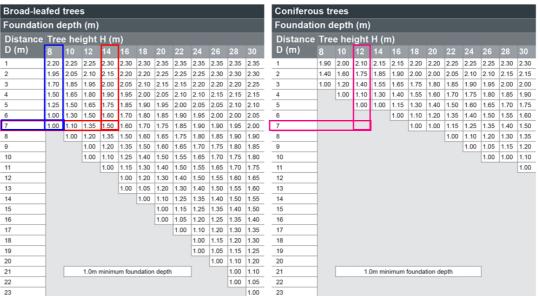


Table 12: HIGH Shrinkage soil and MODERATE water demand tree



Colour coded key plan

T3 [

To be assessed:

Do the proposed tree removals present a potential issue of clay soil heave to the adjoining owners foundations?

Conclusion:

From above assessment, worst case condition to adjoining owners property is represented by the removal of Tree T2. However, given No. 50's existing basement foundation level is <c.1.80m below ground level (assumed existing basement footing level 37.98m based on Trial Pit Info recorded 22.09.21 by GEO engineer), it satisfies the >1.5m required foundation depth, and is therefore outside of the tree roots zone of

RADIUS Therefore the proposed tree removals will not detrimentally affect adjoining owners

All new footings to No. 52 will be constructed >>2.20m and thus well below the zone of influence of tree roots.

1 General All Structural Engineering drawings are to be read with the specification and with all relevant Architects drawings and

Do not scale from any Structural Engineers drawing. All dimensions are in millimetres and levels in metres.

FOR INFORMATION ONLY

Pringuer-James Consulting Engineers Limited

Overseas House Elm Grove, London SW19 4HE

+44 (208) 940 4159 mail@pjce.com pjce.com

L2630-S-08-015

52 ABERDARE GARDENS, LONDON, NW6 3QD

TREE REMOVAL ASSESSMENT TO No. 54 & ADJOINING PROPERTIES.

STATUS: INFORMATION

DATE: 16/09/2022 REV: