

28 Bedford Square
London WC1B 3JS

Planning, Design and Access Statement



September 2022

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This Planning, Design & Access Statement forms part of Planning Application submission for proposed works to 28 Bedford Square, London, WC1B 3JS.

The proposed works will upgrade the existing building by -

- refurbishing the existing interior of the mews house and link extension to provide more suitable spaces for the occupants including removing non-original partitions
- provide improved amenities for occupiers by way of increased quantity and quality of WC and shower facilities and improved communal kitchen/dining and break out spaces
- improve quality of the office space by opening up suspended ceiling to the existing roofline at second floor level in the mews house
- no works are proposed to the original Georgian town house. All works are confined to the 1986 link extension and mews development.

The following documents should be read in conjunction with this statement:

- Heritage Assessment (by Cogent Heritage)

The following drawings should be read in conjunction with this statement:

- 326.28 001 Location Plan [1/1250]
- 326.28 002 Site Plan [1/500]
- 326.28 100 Existing drawings [1/100]
- 326.28 200 Proposed drawings [1/100]



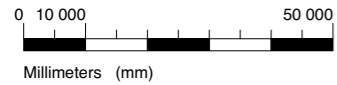
Birds-eye views of 28 Bedford Square from North



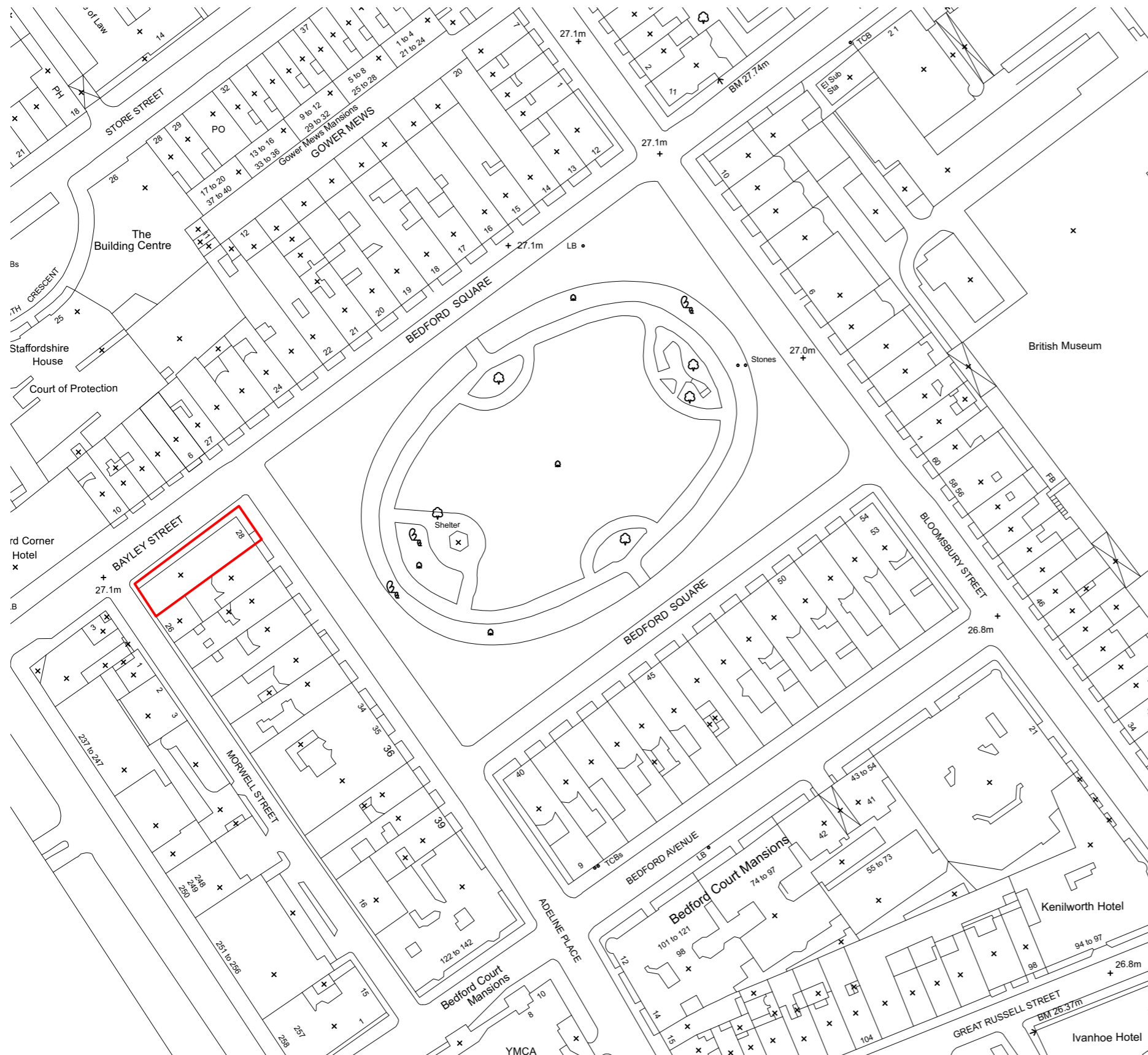
Birds-eye views of 28 Bedford Square from West

2.1 Site and context

Site and existing building



1:1250 @ A3



28 Bedford Square is a five storey property on the west side of Bedford Square. It is the end of terrace property in a predominantly brick-faced terrace. The terrace block is mirrored on all 4 sides of the largely undisturbed Georgian square. The original facades means Bedford Square is the finest surviving and most significant Georgian square in London.

The property sits within the Bloomsbury Conservation Area. The Bloomsbury Conservation Area Appraisal and Management Strategy locates Bloomsbury Place in sub Area 5 (Bedford Square). The appraisal records these buildings as follows -

Dating from 1775, Bedford Square is one of the most significant and complete examples of a Georgian square in London. Its national importance is acknowledged by the grade I listed status of all the townhouses fronting the square.

