volume is intended to be a green roof.

The site is within the strategic view from Kenwood to St Pauls, however, the domestic scale and nature of the extension means there will be no impact on this view. While not listed within the CAA, the extension will contribute and enhance the local views down Wicklow Street from Kings Cross Road, adding to existing character.

The new extension will enhance the standard of accommodation at the site, providing a new opportunity for open plan living and kitchen facilities at roof level. This will ensure the longevity of the property in line with the NLA Don’t Move Improve agenda which encourages extensions to properties to enable residents to stay put for longer.

The proposal for a contemporary roof top extension in this location is considered to enhance the site, immediate context and preserve the historic interest in accordance with Policy D1.

Impact on Conservation Area

Policy D2 of the Local Plan requires that development within conservation areas preserves or, where possible, enhances the character or appearance of the area.

Analysis and compliance with the relevant planning policies relating to the heritage context is set out in detail in the accompanying Heritage Statement prepared by Cogent Heritage. A summary of some of the key findings is below and overleaf.

Assessment of significance | The Heritage Statement describes how this part of Wicklow Street is characterised by a strong sense of enclosure, given the width of the street and the buildings rising directly from the pavement, or set behind narrow areas. There is a variety and lack of uniformity in the architecture and roofscape of the street, and the recently developed, very modern house at 2 Wicklow Street directly opposite the application site, adds further variation. There is no broad consistency in the context of 1 Wicklow Street, although there are ranges of buildings with consistent heights (e.g. the terrace at 5-11 Wicklow Street and the grade II listed Derby Lodge). Notwithstanding this, 1 Wicklow Street makes a positive contribution to the special character and appearance of the area, which is attributed to its traditional architectural form, style and detailing, materiality and its sense of age. More broadly speaking, the building is contextually in keeping with the scale and grain of this part of the streetscape and townscape on Wicklow Street.

Assessment of the proposals | The size and the position of the proposed extension have been carefully considered. It has also been designed to be an exceptional piece of contemporary residential architecture. Care has been taken so it will not appear as a dominant feature from any prominent views at street level. Although visible at height and from glimpses further down the street, the intention is for the extension to contribute to the roofscape variety whilst not detracting from the significance of the original host building. The proposed extension is a structure that delights, without dominating the host building. It is, on one hand, plainly a modern addition, whilst on the other hand deferential and yet subtly and quietly confident as a new structure in its own right.

There is a pleasing and somewhat playful tension between seeing this as a strikingly modern addition, but one that retains an ephemeral lightness against the heavy solidity of the brick walls of the host building and the adjacent pub. It demonstrates a clear subservience and townscape compatibility, where it acts as something of a subtle transition in scale behind the pub. The Heritage Statement observes that a good deal of thought went into the colour palette, with the pinkish/purple hue derived from actual bricks on the host building (reminiscent of old purple bricks), though it does not blindly mimic the browns seen in the background of the same view. There is some synergy with the muted and sombre colours typical of the Victorian palette, and with the railings of the listed block in the foreground on the left, the pink granites in the cobbled surface, and the colours of the pub. A striking synergy between the verticality of the railings in the foreground and the hanging pipes of the extension is also observable.

Overall, and in line with Policy D2, no harm has been identified to the significance of the Conservation Area. The proposed extension coupled with the enhancements to the façade will further increase the positive contribution of the building to the conservation area.

Summary | The research undertaken by the team and highlighted in the Design and Access Statement and Heritage Statement demonstrate that the immediate roofscape context around No. 1 is varied, and that the building heights range dramatically along Wicklow Street, meaning there is no consistent roofscape with alterations and extensions at roof level. There is little symmetry found within the street, and the proposed addition to No. 1 will bring this low rise building in keeping with its immediate neighbours at the pub and No.3. It will reinstate some consistency in the roof line. The proposed extension would obviously be modern and different, although its design has been informed by, and reflects its context in a number of subtle and thoughtful ways. It will, therefore, not impact on the appearance or character of the Conservation Area.

No harm has been identified to the significance of the Conservation Area, and therefore no conflicts with local plan policies. The proposal represents a well-conceived 21st century modification of the building that would preserve the significance of the building and the local townscape, whilst adding a high quality and well-considered new layer to the townscape. It is therefore considered that the proposed extension would be policy compliant, and that the design would be acceptable.



