

20-24 RUSSELL SQUARE

DESIGN, ACCESS AND HERITAGE
STATEMENTS ADDENDUM
2021/2019/P AND LBC

ÉCOLE JEANNINE MANUEL
010222



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SUMMARY OF STUDY

This study has been prepared reacting to comments received from Officers on the revised proposals submitted in October for 2021/2019/P and LBC, particularly: the appropriateness of the bridge link and the design/ material treatments of the balustrades.

Four design options have been produced which focus on the replacement rear extension; we have used 3D visuals and elevations to explore different types of balustrade treatment to the perimeter of the external curriculum space. In all options we have removed the external bridge connection which involved converting an existing window into a doorway to access the roof terrace. This existing historic window will be retained and access to the external curriculum space will be via the proposed stair located in the playground.

Option 1 - We have proposed metal railings to the perimeter of the external curriculum space, this reflects the design of the existing Georgian iron railings on Thornhaugh Street and Russell Square.

Option 2 - We have proposed a metal balustrade with glass infill panels to the perimeter of the external curriculum space which mimics the style of the balustrade on the adjacent IOE building.

Option 3 - A metal balustrade with mesh infill panels has been proposed, this will match the mesh enclosing the external playground stair and will be dark grey in colour.

Option 4 - A steel planter with mesh panels above to the perimeter of the external curriculum space has been proposed.

Following an assessment of the options and consultation with KM Heritage, we believe Option 4 is the most appropriate design. The revised drawings we have submitted reflect this design. The dark metal planter will sit comfortably in its surroundings matching the metal cladding on the top section of the new Hall and will echo the linear banding and materiality of the IOE. The planter is set back from the parapet and the railing above is further set back which will soften the apparent height of the new extension. The new extension will be of high quality and a timeless design to reflect the listed buildings behind. We found design options 1,2 and 3 to be less successful and have discounted these as they introduce a new material at high level.

NOTES

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- Brickwork and terracotta: brush clean and provide gentle steam clean, repoint locally where pointing has spalled in matching materials and tint with soot/water mixture to match in colour;
- Stonework details (balcony etc): brush clean, remove vegetation gently with tools and apply biocide; provide very gentle steam clean to remove major dirt staining without affecting stone face;
- Windows: Retain all, overhaul including cleaning all glass and replacing any cracked panes, replace putty, overhaul sash mechanisms, make good any timber deterioration with acrylic filler, match in new timber profiles to replace any rotten sections of timber, redecorate;
- Doors: retain and overhaul ironmongery, apply new putty to glazing and redecorate, renew fire exit ironmongery to inside, all doors redecorated in gloss black except;
- 4(a). Main entrance door in west facade decorated in School crimson red;
- Existing ironwork railings: retain, rub down to a solid key, apply rust inhibitor to rusted areas and redecorate;
- Slated pitched roof: check all slates, reset any loose slates and clean down;
- Lead roofs: check for soundness, replace any damaged sections with matching materials;
- 7(a) New low-rise mushroom cowl fitted into lead roof, behind roll batten parapet;
- Glazed lanterns: replace single glazed (Georgian wired) modern lanterns with new safety glass, renew vertical upstanding sections with insulated white metal louvred vents and automatic actuators for ventilation;
- CCTV installations: retain or renew in same positions without making new holes;
- All Chimneys: check capping pieces to ensure stable condition, rake out all joints in stone capping & re-launch; renew pointing locally in matching materials where deteriorated;
- Lower ground floor: tap test all render and replace loose/spalled areas in matching sand and cement render; redecorate in breathable white masonry paint generally below street level;
- Rainwater goods: retain, check and re-set where dislodged to ensure clean flow of water and soundness of fixings, redecorate gloss black;
- Proposed bridge to access external curriculum space with glass balustrade;
- New multi-purpose hall. Facade material: reclaimed brick to match existing;
- High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
- Existing gate retained and redecorated;
- Existing brick boundary wall;
- Existing concrete retaining wall with planter;
- Existing no. 24 mews building;
- Proposed timber batten playground fence and gate - refer to Level 0 Plan for location (drawing no: '10401)
- Structural glazing to perimeter of external curriculum space;
- Existing concrete buttresses brushed down and previous fixings removed;
- No. 24 mews building extended in reclaimed brick to match existing