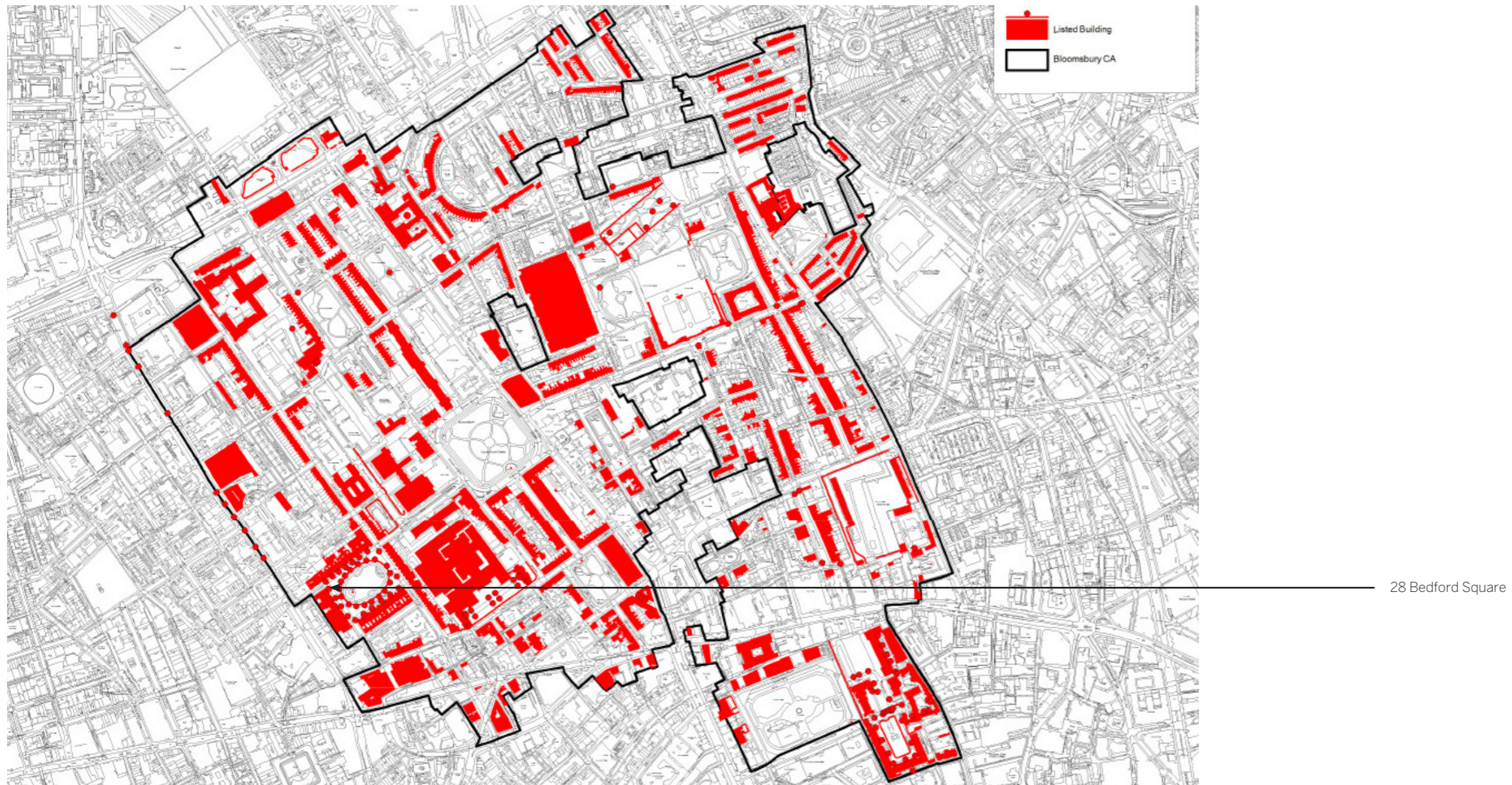
The terraces comprise three principal storeys with a basement and attic level. The frontages are of particular note because they were designed as a whole in a neo-classical style to give a sense of architectural unity and harmony to the square. The front facades are constructed from yellow stock brick with tuck pointing. Each of the four terraces has a central, stuccoed pediment as a centrepiece, with rusticated bases. The doorways have distinctive intermittent voussiors of Coade stone (a type of artificial stone) and each key stones is decorated with a human face.

The building currently has B1 (office) use resulting from its latest use as an office for The Nuffield Foundation. The building use will remain the same.

In 1986, the entire original mews house development was demolished and the new link extension and mews house were constructed. None of the original, historic fabric remains in the mews development and the existing building is of little architectural merit.

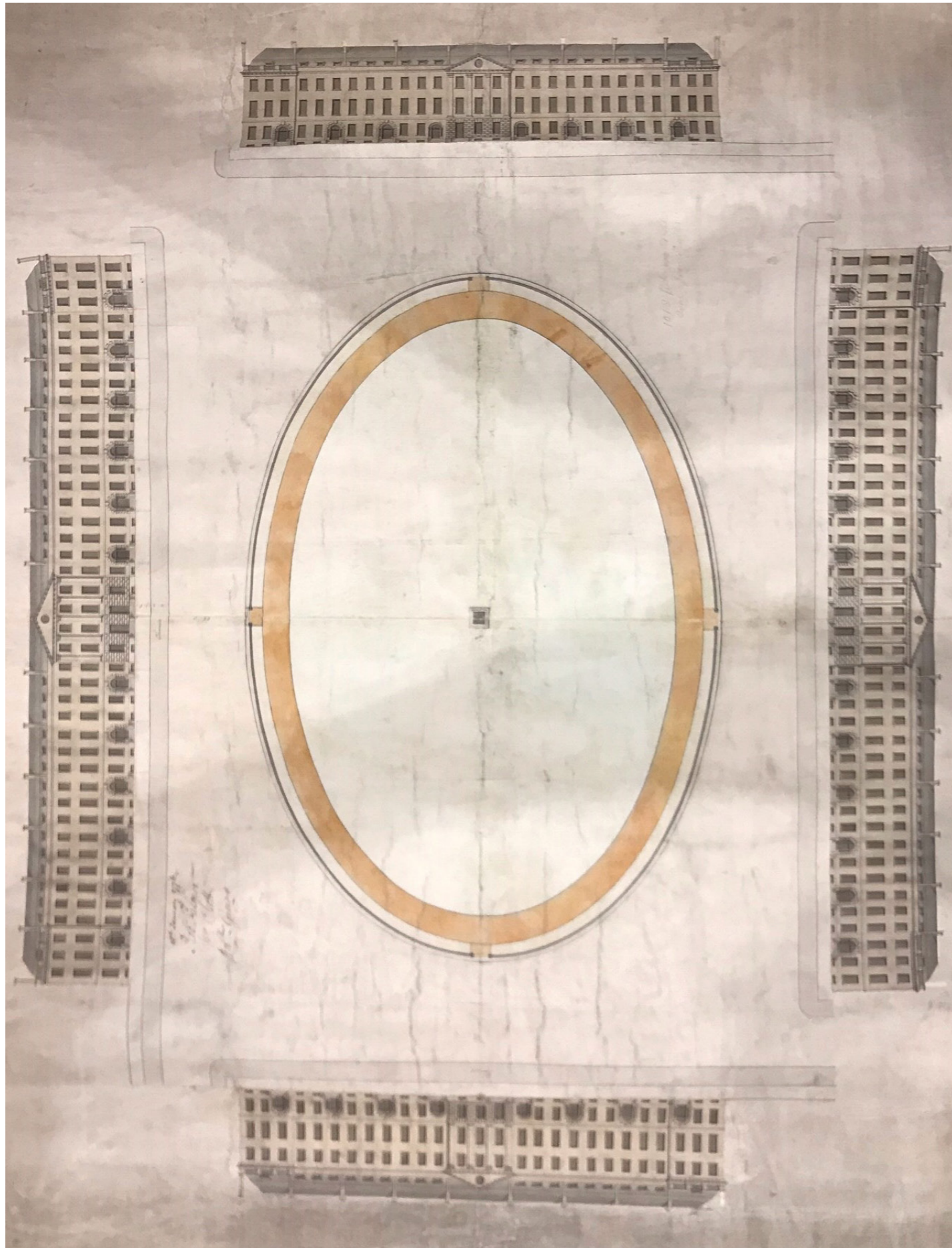
2.2 Site and context

Bloomsbury Conservation Area and listed buildings map



2.3 Site and context

Historic context



Bedford Square's origins date back to the northern expansion of London into the area which is now Bloomsbury in the years following the Great Fire of London. Bedford Square was conceived as the centrepiece of this expansion and the estate's implementation of wider road layouts and public squares based on plans by the 4th Duke of Bedford. The buildings on the square, comprised of four facing elevations with the central pair of properties forming a stuccoed central pedimented feature, were constructed in the late 1770's. 28 Bedford Square forms the end terrace to the west side of the square. A fuller history of the property is included in the Heritage Statement by Cogent Heritage.