CGI of the proposed extension

Balconies and Terraces

The Camden Home Improvement Guidance notes that balconies and terraces provide valuable amenity space. When considering a balcony for your property it is important you appreciate the impact of this alteration on the roof form, host building, wider area and neighbouring amenity. Balconies and terraces must:

- a. be subordinate to the roof slope being altered and roof form overall;
- b. Preserve the roof form and complement the elevation upon which they are to be located
- c. In case of pitched roofs, be set in within the roof slope where possible
- d. Should maintain the existing parapet height
- e. Handrails and balustrades should be set back behind the line of the roof slope or parapet.
- f. Carefully consider materials for enclosure:
 - For traditional buildings, metal railings are preferred as they integrate well with the buildings character are more resilient, require low maintenance, support plant growth
 - Glass balustrades could be appropriate for modern buildings with thin frames or frameless, note they can generate sun reflection are difficult to maintain clean and do not support plant growth
 - Timber balustrades could be appropriate at lower levels
 - Raised parapets could contribute to shading where necessary and have different patterns such as hit and miss brick patterns
- g. the design of the balcony should take into account the risk of creating climbing opportunities for burglars
- h. Consider spaces for planters on the balcony for screening/enhancement
- i. When necessary, privacy screens should be made of natural materials and allow plants to grow on them; plants act as a sound barriers; provide shade and lower air temperature
- j. Be located at the rear of properties to ensure no impact on the streetscene and wider area
- k. Set back from roofs margins
- l. For balconies as part of a roof extension within a valley roof, the front and rear parapet of buildings should be retained and balustrades to sit behind them.
- m. When deemed necessary, privacy screens should be no less than 1.8m in height made of natural materials and support plants to grow on them.

The proposal includes small pockets of terrace at the existing roof level, where the extension is set back from the roof margins; these areas have been designed predominantly for planting. A spiral stair to the rear of the extension will take occupants up to the roof terrace on top of the new extension. This will have seating space for planters and be screened by the façade parapet. We address each of the Home Improvement balcony and terrace criteria below.

- a. The proposal is on a low level double-pitched roof, which will be removed to provide a level base for the new roof extension. The extension will sit set back from the front and rear elevations and create pockets of terrace space at this level for planters. The main terrace will sit above the extension. The terrace will be screened by the façade parapet and be subordinate to the overall roof form.
- b. The terrace will sit upon the proposed roof extension. Therefore, it will not preserve the original roof form. The front parapet will remain, as will the double gable to the rear.
- c. The proposal is not for a pitched roof.
- d. The terrace parapet is lower than the apex of the parapet and roof ridge of No.3 Wicklow Street and considerably lower than the pub's parapet wall and chimney stacks.
- e. The terrace will be set back on the roof extension and not discernible from the street.
- f. The terrace balustrade is cleverly formed from the façade from the new extension, continuing the up to enclose the terrace (the façade parapet). Please see bay study in the Design Statement for more detail.
- g. Safety and security of the extension and terrace has been considered in its design and it is not considered to create an undue risk of climbing opportunities for burglars.
- h. As discussed previously planters and greening of the outside spaces created at roof level are proposed.
- i. It is not considered that additional privacy screens will be required as the terrace is well screened by the façade and there are few opportunities for overlooking.
- j. The terrace is located to the rear of the property, it will not be discernible from the street.
- k. The terrace will be set back from the roof margins.
- l. The front and rear parapet of the original roof will be retained. The extension will sit behind these, and the terrace above the extension.
- m. Privacy screens are not proposed.

Energy and Sustainability

Policy CC1 the Local Plan requires that development reduces carbon dioxide emissions by following the energy hierarchy. Policy CC2 requires development to adopt appropriate climate change adaptation measures.

The proposal is minor in scale and involves the external refurbishment and extension of an existing residential dwelling. The proposal will address Policy CC1 and the energy hierarchy in terms of reducing carbon dioxide emissions through the following interventions –

- Installation of new thermal insulation;
- New timber framed double-glazed sash windows with draft proofing;
- Solar shading to the façade to reduce solar gain;
- Replacing the gas boiler with new energy efficient air source heat pump; and
- Low-energy fixtures and fittings throughout to conserve water and reduce energy consumption.

The proposals also include measures to address Policy CC2 in relation to climate change adaption. The new roof storey will be constructed from CLT and Accoya, using sustainably sourced timber. The extension includes a green roof which will help reduce water run off and assist with drainage. The green roof and opportunities for planting on the new terrace will also enhance biodiversity, and these will be watered by rainwater collected in a butt.

7. Conclusions

The proposals for the external refurbishment and upwards extension of No. 1 Wicklow Street are considered to be well designed, high quality proposals. In summary -

- The refurbishment works will sensitively upgrade the original building, increasing the positive contribution it makes to the character and appearance of the conservation area.
- The contemporary roof top extension will sit comfortably on the host building, bringing the scale of the building up to address its immediate neighbours. While taking design cues from the local context and the immediate surroundings where contemporary design is already present.
- The terrace will not be discernible from the street, and will sit behind the façade so will not result in any amenity concerns.
- Overall, the proposals will make a positive contribution to the character and appearance of the conservation area and address the planning policy framework for the site.