1

Proposed Southeast Elevation

1 : 100

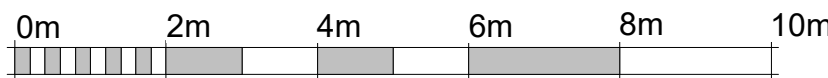


2

Proposed Southwest Elevation

1 : 100

REV	DATE	REVISION NOTE	BY	CHECK
PS	25.10.21	Planning Amendments	EWA	EWA
PA	13.07.21	Planning amendments	EWA	EWA
PS	23.04.21	Planning		
PS	29.03.21	Update following client comments		
PI	25.03.21	Updated Layout		



VISUAL SCALE 1:100 @ A1

NOTES

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10. Rainwater goods: retain, check and re-set where dislodged to ensure clean flow of water and soundness of fixings, redecorate gloss black;
11. Brush clean concrete buttresses; check for signs of distress/ cracking, check flashings/ sealant at tops and provide photographs; remove previous wire fixings; provide new climbing wall fixings drilled and resin anchored into concrete to structural engineers approved detail.
12. Proposed bridge to access external curriculum space with glass balustrade;
13. Structural glazing to perimeter of external curriculum space;
14. Existing brick boundary wall;
15. Existing concrete retaining wall with planter;
16. Existing no. 24 mews building;
17. Louvres on facade concealed behind perforated metal screen;
18. Existing ramp;
19. Glazed curtain wall;
20. Stair to access external curriculum space. Stair clad in perforated metal, metal colour to match that of IOE Building;
21. New multi-purpose hall. Facade material: reclaimed brick to match existing;
22. High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
23. Glass balustrade on top flight of stairs;
24. No. 24 mews building extended in reclaimed brick to match existing;
25. Height of existing boundary wall raised to match height of no. 24 mews building, material: reclaimed bricks to match existing;
26. Perforated metal screening top section of windows; metal colour to match that of IOE building;
27. Louvres.

1 Proposed Northwest Elevation

1:100

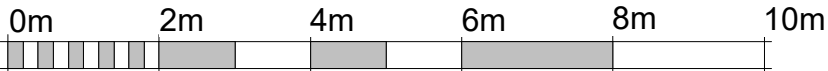


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2 Proposed Northeast Elevation

1:100

REV	DATE	REVISION NOTE	BY	CHECK
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PS	13.07.21	Planning Amendments	EWA	EWA
PS	23.04.21	Planning	EWA	EWA
PS	25.03.21	Updated Layout		



VISUAL SCALE 1:100 @ A1

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EJM No. 20-24 Russell Square
Proposed Elevations - Sheet 2
2676_10502
STATUS | PLANNING
DRAWN BY | Author
DATE | 03/01/21
SCALE | 1:100
REV
P4
2676- EWA- ZZ- ZZ- DR- A- 10502

1 - CURRENT SCHEME



VIEW APPROACHING FROM SOAS PRECINCT TO THE WEST



VIEW FROM THORNHAUGH STREET TO NORTH-WEST

1 - CURRENT SCHEME



VIEW APPROACHING ALONG UNIVERSITY PRECINCT FROM NORTH



INTERNAL COURTYARD VIEW CGI

2 - OPTION 1

METAL RAILINGS TO PERIMETER OF EXTERNAL CURRICULUM SPACE AND BRIDGE CONNECTION REMOVED



VIEW FROM THORNHAUGH STREET TO NORTH-WEST



INTERNAL COURTYARD VIEW CGI



1. Brickwork and terracotta: brush clean and provide gentle steam clean, repoint locally where pointing has spalled in matching materials and tint with soot/water mixture to match in colour;
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3. Windows: Retain all, overhaul including cleaning all glass and replacing any cracked panes, replace putty, overhaul sash mechanisms, make good any timber deterioration with acrylic filler, match in new timber profiles to replace any rotten sections of timber, redecorate;
4. Doors: retain and overhaul ironmongery, apply new putty to glazing and redecorate, renew fire exit ironmongery to inside, all doors redecorated in gloss black except;
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5. Existing ironwork railings: retain, rub down to a solid key, apply rust inhibitor to rusted areas and redecorate;
6. Slated pitched roof: check all slates, reset any loose slates and clean down;
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9. CCTV installations: retain or renew in same positions without making new holes;
10. All Chimneys: check capping pieces to ensure stable condition, rake out all joints in stone capping & re-haunch; renew pointing locally in matching materials where deteriorated;
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12. Rainwater goods: retain, check and re-set where dislodged to ensure clean flow of water and soundness of fixings, redecorate gloss black;
13. Existing No.23 closet wing
14. New multi-purpose hall. Facade material: reclaimed brick to match existing;
15. High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
16. Existing gate retained and redecorated;
17. Existing brick boundary wall;
18. Existing concrete retaining wall with planter;
19. Existing no. 24 mews building;
20. Proposed timber batten playground fence and gate - refer to Level 0 Plan for location (drawing no. 10401)
21. Dark grey metal railings to perimeter of external curriculum space;
22. Existing concrete buttresses brushed down and previous fixings removed;
23. No. 24 mews building extended in reclaimed brick to match existing