28 Bedford Square is Grade I listed. The list entry for No 28-38 Bedford Square reads

Includes: Nos.26, 26A AND 27 MORWELL STREET. Terrace of 11 houses forming the west side of a square. 1776-1781. All built by W Scott and R Grews; perhaps designed either by Thomas Leverton or Robert Palmer; for the Bedford Estate. Nos 28-36 form a symmetrical terrace. Yellow stock brick with evidence on most of the houses of tuck pointing. Plain stucco band at 1st floor level. The centre house, No.32, is stuccoed. Slate mansard roofs with dormers and tall slab chimney-stacks. EXTERIOR: 3 storeys, attics and basements. 3 windows each. Recessed round-headed entrances with Coade stone vermiculated intermittent voussoirs and bands; mask keystones. Enriched impost bands and cornice-heads to doors. Side lights to panelled doors, some 2-leaf. Fanlights, mostly radial patterned. Gauged brick flat arches to recessed sashes, most with glazing bars. The following have cast-iron balconies to 1st floor windows: Nos 29 & 30, 32-36 & 38. Cornice and parapets, Nos 28 & 36 with balustraded parapets. INTERIORS not inspected save for Nos 34-36, but noted to contain original stone stairs with cast and wrought-iron balusters of various scroll designs, decoration and features; special features as mentioned: No.28: 3 window return to Bayley Street, 1 blind. Rear elevation with full height bow. Major renovation in 1910. 3 plaster ceilings, one dating from the renovation. No.29: rear elevation with full height canted bay, bowed internally. A plaster ceiling. No.30: rear elevation with full height bowed bay. Fine ceilings, one

with painted cameos. No.31: rear elevation with full height bowed bay. 2 fine ceilings. No.32: rusticated ground floor; 4 Ionic pilasters rise through the 1st and 2nd storeys to support a frieze, with roundels above each pilaster, and pediment with delicate swag and roundel enrichment on the tympanum. At 2nd floor level a continuous enriched band running behind the pilasters.

Entrance of Doric columns supporting an entablature beneath the fanlight; double panelled doors. Rear elevation with full height bowed bay. INTERIOR detailing and joinery particularly good. No.33: rear elevation with full height bowed bay. Internal distyle-in-antis screen with capitals derived from the Athenian Tower of the Winds. Plaster ceiling. No.37: rear elevation with full height bowed bay. Original wine cellar in the basement. No.38: a late C19 timber staircase. Some houses with original lead rainwater heads and pipes. Nos 34 and 35 acquired by the Architectural Association - Britain's first full-time school of architecture - in 1917, whose Head and, from 1920, Director of Education, was Robert Atkinson. In 1919-21 he made many alterations and added studios to the rear, which latter are of very austere design. Ground floor and first-floor front rooms made into one, now respectively lecture room and library, with missing mouldings to No.34 matched up with those surviving in No.35. This includes first-floor ceiling to No.34. First-floor library is a war memorial, with fitted bookcases by Atkinson and a memorial tablet to fallen members, unveiled 1921 and recarved after 1945 to commemorate both World Wars. No.35 has no staircase, but retains some fireplaces and original mouldings. Both houses have rear elevations with full-height bowed bays. No.36 also with full-height bowed bay to rear. SUBSIDIARY FEATURES: attached cast-iron railings to areas with urn or torch flambe finials. Most houses with good wrought-iron foot scrapers. HISTORICAL NOTE: the houses in Bedford Square form a most important and complete example of C18 town planning. Built as a speculation, it is not clear who designed all the houses. Leverton was a country house architect and may have been involved with only the grander houses; he lived at No.13 (qv). Palmer was the Bedford Estate surveyor and may be responsible for the vagaries of the square. The majority of the plots leased by the estate were taken by Robert Grews, a carpenter, and William Scott, a brickmaker. No.35 was

2.3 Site and context

Historic context

the residence of Thomas Wakley, reformer & founder of The Lancet, also of Thomas Hodgkin, physician, reformer & philanthropist (LCC/ GLC plaques). No.36 was acquired by the Architectural Association in 1927 and adapted as offices and members' rooms by Atkinson, who added more studios to the rear - these last again of very simple design. The presence of the Architectural Association in one of London's most important squares did much to promote the special interest and importance of Georgian London, especially amongst the many international architects and writers who came there. Here, for example, Steen Eiler Rasmussen lectured in 1928 and his book on the quintessentials of London architecture, 'London, the Unique City', perfectly captures the homely spirit for which London's Georgian squares and terraces have since been venerated. (Byrne A: Bedford Square, An architectural study: London: -1990; Summerson J: The Architectural Association, a Centenary History: Architectural Association: -1948).

Key planning history for 28 Bedford Square includes -

1986 Mews house remodel

The original mews development was demolished and replaced with the existing mews house and link extension in 1986. None of the original mews house remains and so the entire construction to the rear of the town house is non-original fabric with no particular architectural merit.

