

District.



Planning Application

111 . 16 Churchill Road . London . NW5 1AN

September 2022

Introduction

This statement has been prepared to accompany our application for our proposals at 16 Churchill Road. Our application seeks comment on proposals for the adaptation of two existing rear roof dormers to improve their appearance in the context of the surrounding area.

Relevant Planning Consents:

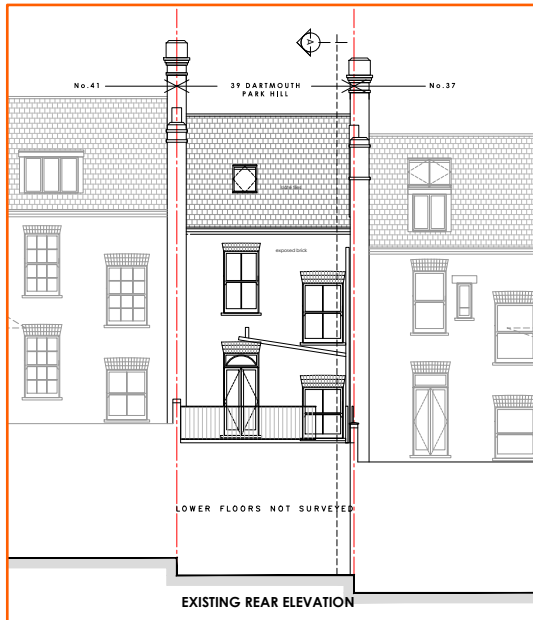
2020/2343/P

39 Dartmouth Park Hill . London . NW5 1 HU
(Dartmouth Park Conservation Area)

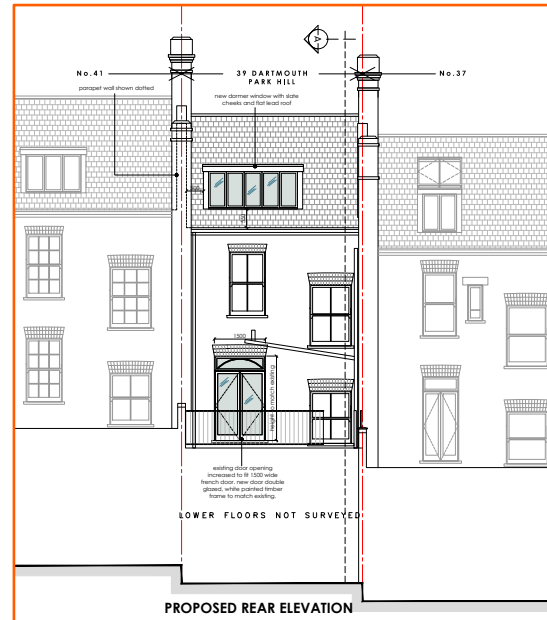
Erection of rear dormer window.

Full Planning Permission

GRANTED 21.08.2020



Existing Rear Elevation
By Bigger House Design



Proposed Rear Elevation
By Bigger House Design

2015/2120/P

48 Woodsome Road . London . NW5 1RZ

(Dartmouth Park Conservation Area)

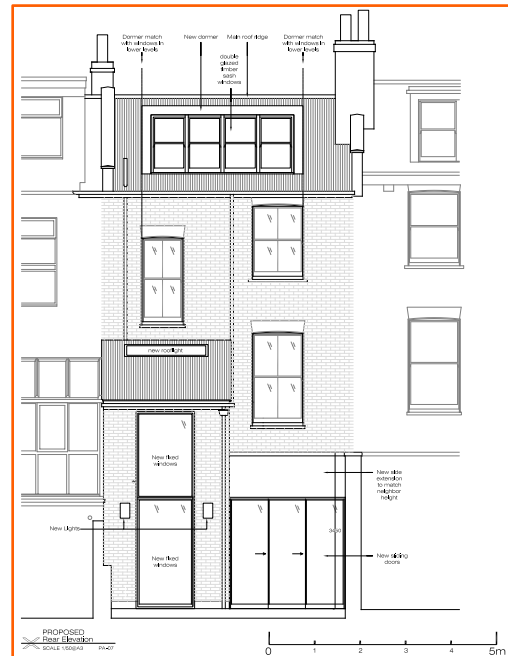
Erection of single storey side extension, rear roof dormer, 2no. rooflights in front roofslope and replacement 'like for like' windows in front and rear elevations.