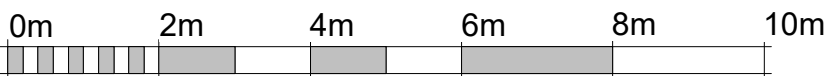
1 | Proposed Southeast Elevation
1 : 100



2 | Proposed Southwest Elevation
1 : 100

PLANNING STUDY
01/22

REV	DATE	REVISION NOTE	BY	CHECK
P5	25.10.21	Planning Amendments	EWA	EWA
P4	13.07.21	Planning amendments	EWA	EWA
P3	23.04.21	Planning		
P2	29.03.21	Update following client comments		
P1	29.03.21	Updated Layout		



VISUAL SCALE 1:100 @ A1

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EJM No. 20-24 Russell Square

Proposed Elevations - Sheet 1

2676_10501

REV P5

STATUS | PLANNING

SCALE | 1:100

DRAWN BY | EWA

DATE | 24.02.21

2676- EWA- ZZ- ZZ- DR- A- 10501

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12. External steps from Hall down to playground level;
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23. Metal railings to top flight of stairs;
24. No. 24 mews building extended in reclaimed brick to match existing;
25. Height of existing boundary wall raised to match height of no. 24 mews building, material: reclaimed bricks to match existing;
26. Metal mesh screening top section of windows; metal colour to match that of IOE building;
27. Louvres.

1 | Proposed Northwest Elevation

1 : 100

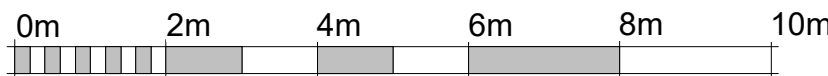


2 | Proposed Northeast Elevation

1 : 100

PLANNING STUDY
01/22

REV	DATE	REVISION NOTE	BY	CHECK
P4	25.10.21	Planning Amendments	EWA	EWA
P3	13.07.21	Planning Amendments	EWA	EWA
P2	23.04.21	Planning	EWA	EWA
P1	25.03.21	Updated Layout		



VISUAL SCALE 1:100 @ A1

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EJM No. 20-24 Russell Square
Proposed Elevations - Sheet 2