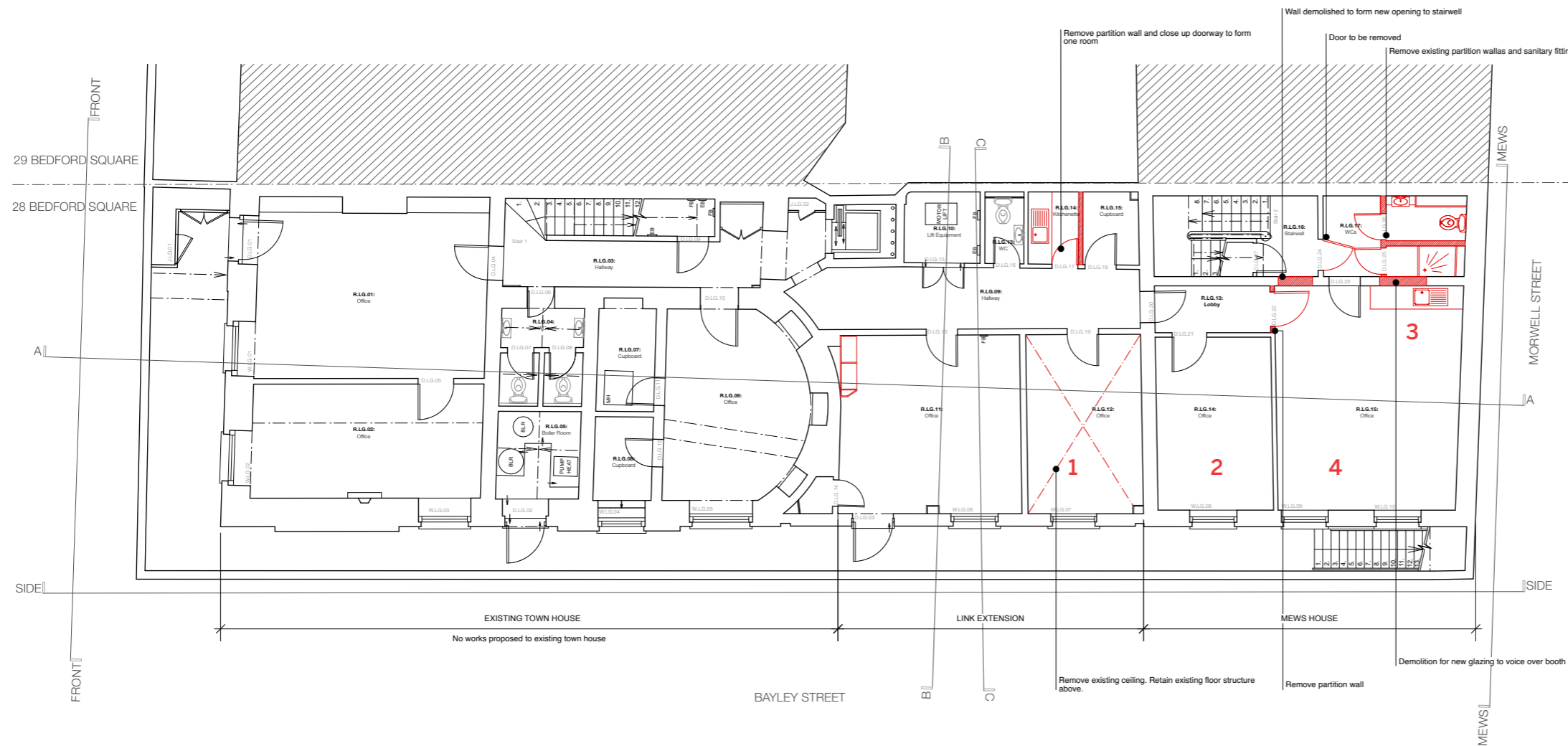
The following pages set out the proposed works to each floor in detail. All works are confined to the 1986 mews house and link extension development. The works seek to

- To reconfigure and improve usable floor space

Throughout the building, the general works will also involve

- New timber flooring is proposed to circulation spaces in the lower ground floor. Carpet is proposed to the office spaces, communal spaces and stairwells. Tiled finishes are proposed to bathrooms. The stone flooring in the existing ground floor kitchen will be extended throughout the enlarged proposed kitchen, with new stone flooring to match.
- The mews house staircase will be refurbished and receive a new carpet runner.
- Patch repairing skirting and cornicing to match existing where internal layout has been reconfigured.
- The existing external condensers are to be retained with new air conditioning locations in the dropped ceiling of plant room, R.LG.12.
- Lighting - new lighting to be recessed spot lights in existing/new plasterboard ceiling. In office R.2.09, where the suspended ceiling is to be opened up to the roof line, suspended linear lights are proposed.

4.1 Design proposal Lower Ground floor



The proposed changes to the lower ground are designed to provide an improved layout for the required use. The proposed changes are minimal and do not involve the loss of either original fabric or original plan form. The works are limited to the mews house and link extension parts of the building, with no works proposed to the main town house.

Partition walls are removed to the WC block, R.LG.17, at the rear of the mews house to create one room for audio recording. A small part of the wall will be removed to allow for a glazed window to connect this to the Audio 5 suite.

A partition wall is removed between R.LG.14 and R.LG.15. This is not an original partition wall and is in the new link building.

The ceiling to R.LG.12 is to be removed with a new suspended ceiling being introduced at a lower level to allow for the A/C requirements for the future use as a Comms Plant room.

New doors to be 4 panel doors to match existing profile of D.LG.20. For detailed drawings of the proposed door refer to appendix A.



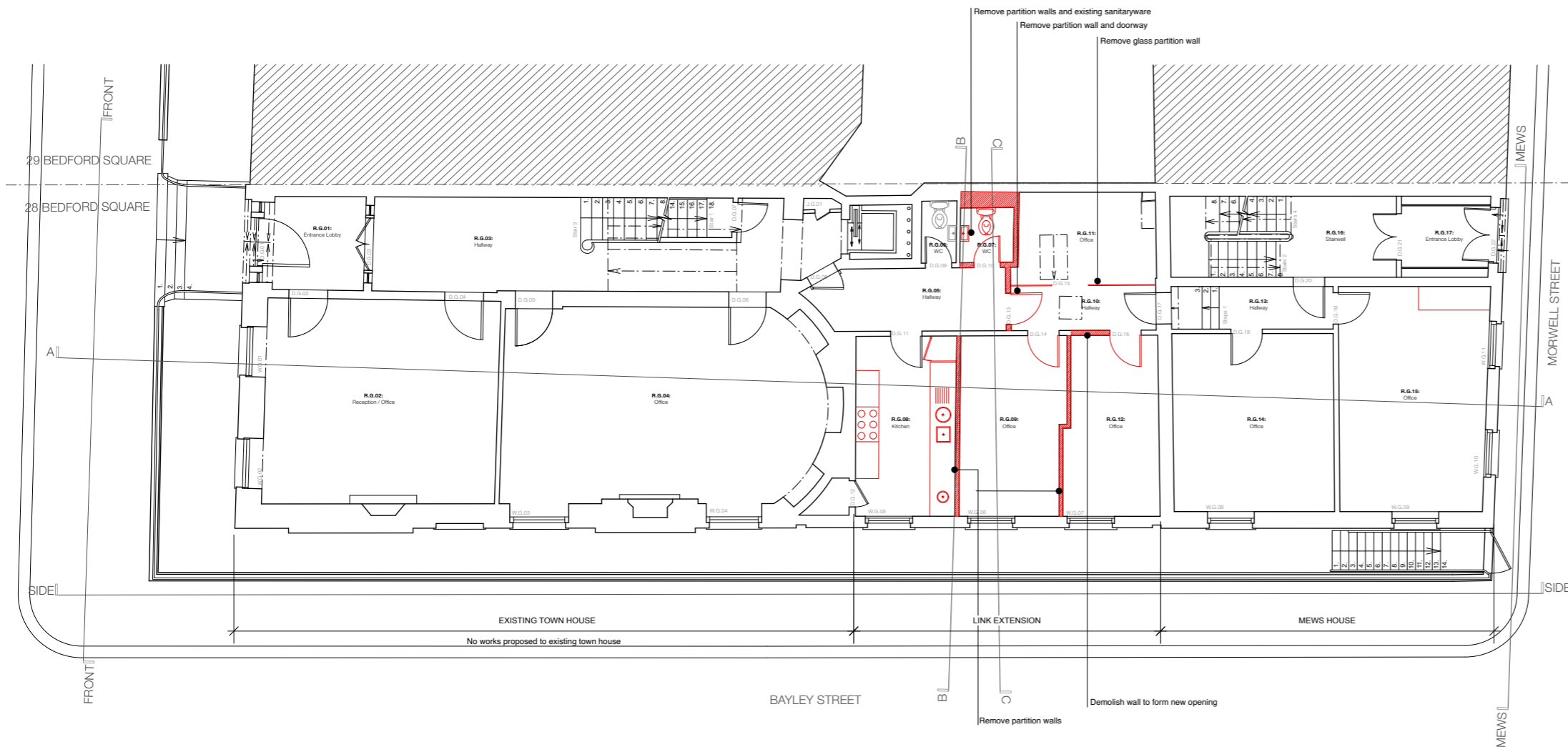
1
Existing condition of office, R.LG.12 illustrating existing face fixed cabling and electrics, and existing air conditioning unit

