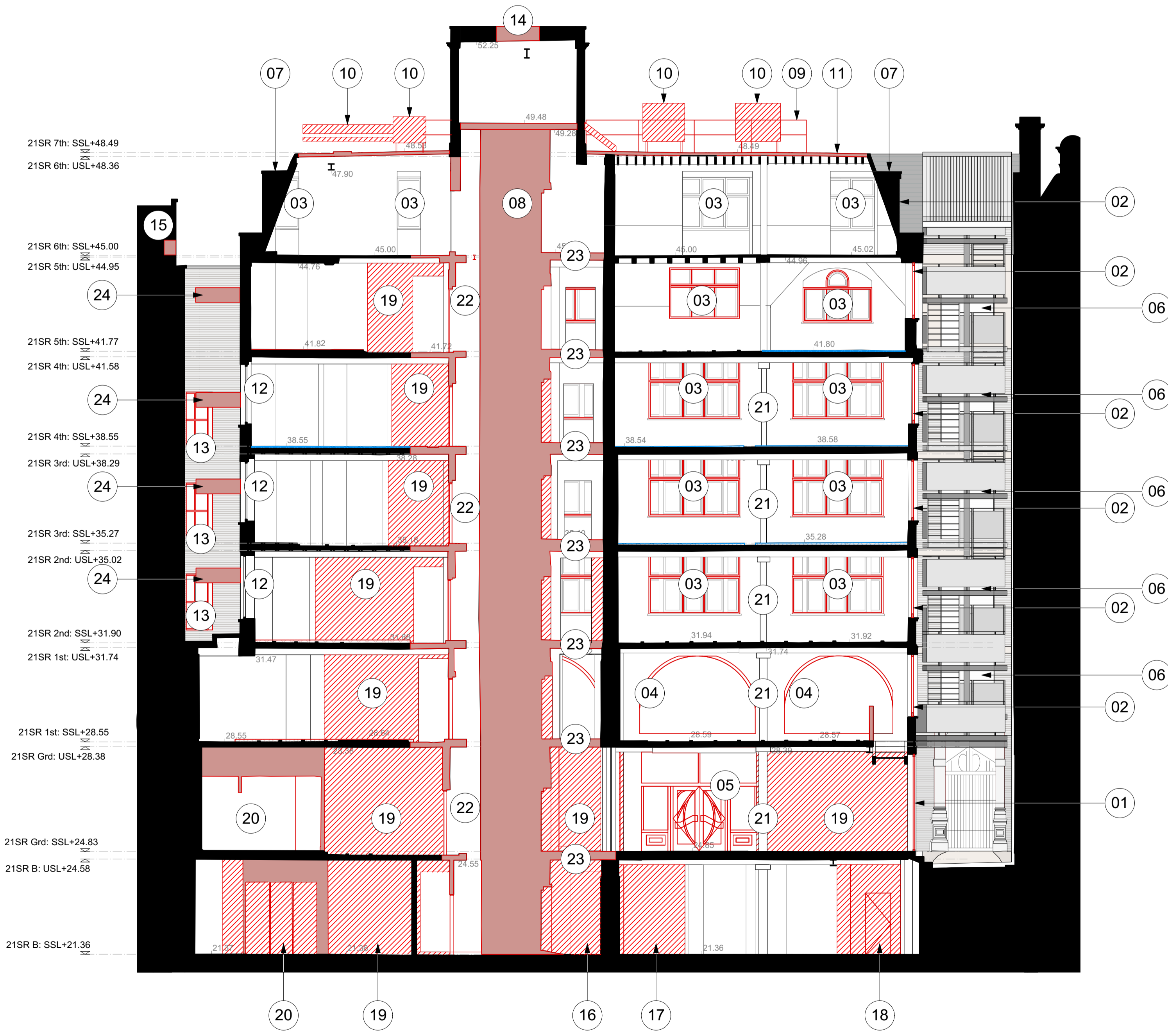
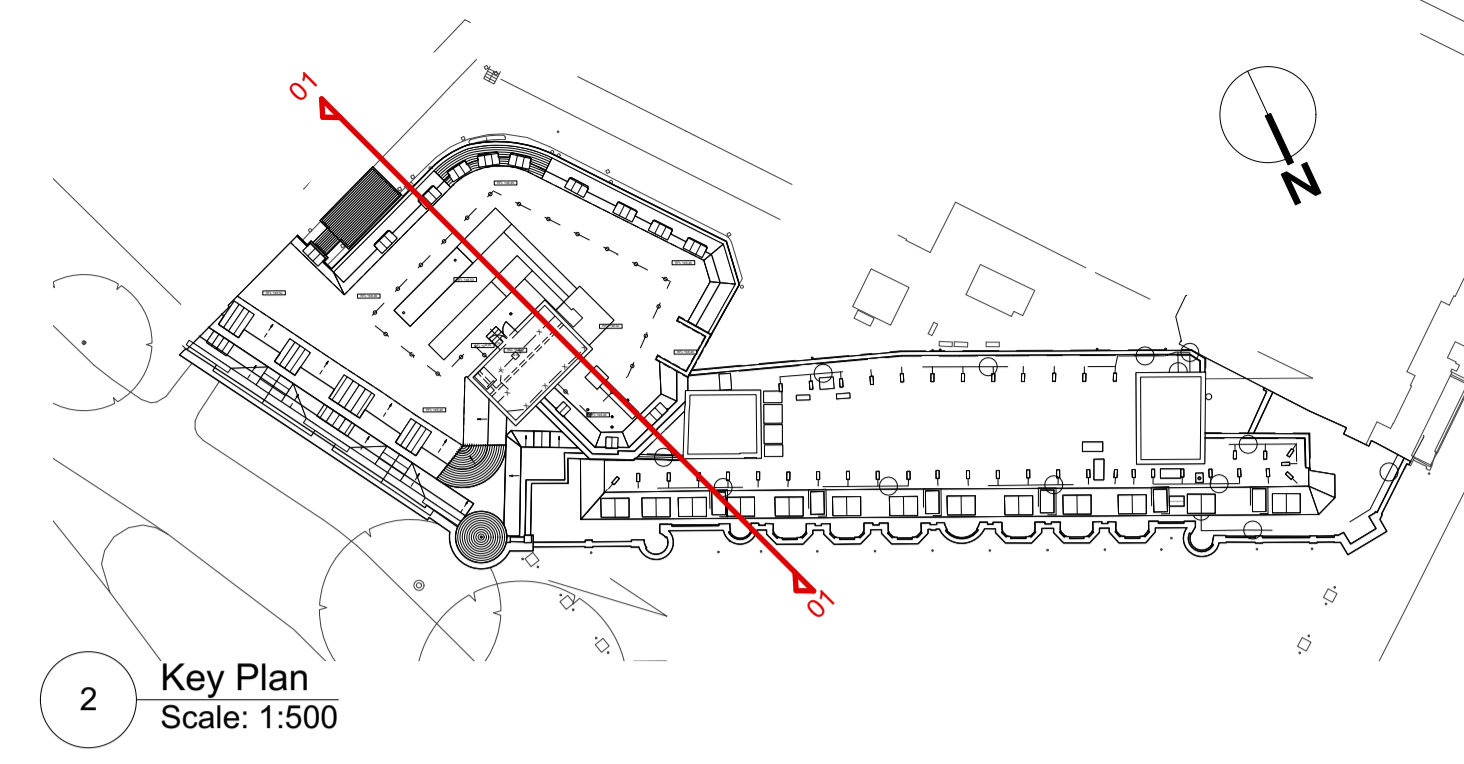
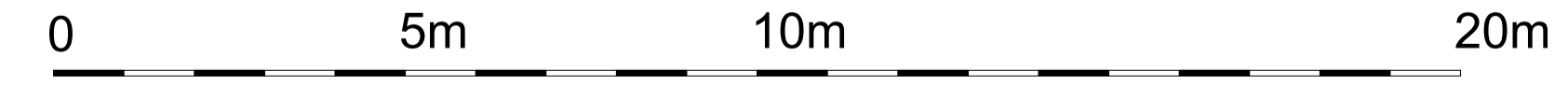


PLANNING

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 300	
01	01.300.01 - Existing windows and door of 21 Southampton Row's fire escape stairs to service corridor elevation to be removed and structural openings to be enlarged down to slab level
02	01.300.02 - Existing windows to existing fire escape to be removed
03	01.300.03 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
04	01.300.04 - Existing first floor windows to Southampton Row to be removed completely
05	01.300.05 - Existing shopfront glazing to be removed at ground floor level
06	01.300.06 - Existing non original fire escape door and window to be removed from existing structural openings
07	01.300.07 - Existing dormers to be retained and repaired as required
08	01.300.08 - Lift car, associated services and shaft to be removed entirely, but rooftop lift motor room to be retained.
09	01.300.09 - Existing key clamp handrail guarding to be removed and stored for reuse
10	01.300.10 - Existing rooftop plant to be removed completely
11	01.300.11 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
12	01.300.12 - Existing windows to 21 Southampton Row lightwell to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
13	01.300.13 - Existing windows to Sicilian House lightwell to be removed and blocked up
14	01.300.14 - New opening to be cut into existing lift motor room roof for new AOV installation
15	01.300.15 - New structural opening to be formed in existing lift motor room wall for new ductwork route
16	01.300.16 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification
17	01.300.17 - Allow for existing lobby to be removed
18	01.300.18 - Existing internal plant to be removed completely
19	01.300.19 - Allow for masonry wall to be removed
20	01.300.20 - Existing sanitaryware + associated fixtures, fittings and pipework to be removed completely
21	01.300.21 - Existing feature round steel columns to be retained and protected throughout works
22	01.300.22 - Non original partitions forming services risers to be demolished entirely
23	01.300.23 - Existing concrete slabs to be removed within stair core
24	01.300.24 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification to provide new ventilation route



1 21SR Demolition section 01 Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
 Sizes and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
 This drawing is to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning

Date	Jan 2021	Project	Vernon House	Job Ref.	383
Scale	1:100 @A1	Drawn	KP	Check	DT
Status	PLANNING	Client Ref	383 (DE) 300	Drwg. no.	383 (DE) 300
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