Appendix 1 – Examples of nearby roof top extensions

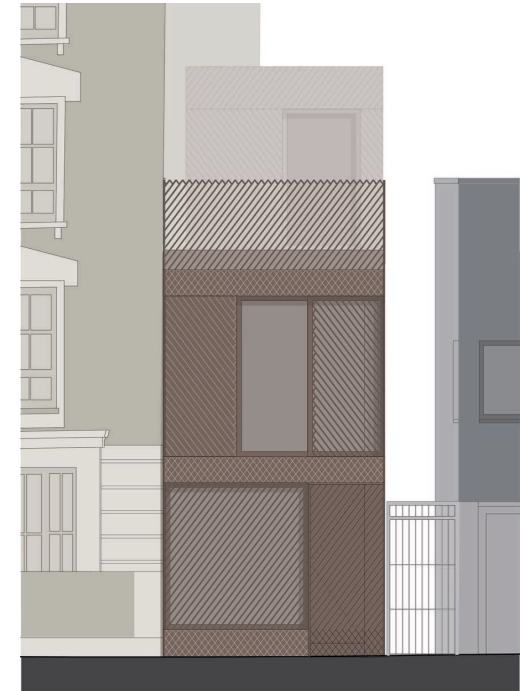
Nearby Roof Extensions

A review of nearby roof extensions has been carried out to understand if there is an established form of roof addition or alteration in the immediate area. We have reviewed extensions within the Kings Cross Conservation Area and within the wider London Borough of Camden typically looking for contemporary schemes which have been granted consent. While there are many examples of mansard roof extensions, we focus on nearby proposals for contemporary development and extensions which have been delivered and sit comfortably within the local context and conservation area.

Domestic Scale Extensions | Within the immediate vicinity there are examples of new contemporary proposals that have been approved and delivered. This includes the new house at No. 2 Wicklow Street, whose form is very much derived from the immediate context. Adjacent to this is a live application for the upward extension of No.48a Wicklow Street. While still under consideration by the Council, the pre-application advice has been generally positive supporting a contemporary design in this location with the massing reduced to 2.5 storeys with a set back and bringing the ridge line in line with No.2 Wicklow Street. Both of these schemes demonstrate that within the immediate vicinity of the site there is scope for new contemporary architecture, which relates to the historic past of the street while respecting the the nearby listed buildings .

There are examples of contemporary residential roof top extensions to be found within the Camden borough. These include the three-storey residential roof top extension at 8 Smarts Place (2019/1420/P) which was considered to harmonise with the diverse forms of nearby rooftops. The rooftop extension to Romneys House, in Hampstead, which saw a contemporary roof top addition added to the Grade I listed building, and the nearby extension to the residential block which spans Leeke Street and Field Street in the same Sub Area of the CA.

Commercial Extensions | Within the Kings Cross Conservation Area there are some excellent examples of contemporary commercial roof extensions, ranging from the Lighthouse Building (by Latitude) with its zinc clad roof, Coal Drops Yard (by Thomas Heatherwick), the roof extension to the Town Hall Extension (by Orms) and the extension to Kings Cross Station (by John MacAslan Architects). All these examples, while different in scale, demonstrate the contribution modern additions to existing, sometimes historic, buildings can make.



No.48a Wicklow Street Proposal



Lighthouse Building



Town Hall Annex

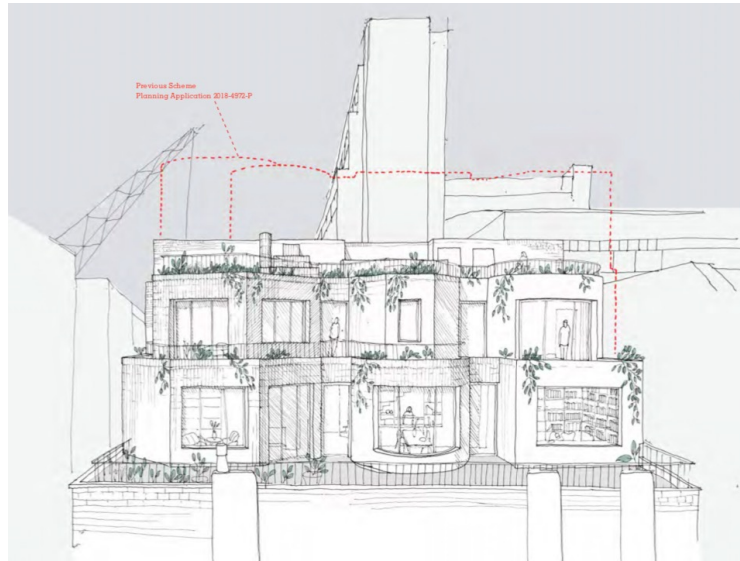


No. 2 Wicklow Street

Nearby Roof Extensions cont.



