



TREE WORKS SCHEDULE 52 Aberdare Gardens, London, NW6 3AL				
Tree No	Species	Height (m)	Root Protection Area (RPA) m2	Root Protection Area (RPA) Radius (m)
S1	Elder	8	10.18	1.8
T2	Sycamore	13	68.82	4.7
T3	Bay laurel	8	35.47	3.4
T4	Bay laurel	8	16.02	2.1
T5	Lawson's cypress	11	104.24	5.7

Table 12: HIGH Shrinkage soil and MODERATE water demand tree

Broad-leaved trees															
Foundation depth (m)															
Distance D (m)	Tree height H (m)														
	8	10	12	14	16	18	20	22	24	26	28	30			
1	2.20	2.25	2.25	2.30	2.30	2.30	2.35	2.35	2.35	2.35	2.35	2.35			
2	1.95	2.05	2.10	2.15	2.20	2.20	2.25	2.25	2.25	2.30	2.30	2.30			
3	1.70	1.85	1.95	2.00	2.05	2.10	2.15	2.15	2.20	2.20	2.20	2.25			
4	1.50	1.65	1.80	1.90	1.95	2.00	2.05	2.10	2.10	2.15	2.15	2.15			
5	1.25	1.50	1.65	1.75	1.85	1.90	1.95	2.00	2.05	2.05	2.10	2.10			
6	1.00	1.30	1.50	1.60	1.70	1.80	1.85	1.90	1.95	2.00	2.00	2.05			
7	1.00	1.10	1.35	1.50	1.60	1.70	1.75	1.85	1.90	1.90	1.95	2.00			
8		1.00	1.20	1.35	1.50	1.60	1.65	1.75	1.80	1.85	1.90	1.90			
9		1.00	1.20	1.35	1.50	1.60	1.65	1.70	1.75	1.80	1.85				
10			1.00	1.10	1.25	1.40	1.50	1.55	1.65	1.70	1.75	1.80			
11				1.00	1.15	1.30	1.40	1.50	1.55	1.65	1.70	1.75			
12					1.00	1.20	1.30	1.40	1.50	1.55	1.60	1.65			
13						1.00	1.05	1.20	1.30	1.40	1.50	1.55	1.60		
14							1.00	1.10	1.25	1.35	1.40	1.50	1.55		
15								1.00	1.15	1.25	1.35	1.40	1.50		
16									1.00	1.05	1.20	1.25	1.35	1.40	
17										1.00	1.10	1.20	1.30	1.35	
18											1.00	1.15	1.20	1.30	
19												1.00	1.05	1.15	1.25
20													1.00	1.10	1.20
21														1.00	1.10
22															1.00
23															

1.0m minimum foundation depth

Coniferous trees													
Foundation depth (m)													
Distance D (m)	Tree height H (m)												
	8	10	12	14	16	18	20	22	24	26	28	30	
1	1.90	2.00	2.10	2.15	2.15	2.20	2.20	2.25	2.25	2.25	2.30	2.30	
2	1.40	1.60	1.75	1.85	1.90	2.00	2.00	2.05	2.10	2.10	2.15	2.15	
3	1.00	1.20	1.40	1.55	1.65	1.75	1.80	1.85	1.90	1.95	2.00	2.00	
4		1.00	1.10	1.30	1.40	1.55	1.60	1.70	1.75	1.80	1.85	1.90	
5			1.00	1.00	1.15	1.30	1.40	1.50	1.60	1.65	1.70	1.75	
6				1.00	1.10	1.20	1.35	1.40	1.50	1.55	1.60	1.65	
7					1.00	1.00	1.15	1.25	1.35	1.40	1.50	1.55	
8						1.00	1.10	1.20	1.30	1.35	1.40	1.50	
9							1.00	1.05	1.15	1.20	1.30	1.35	
10								1.00	1.10	1.20	1.30	1.40	
11									1.00	1.10	1.20	1.30	1.35
12										1.00	1.10	1.20	1.30
13											1.00	1.10	1.20
14												1.00	1.10
15													1.00
16													
17													
18													
19													
20													
21													
22													
23													

1.0m minimum foundation depth

Colour coded key plan

- T2
- T3
- T4
- T5

To be assessed:

Do the proposed tree removals present a potential issue of clay soil heave to the adjoining owners foundations?

Conclusion:

From above assessment, worst case condition to adjoining owners property is represented by the removal of Tree T2. However, given No. 50's existing basement foundation level is <c.1.80m below ground level (assumed existing basement footing level 37.98m based on Trial Pit Info recorded 22.09.21 by GEO engineer), it satisfies the >1.5m required foundation depth, and is therefore outside of the tree roots zone of influence.

Therefore the proposed tree removals will not detrimentally affect adjoining owners properties.

All new footings to No. 52 will be constructed >>2.20m and thus well below the zone of influence of tree roots.

1 General
All Structural Engineering drawings are to be read with the specification and with all relevant Architects drawings and specifications.

Do not scale from any Structural Engineers drawing. All dimensions are in millimetres and levels in metres.

FOR INFORMATION ONLY

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52 ABERDARE GARDENS,
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TREE REMOVAL ASSESSMENT TO
No. 54 & ADJOINING PROPERTIES.

STATUS: INFORMATION

DATE: 16/09/2022 REV: