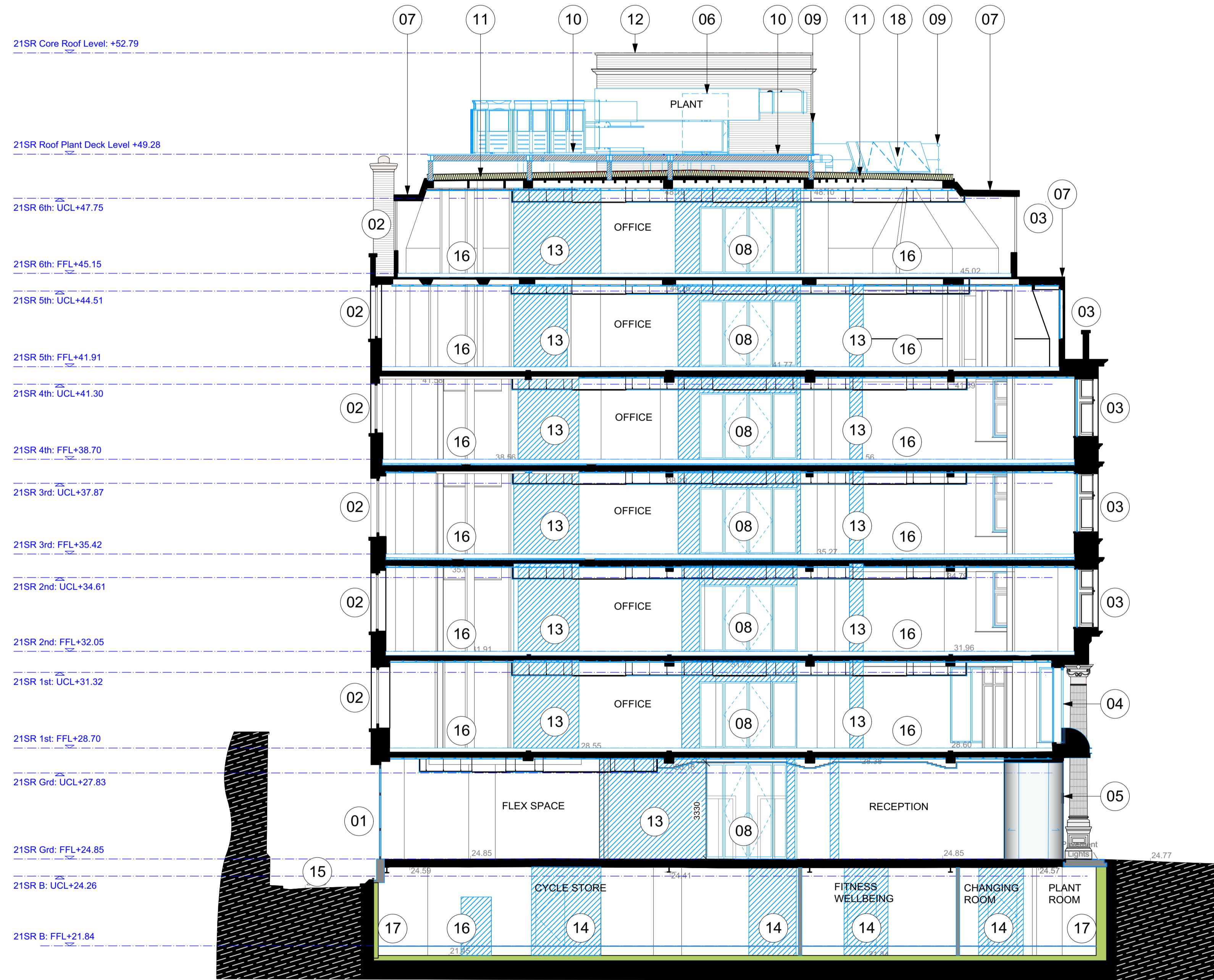
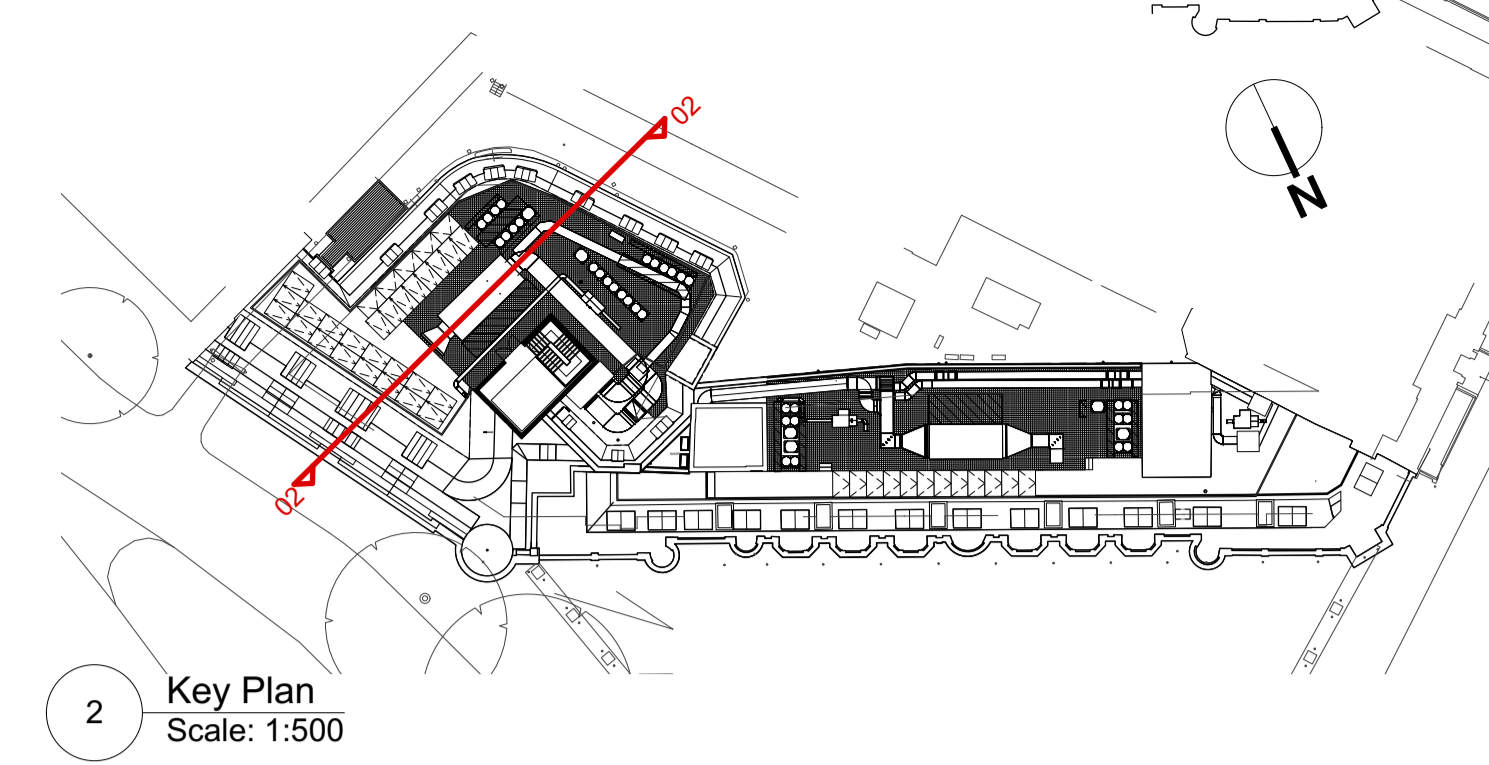


PLANNING

KEY

- Existing structure, walls & other building fabric to be retained, made good and redecorated, unless otherwise noted
- New structure & walls
- New building elements

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 02, sheet 301	
01	02.301.01 - New floor to ceiling aluminum framed glazing units in existing window openings
02	02.301.02 - Existing windows to rear elevation of 21 Southampton Row to be retained; strip out existing painting and get ready for redecoration
03	02.301.03 - Existing windows to Southampton Row to be retained and refurbished, with new secondary glazing to be installed
04	02.301.04 - Existing first floor windows to Southampton Row to be replaced with double glazed window to match existing style with new stall riser
05	02.301.05 - New external curved sliding doors with metal canopy and integrated air curtain
06	02.301.06 - New double doors to be installed to existing lift motor room
07	02.301.07 - Existing dormer roofs and windows to be repaired and refurbished as required
08	02.301.08 - New fire rated glazed lift lobby double doors + screens to be installed in enlarged structural opening
09	02.301.09 - Key clamp handrail guarding, reuse of existing or match existing
10	02.301.10 - New plant roof deck at 7th floor level comprising composite timber decking on raised steel frame structure to structural engineer specification
11	02.301.11 - Flat roof covering to 21 Southampton Row to be replaced with new waterproofing, and new insulation on top of existing plywood deck sitting on top of existing retained timber joists / steel beams below
12	02.301.12 - New AOV to be installed to the head of the extended staircase to improve the existing fire strategy
13	02.301.13 - New fire rated partition to form new stair lobby / WCs
14	02.301.14 - New fire rated partition to form basement amenity
15	02.301.15 - New coloured tarmac surface to be installed for cyclists access route
16	02.301.16 - New raised access floors throughout
17	02.301.17 - New waterproof tanking to basement perimeter walls + slab
18	02.301.18 - Photovoltaic panels according M&E specification



1 21SR Proposed Section 02 Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
 Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
 This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
 Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning

Date	Jan 2021	Project	Vernon House	Job Ref.	383
Scale	1:100 @A1	Drawn	KP	Check	DT
Status	PLANNING	Client Ref	383 (GA) 301	Drwg. no.	383 (GA) 301
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP		T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com			

halebrown
architects