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## Design & Access Statement

Proposed Alterations to the Rear Elevation of the Dwelling House which include the conversion of a casement window into sliding corner doors and the installation of a walk-on rooflight to the existing Roof Terrace.

Address: 25 Howitt Road, NW3 4LT

Date: 6<sup>th</sup> of July 2022



## Introduction

This Design & Access Statement has been prepared in support of a Householder application for Planning Permission for the proposed alteration to the rear elevation of the dwelling house and the installation of a walk-on rooflight to the existing roof terrace. The statement should be read in conjunction with all accompanying drawings and supplementary information that have been submitted.

The submitted drawings are as follows:

- 000 - Existing - Basement and Ground Floor
- 001 – Existing – First and 2<sup>nd</sup> Floor
- 002 – Existing – Loft and Roof Plan
- 003 – Existing – Section AA
- 004 – Existing – Front Elevation
- 005 – Existing – Rear Elevation
- 006 – Proposed – Basement and Ground Floor
- 007 – Proposed - First and 2<sup>nd</sup> Floor
- 008 – Proposed - Loft and Roof Plan
- 009 – Proposed - Section AA
- 010 – Proposed - Front Elevation
- 011 – Proposed – Rear Elevation

OS Location Plan 1:1250

## Location and Context

The property is an Edwardian red brick terraced house located in the Belsize Conservation Area.

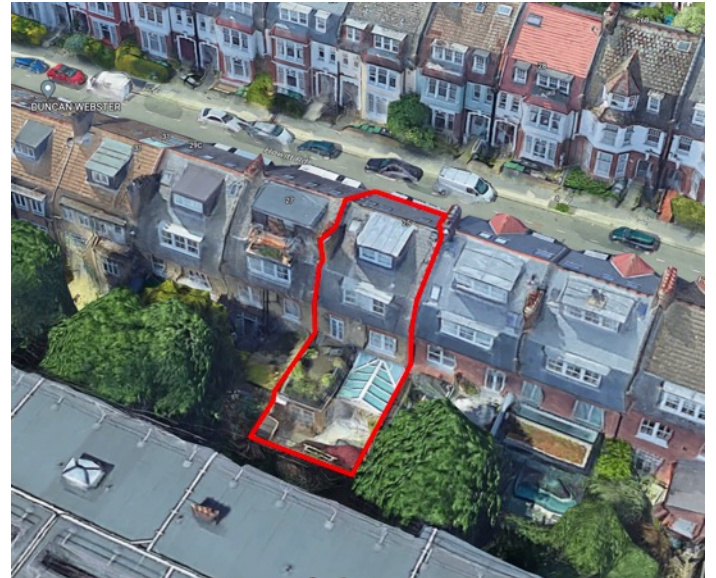


*Aerial View – 25 Howitt Road, NW3 4LT*





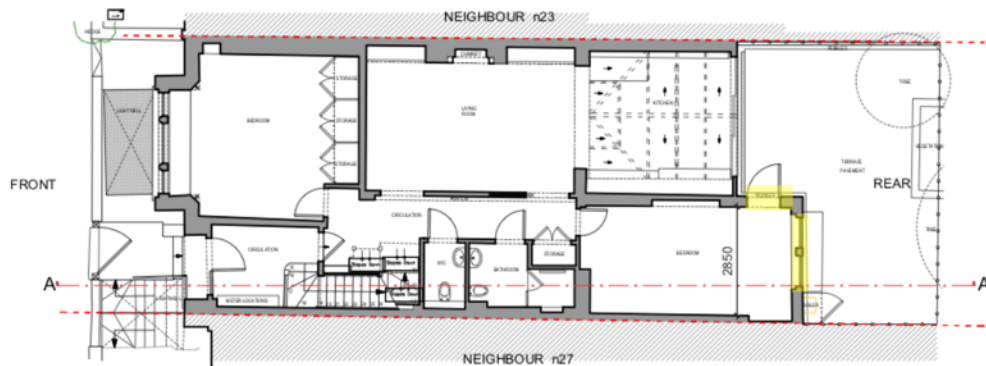
*Front Aerial View – 25 Howitt Road, NW3 4LT*



