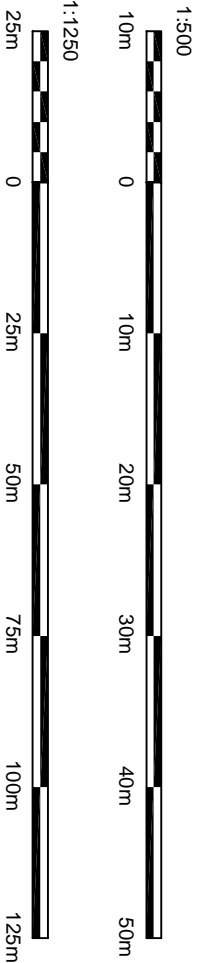


## LOCATION PLAN

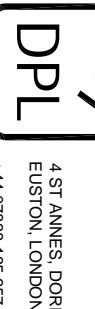
Scale 1:1250

## BLOCK PLAN

Scale 1:500



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DRAWING STATUS		PLANNING	
REV	DATE	NAME	DESCRIPTION
<div><div></div><div>Architectural Design Studio 4 ST ANNES, DORIC WAY, EUSTON, LONDON NW1 1LG +44 07838 135 957</div></div>			
<p><b>GENERAL NOTES:</b></p> <p>Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineer's calculations and any specialist supplier's drawings. The homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments &amp; that they are the current revised drawings before any works start on site.</p> <p>2. Inform the Building control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.</p> <p>3. Verify boundary lines &amp; ground conditions including checking positions and new connections of all gas; electrical, water &amp; other services/drainage etc. within the site prior to the commencement of excavation. Once established, the contractor should ensure that the design is followed as shown on the drawings. Any changes to the design should be agreed in writing with the architect/engineer before works commence.</p> <p>4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that the design is followed as shown on the drawings. Any changes to the design should be agreed in writing with the architect/engineer before works commence.</p> <p>5. DPL is not responsible for checking existing conditions on site from the start to end of building works requested by building control or any other third party's instruction during building works.</p> <p>6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 metres of adjoining buildings or building over a public sewer. (clients responsibility)</p> <p>7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off the contractor/owners risk. (all DPL drawings must be approved before works commence)</p> <p>8. Works carried out under a building notice or prior to approval of drawings are at the contractor/owners risk. (all DPL drawings must be approved before works commence)</p> <p>9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structure, drainage, mechanical and electrical works commence and purchase of materials be made so an alternative design can be which is on site then this will need to be brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be</p> <p>10. All of DPL structural designs are subject to checking being in place, otherwise the existing foundation type and building control either a raft or piled foundation, this will need to be brought to the attention of the engineer before works commence.</p> <p>11. All work to be carried out on site must be carried out in accordance with the current building regulations.</p> <p>12. All drainage connections are assumed &amp; is subject for checking by builder. Thomas water &amp; building control, Thames water before works commence.</p>			
<p><b>OTHER NOTES:</b></p> <p>All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed skylights and windows shown on this drawing to match existing materials. All new proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing. For a permitted development loft design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.</p> <p>An inspection of the underground drainage was not possible on survey, Contractor should check drainage runs and ensure they are in good condition. All drainage connections are assumed &amp; is subject for checking by builder. Thomas water &amp; building control, Thames water before works commence.</p> <p><b>THINGS -</b> this drawing has been created by discount plans ltd for the "client" only, a bound contract has been made between both party's in which a signed contract for creation of works involving person-writing hours for this drawing has been made, no refund will be allowed or claim made of drawing and any other drawing/s relating to this project for whatever reason can be made. If the client is not happy with the drawing, they can request a refund of the drawing fee. If the client is not happy with the drawing, they can request a refund of the drawing fee. If the client is not happy with the drawing, they can request a refund of the drawing fee.</p>			
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<div><div>SITE ADDRESS</div><div>6 PARKHILL WALK, HAMPSTEAD, LONDON, NW3 2YU</div></div>			
<div><div>DRAWING TITLE</div><div>PROPOSED DRAWINGS</div></div>			
DRAWN AT HEAD OFFICE		DRAWN BY	
SCALE as shown		@ A3 15. SEPT. 2022	
DRAWING NO.		REVISION	
DPL. 15.		-	
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