2
Existing condition of office room R.LG.14

3
Existing kitchenette facilities to be removed

4
Existing condition of kitchenette/break out space R.LG.15

4.1 Design proposal Ground floor



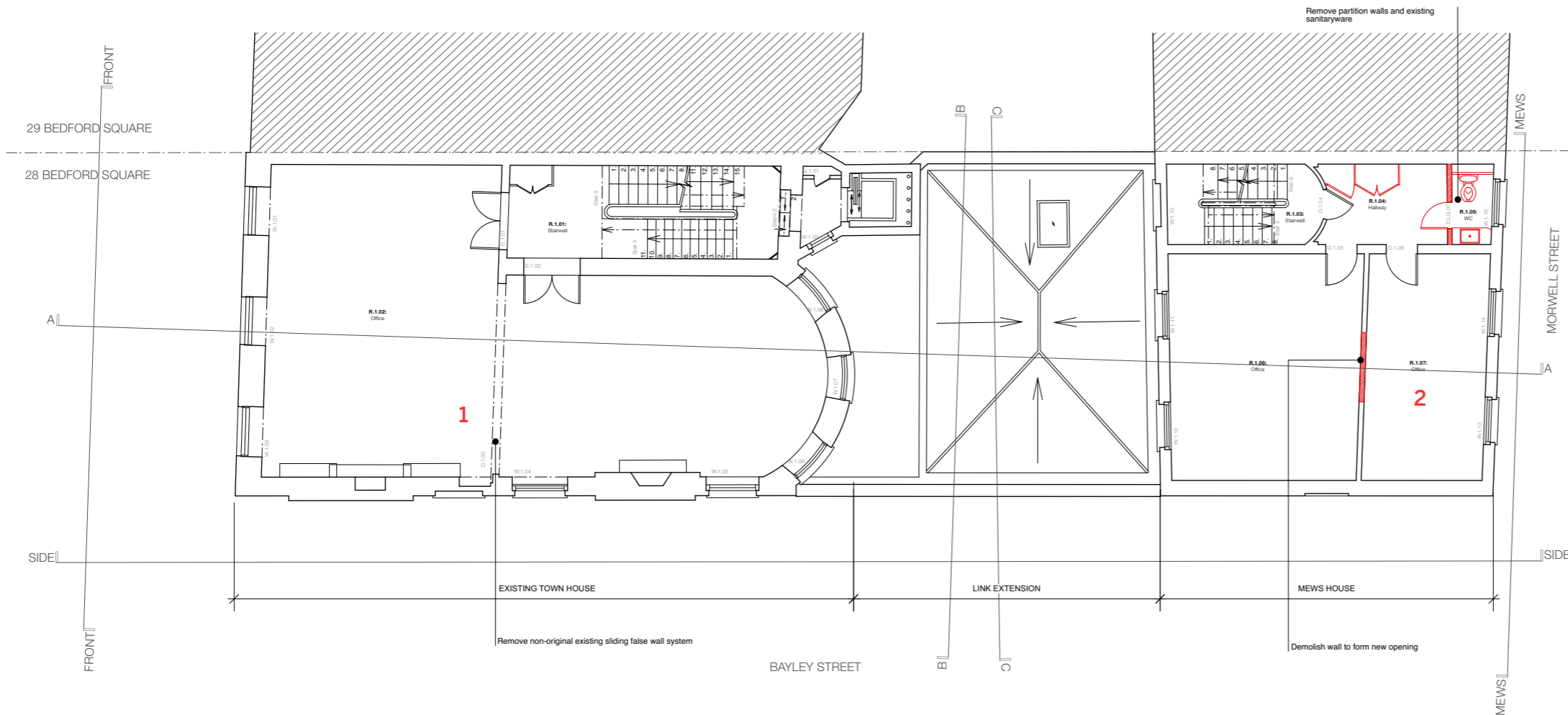
The proposed changes are designed to provide an improved layout for shared staff spaces and facilities at ground floor. The proposals are minimal and do not involve the loss of either original fabric or original plan form. The works are limited to the mews house and link extension parts of the building, with no works proposed to the main town house.

The removal of non original partitions will allow for larger, open plan spaces, including a kitchen (R.G.11) and staff dining area (R.G.09).

A new WC and shower block will be introduced in R.G.15 with 2no WCs and 2no WC/shower rooms.

New doors to be 4 panel doors to match existing profile of D.LG.20. For detailed drawings of the proposed door refer to appendix A.

4.1 Design proposal First floor



The proposals to the first floor are limited to minor alterations to the mews house and the removal of a non-original sliding wall in the principle room. The changes are intended to better connect office spaces and make them more usable and comfortable for future use.

It is proposed to remove the WC, R.1.05, to allow the natural light to penetrate further into the plan. The WC has a window which opens onto Morwell street and can be seen at street level. Additional WC provisions have been allowed for at Ground floor and therefore this will not affect the usability of the plan.

A new doorway is introduced between offices R.1.06 and R.1.07 in order that these rooms best serve the staff intended to be working collaboratively in these spaces.

The non-original, sliding folding wall to R.1.02 will be removed. This is the only work proposed to the existing town house and is viewed as beneficial to the listed qualities of the property.