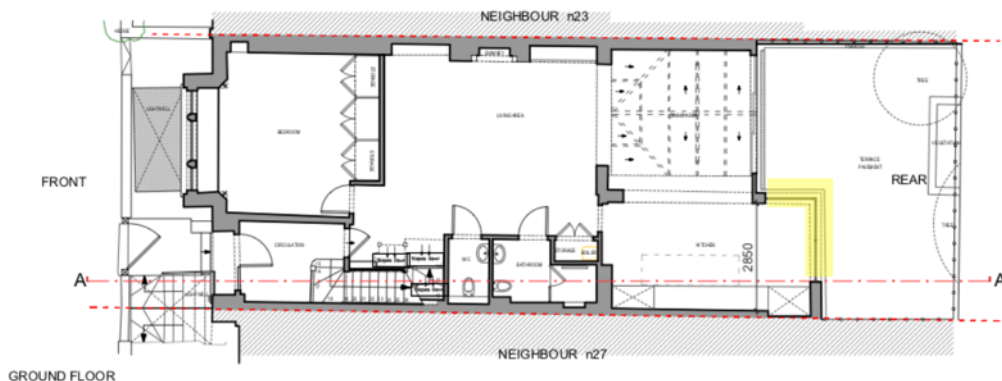
*Rear Aerial View – 25 Howitt Road, NW3 4LT*

## Design

The property has served as the applicants' family home for the last few years, and it is now felt that an upgrade would further extend its potential to serve as a family home far into the future. The proposed alteration to the rear elevation of the house and the newly reconfiguration of the kitchen/dining area will greatly improve the physical and visual connection to the rear garden, as an enhanced focal point for the home.



*Existing Ground Floor – Rear door and window to be replaced*



*Proposed Ground Floor – Corner sliding door*

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The design principal aim has been to both retain and enhance the architectural character of the building. Very careful consideration has been given in order to ensure the appearance of the proposed alteration is both sympathetic to the existing context and yet inline with new modernized up-grade of the property.

The existing casement window and door will be replaced with a corner sliding door which will retain the vertically-emphasized proportions of the existing doors of the property.

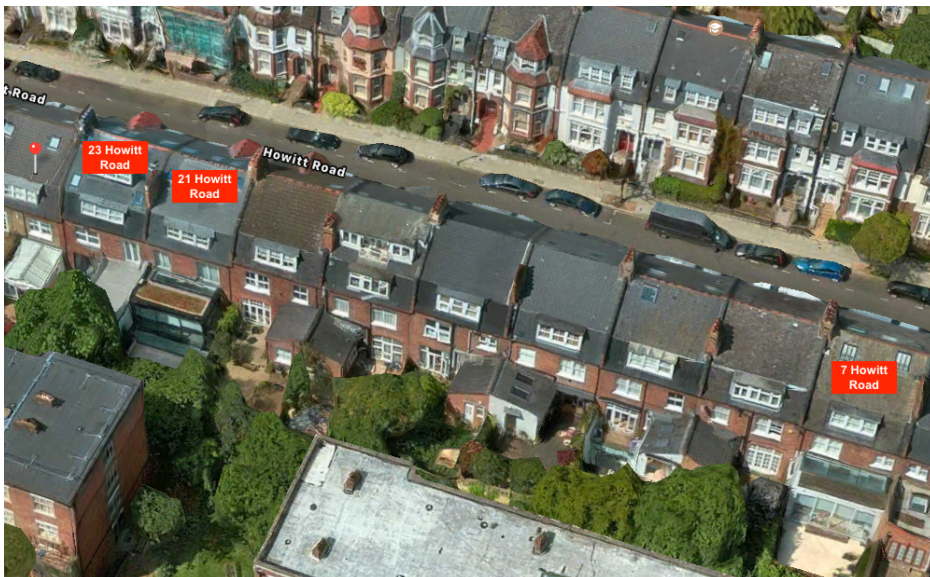


*Example 1 Corner sliding door*



*Example 2 Corner sliding door*

It is noticeable that there are a number of examples of sliding doors within Howitt road. The examples below have been seen on Google Maps and confirmed via Camden Planning Portal Website.



Existing Fascia of the roof terrace will be replaced with a parapet wall which will highlight the link in the appearance to the host building. Careful detailing of brickwork, fenestration, rainwater goods, and an unobtrusive walk-on rooflight, will ensure that the proposal will reflect the character of the area.

## **Access**

Access to the property will not change and will not be affected by these proposals.

## **Summary**

The proposed alterations have been designed to have minimal to none impact on the surrounding neighbours and will not be visible at all from the public realm. The design aims to balance between the preservation of the character features, and the new modernized upgrade of the property which will offer a greatly enjoyment of the property as a family home, both inside and outside.

End  
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