Householder Application

GRANTED 29.06.2015



Existing Rear Elevation
By XUL Architecture



Proposed Rear Elevation
By XUL Architecture

Policy

Dartmouth Park Neighbourhood Plan . Adopted Version . 2020

- Policy DC4 Small residential extensions
Support proposals for small residential developments (including roof, side and rear extensions), where the development:
 - (f) in the case of roof extensions or dormers:
 - (i) respects the existing roof form in terms of design, scale, materials and detail;
 - (ii) is restricted to the rear except where it is part of the established local character
- Policy DC4(f) seeks to establish a consistent approach, which **allows roof** extensions and dormers that respect the existing roof form.

Camden Local Plan . 2017

- As well as shelter a home should provide a place for rest, relaxation, safety, privacy and to raise a family. The Council aims to **champion innovative architecture and high quality design** to ensure that all these considerations are addressed.

Housing Supplementary Planning Guidance . The London Plan 2016

- 1.2.45 Boroughs should seek to strike an appropriate balance between these and other London Plan policies, in particular the strategic objective to provide a wide choice of homes Londoners can afford, including **family sized units**, taking account of the specific needs of large families (Policy 3.8). Alongside new build provision and turnover within the existing housing stock, extensions to existing homes and the sensitive renewal and intensification of existing residential areas is likely to play an important role in **meeting demand for larger properties** in the capital, helping to **address overcrowding** and affordability issues in certain areas.

Background and Context



Aerial View
16 Churchill Road in Orange
Local Roof Dormer Extensions

Site Photography



Street Elevation View
16 Churchill Road in Orange



Note: no rooflights or roof plane are visible from the street.

Existing
Front View



Note: inconsistent window sizes not relating to the existing.

Note: heavy and clumsy roof detail to dormer heads

Note: busy window arrangement creates an odd addition to the building

Existing
Rear View



Note: poor detailing to rear extension parapet

Existing
Rear View

Proposal . Amount, Scale, Layout and Appearance

The proposal includes the adaptation of the existing two rear roof dormers and the replacement of the rear ground floor bi-fold doors at 16 Churchill Road.

- **Replacement of the Rear Ground Floor Bi-fold Doors**
The timber bifold doors at the rear of the property are deteriorated and don't sit well with the rear sash windows. The application proposes to replace the bi-folds with a traditional Crittall style bi-fold door. The Crittall style will break the glazing up in a similar fashion and proportion to the upper floors.
- **Adaptation to the Rear Dormer Extension**
 - The existing rear dormers are not of an adequate width to make the second floor rear room usable. **Linking the two dormers together** would allow the property to gain an additional bedroom.
 - **Heightening the dormers** by 175mm allows a more generous head height of 2140mm in the rear second-floor bedroom, rather than the existing inadequate 1950mm.
 - **Infilling the gap** between the left-hand dormer and the large neighbouring roof extension at No. 15 Churchill Road will create a more considered connection with the existing roof.
 - Lastly, the application proposes to **widen the dormer to the right hand** side by 180mm. This will leave a gap of 895mm to the boundary with 17 Churchill Road. This widening allows the proposed sash windows to line up with the sash window at first floor level, further neatening the design. The proposal includes the replacement of the windows with traditional sash windows, which are much more in keeping with the house.

Materiality & Access

Lead Lining: The proposed dormer alteration will be lead-lined, better aligning with the aesthetic of the local conservation area.



Conclusion

This application proposes adaptations to the existing two dormers at 16 Churchill Road to better the internal spaces and exterior appearance. The proposal also includes the replacement of the ground floor bi-fold doors with traditional Crittall bi-fold windows.