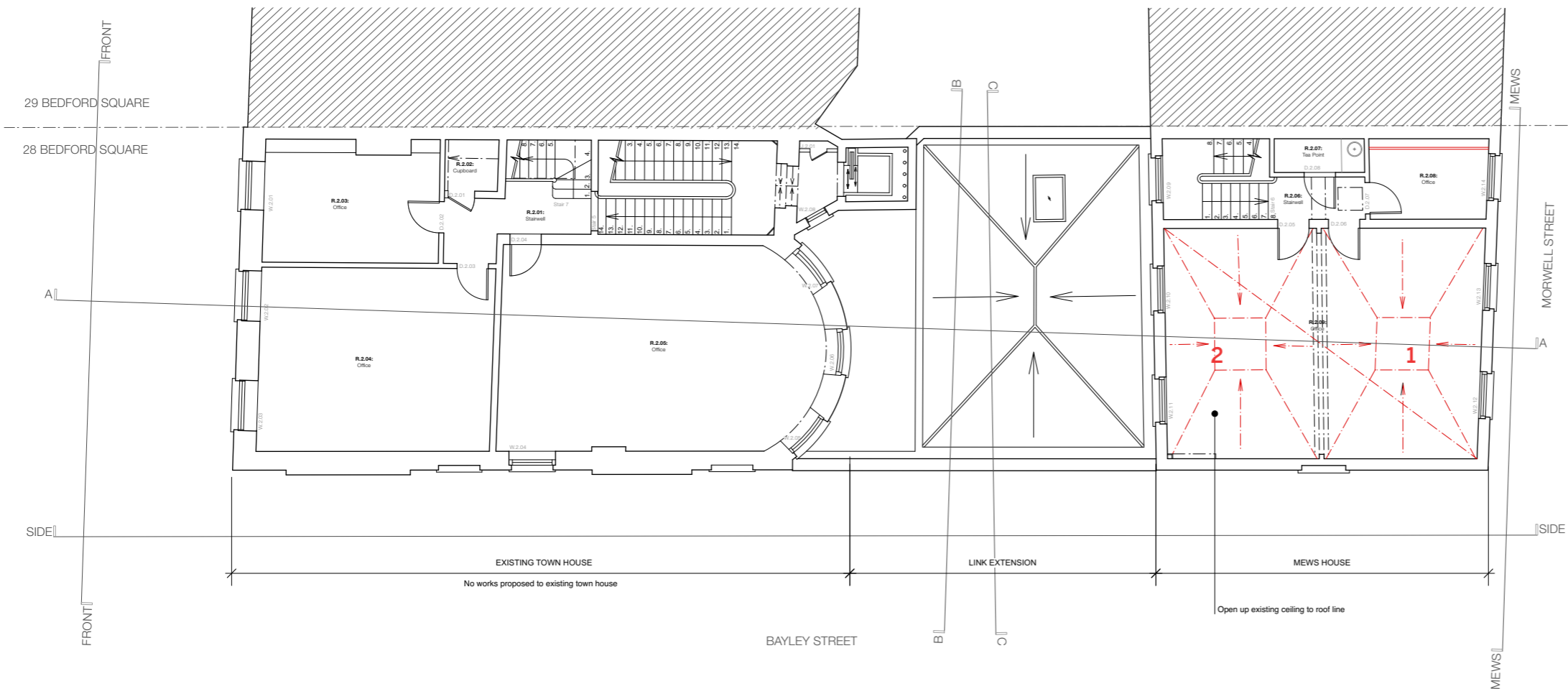
New double doors to be 4 panel doors to match existing profile of D.LG.20. For detailed drawings of the proposed door refer to appendix A.



1
Non-original sliding false wall system in principle room, office R.1.02

2
Existing condition of office R.1.07

4.1 Design proposal Second floor



The works at second floor are restricted to the mews house.

It is proposed to open up the ceiling to the existing roof line in office R.2.09 to create a more architecturally significant space with better natural lighting from the rooflights above.

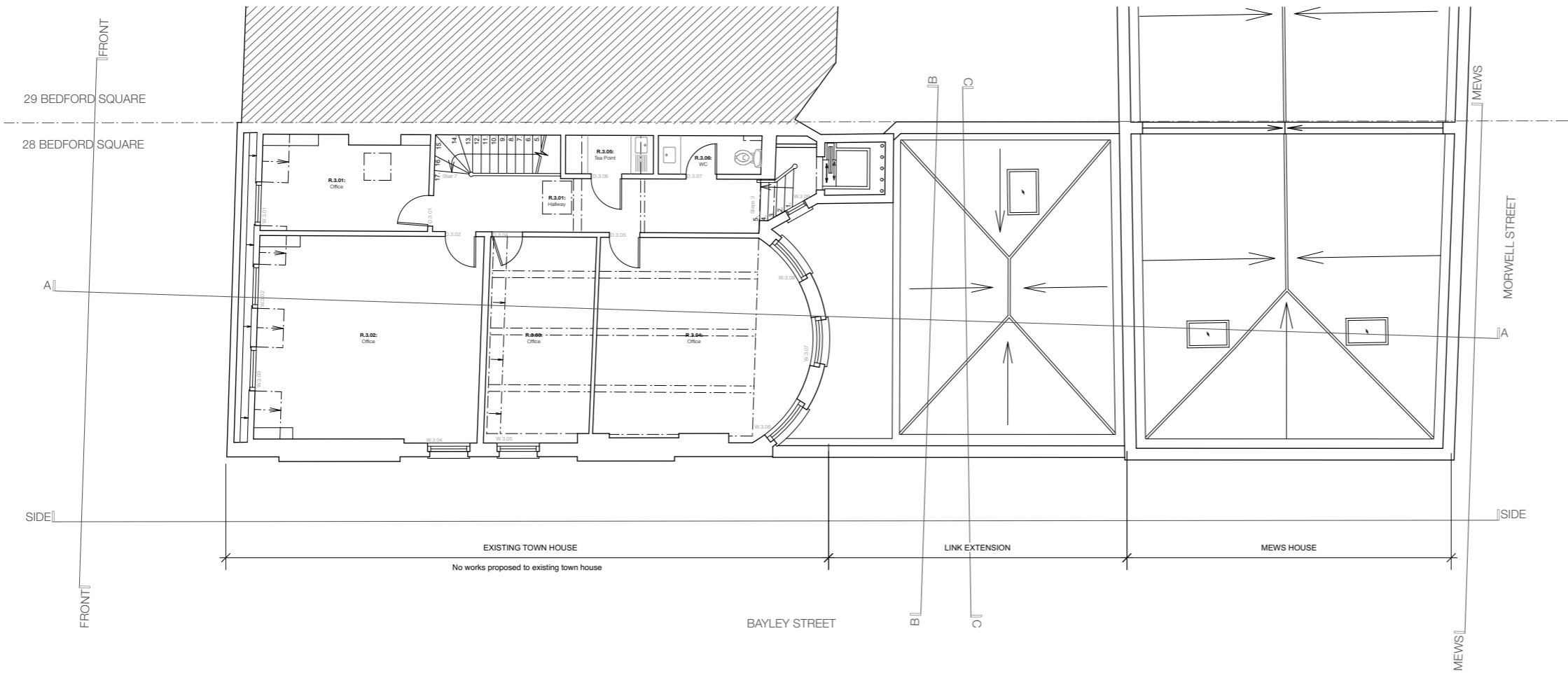
Additionally, 2 no. new WCs will be introduced in R.2.08 to better serve the staff working in the mews house.