Romney's House



8 Smarts Place



Leeke Street/Field Street

Appendix 2 – Wicklow Street roof typology

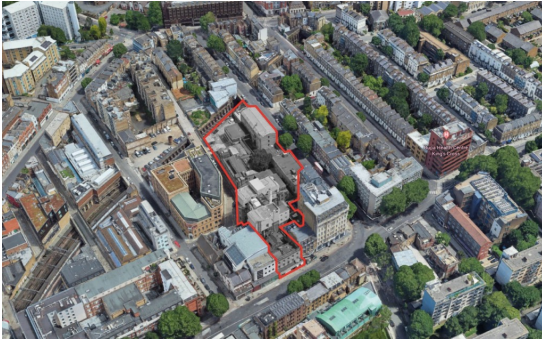
Wicklow Street Roof Typology

A detailed analysis of the immediate roofscape has been undertaken to understand if there is an established form of roof typology (height and form), roof addition or alteration in the immediate area. As described in the Design and Access Statement and Heritage Statement there is a huge variety and little consistency within Wicklow Street.

- **Western end of Wicklow Street** – The western end is dominated by the rear of the main Throat, Nose and Ear Hospital, part 6 part 7 storeys. The rear elevation provides a strong sense of enclosure to Wicklow Street. The building has a two storey white painted roof structure and more modern extensions and plant room structures. There is little consistency in design or form of the roof scape at this point.
- Earlier this year, Camden’s Planning Committee resolved to grant planning permission for the redevelopment of the Ear, Nose & Throat Hospital on Gray’s Inn Road, including the demolition of buildings that are deemed to make a positive contribution to the CA along Wicklow Street and the erection of tall, mid and lower rise buildings. This development will substantially alter the character and appearance of the CA.
- Adjoining to the south is the 4 story Nurses Home, constructed of red brick and steel framed windows. This has a set back roof extension just visible from the street. Opposite is the convex flank and rear elevation of the stock brick building fronting 17-27 Britannia Street – this is approximately 4/5 storeys with a possible set back roof extension and garden terrace (only visible from aerial shot). This building and the nurses building retain a consistent street frontage and sense of enclosure to the street, albeit the roof line is not perceived due to the narrowness of the street.
- **Central Wicklow Street** - The central part of Wicklow Street is characterised by a break in the sense of enclosure found earlier in the street, to a low rise building and car park on the south side and then a break to form the railway cutting. At this point the street opens up with more light and visibility to the rear of Britannia Street and Swinton Street to the south.
- The environment is relatively poor with car parks and yard which have accumulated rubbish. There is little in the way of a prevailing roofscape at this point in the street.

Below: Images of the western end of Wicklow Street





Left: Redevelopment of the ENT site off Gray's Inn Road. Below: Images of the eastern end of Wicklow Street

- Eastern End of Wicklow Street** – after the openness of the central part of the street, characterised by the railway cutting, the northern side of the street steps up to the long façade of Derby Lodge, a Grade II listed apartment block. This 5 storey building has a flat roof with balustrade made of part stone, part railings. Opposite, is the children's play space and adjoining this is a terrace of 4 3 storey double fronted dwellings, now divided into flats and a hotel. These have low pitched roofs. These two large blocks, while re-creating the street frontage found earlier on in Wicklow Street, do not contribute to a consistent roof form which still shows much variety along the street.
- Adjacent to this block of terraces is No.3 Wicklow Street – a 2 storey modern dwelling with mansard extension. This is the first example of a visible mansard extension on the street. Next to this is a step down to the proposal site, No. 1 Wicklow Street, which is two storeys with a parapet and a low double pitched roof behind. The neighbouring pub, characterised by more decorative cornicing, steps up by at least 1 storey and terminates with a traditional pitched roof. Opposite, on the northern site, No. 48A Wicklow Street is a single storey dwelling directly abutting Derby Lodge, if granted, a new planning consent will see this extended by two storeys in a contemporary design. Adjacent to this is No. 2 Wicklow Street which is a modern two storey dwelling.
- There is no consistent roof typology along Wicklow Street. Both roof height and form vary greatly along the length of the street. There is only one example of a traditional mansard roof extension at No. 3. This roofscape analysis has demonstrated that the lack of a consistent roof form on Wicklow Street provides an opportunity for a more contemporary approach to an extension at 1 Wicklow Street which will allow the property to step up to the prevailing roof height at the western end of the street. This is also supported by the more modern approach to new architecture found at No. 2 Wicklow Street and being proposed in the form of the upward extension (pending determination) at No. 48A Wicklow Street.