1
Existing condition of office R.2.09

2
Existing rooflights in office R.2.09. Ceiling proposed to be removed and raised to existing roof line

4.1 Design proposal
Third floor



No works are proposed at third floor.

4.7 Design proposal

Use and layout

Use

The existing building has B1 use. There is no proposed change to the use.

Layout

The changes proposed to the layout provide more suitable spaces for the use of the occupant. The changes are relatively minor but will have a large impact on the user experience and coherence of spaces.

Access

The existing access to the property will remain the same.

Scale and Appearance

The external appearance of the building will remain unchanged. No changes are proposed to the buildings exterior.

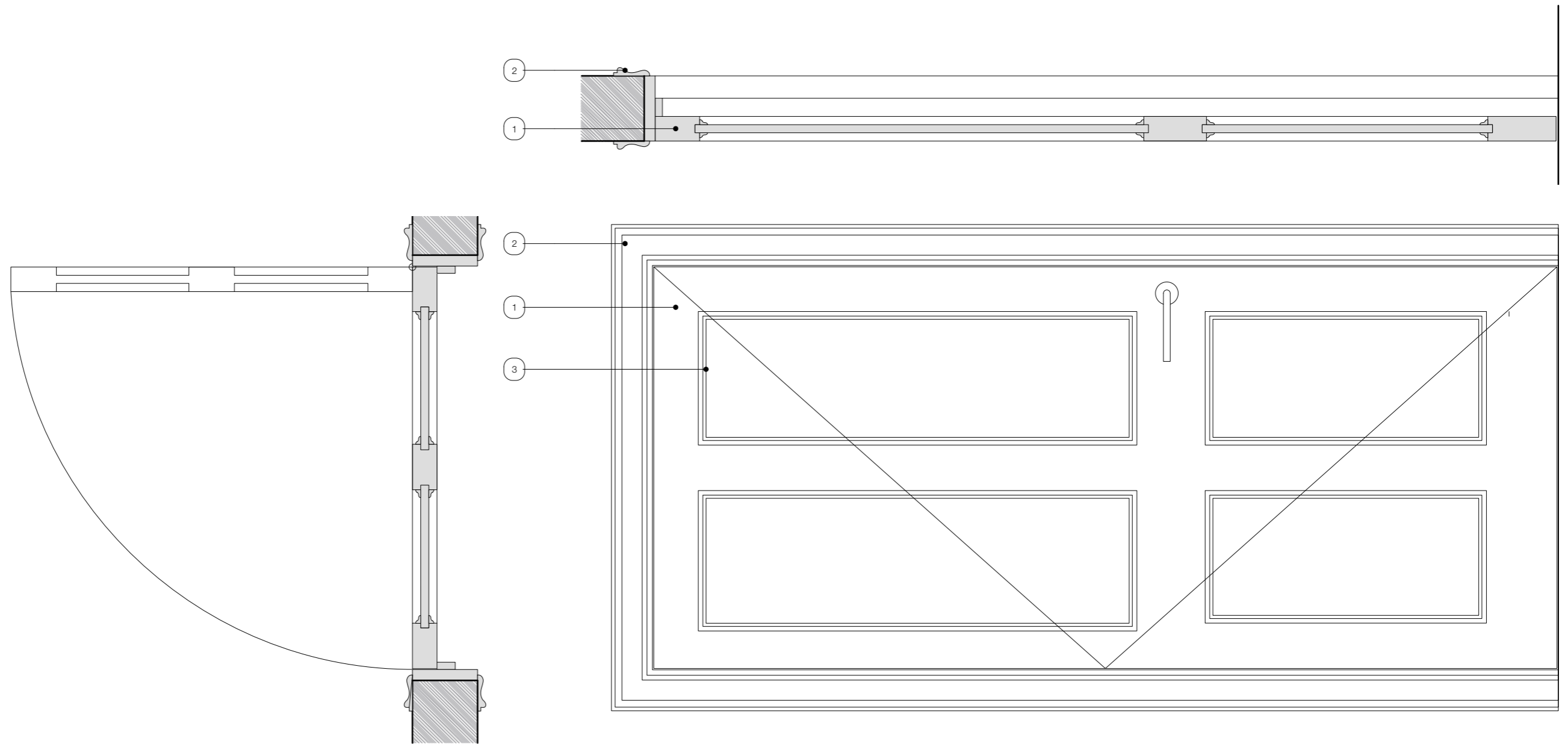
To conclude, the Planning, Design and Access Statement sets out the proposals for refurbishment works to upgrade the existing office accommodation at 28 Bedford Square.

The internal refurbishment focuses on the non-original, 1986 link extension and mews development. There are no proposed works to the buildings exterior. The works involve minor alterations to the internal layout to ensure the building better serves the new occupants and their work style. Improved amenities for the occupiers will be provided via increased quantity and quality of WC/shower provisions and improved communal amenity space (kitchen and dining areas).

DOOR TYPE 1
INTERNAL 4-PANEL DOOR

New Timber door to match existing D.LG.20

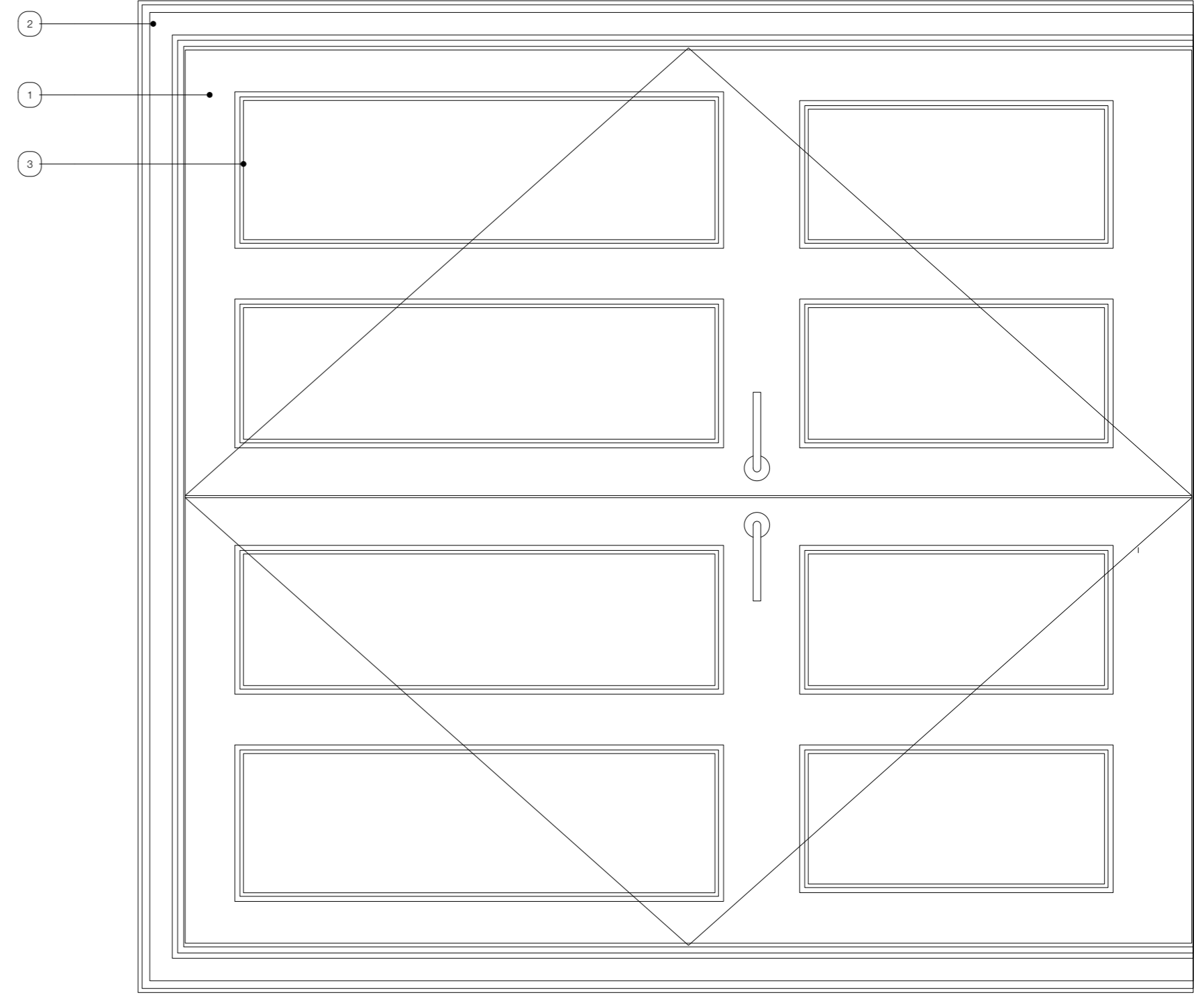
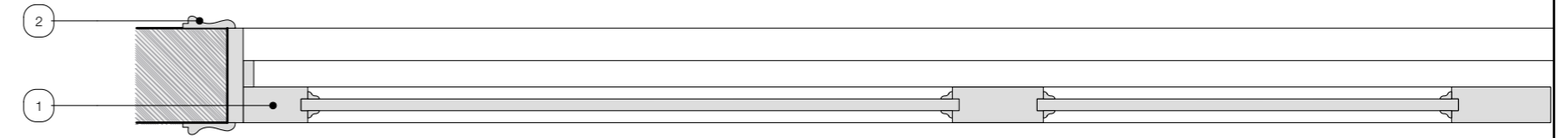
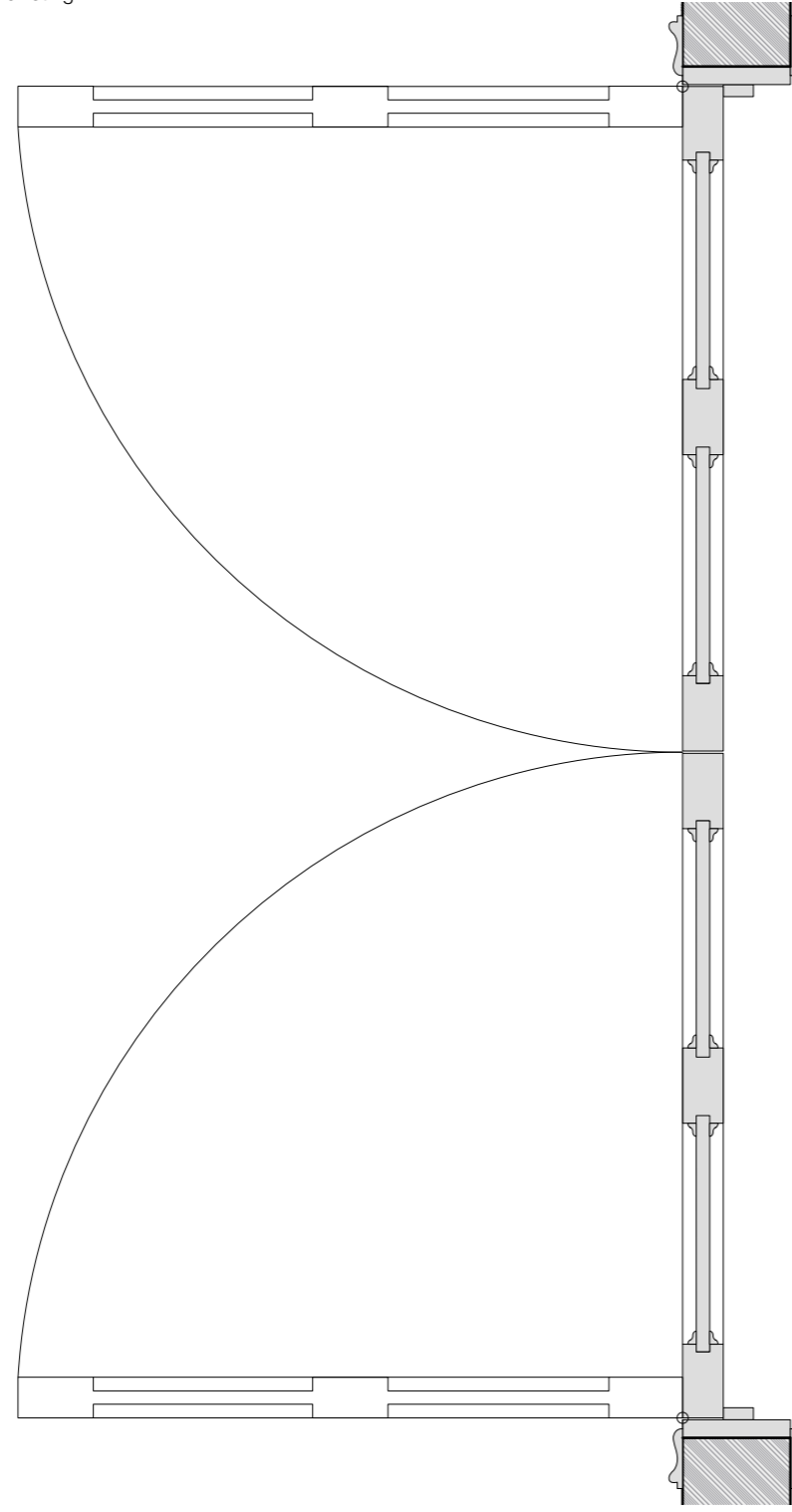
- 1 Timber rails/stiles to match existing
- 2 Architrave/frame as existing/to match existing
- 3 Timber panels/beading to match existing



DOOR TYPE 2
INTERNAL DOUBLE 4-PANEL DOOR

New Timber door to match existing D.LG.20

- 1 Timber rails/stiles to match existing
- 2 Architrave/frame as existing/to match existing
- 3 Timber panels/beading to match existing



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