2676_10502

REV P4

STATUS | PLANNING SCALE | 1:100

DRAWN BY | Author DATE | 03/01/21

2676- EWA- ZZ- ZZ- DR- A- 10502

3 - OPTION 2

METAL BALUSTRADE WITH GLASS INFILL PANELS TO PERIMETER OF EXTERNAL CURRICULUM SPACE AND BRIDGE CONNECTION REMOVED



VIEW FROM THORNHAUGH STREET TO NORTH-WEST



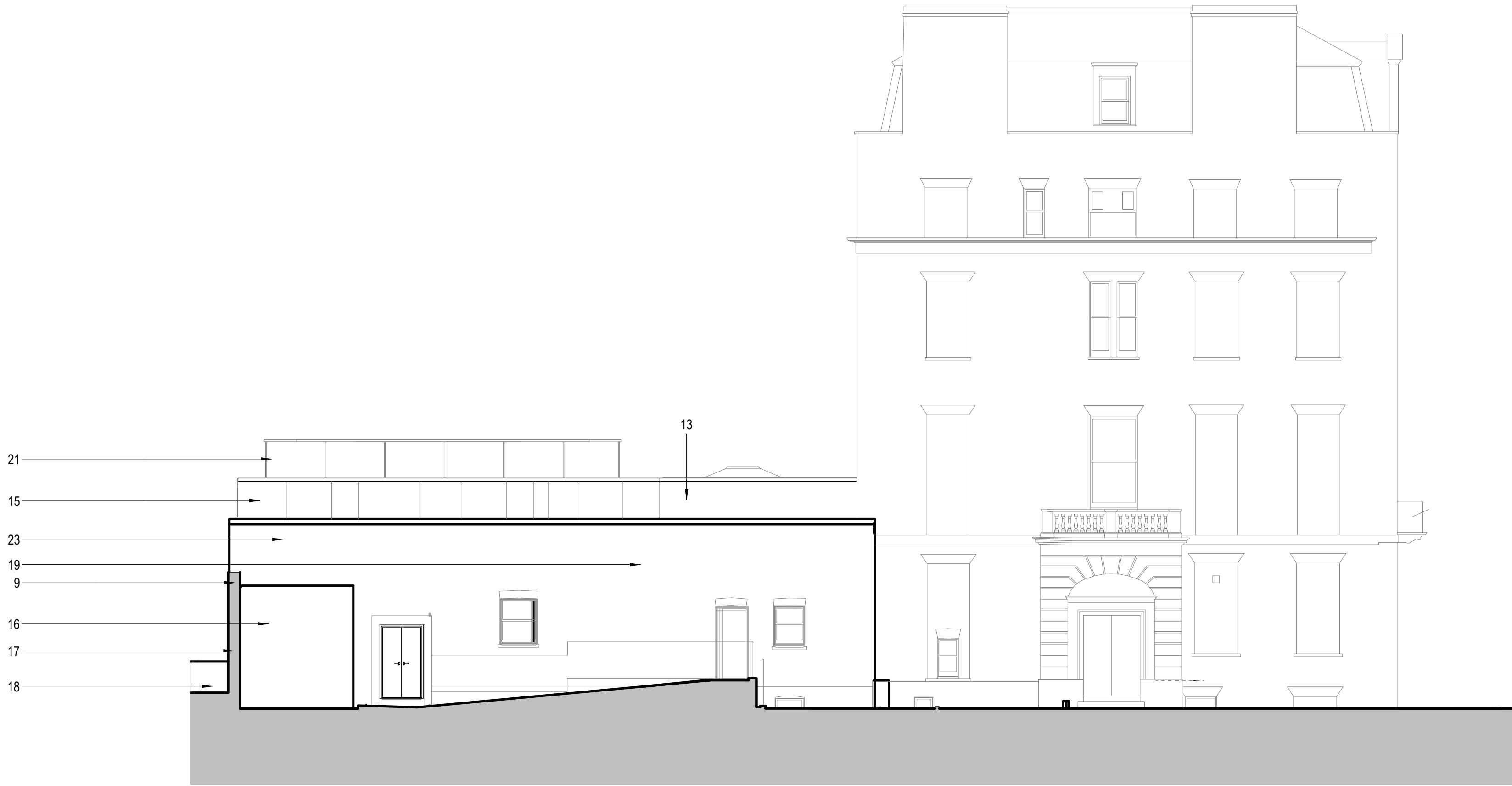
INTERNAL COURTYARD VIEW CGI



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- 4(a). Main entrance door in west facade decorated in School crimson red;
5. Existing ironwork railings: retain, rub down to a solid key, apply rust inhibitor to rusted areas and redecorate;
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- 7(a) New low-rise mushroom cowls fitted into lead roof , behind roll batten parapet;
8. Glazed lanterns: replace single glazed (Georgian wired) modern lanterns with new safety glass, renew vertical upstanding sections with insulated white metal louvred vents and automatic actuators for ventilation;
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12. Rainwater goods: retain, check and re-set where dislodged to ensure clean flow of water and soundness of fixings, redecorate gloss black;
13. Existing No.23 closet wing
14. New multi-purpose hall. Facade material: reclaimed brick to match existing;
15. High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
16. Existing gate retained and redecorated;
17. Existing brick boundary wall;
18. Existing concrete retaining wall with planter;
19. Existing no. 24 mews building;
20. Proposed timber batten playground fence and gate - refer to Level 0 Plan for location (drawing no: 10401)
21. Dark grey metal balustrade with glass infill panels to perimeter of external curriculum space;
22. Existing concrete buttresses brushed down and previous fixings removed;
23. No. 24 mews building extended in reclaimed brick to match existing

1 | Proposed Southeast Elevation

1 : 100

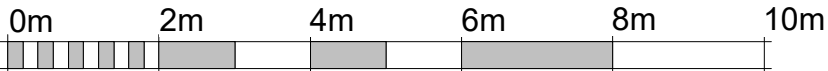


2 | Proposed Southwest Elevation

1 : 100

PLANNING STUDY
01/22

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PS	25.10.21	Planning Amendments	EWA	EWA
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Proposed Elevations - Sheet 1

2676_10501

REV P5

STATUS | PLANNING

SCALE | 1:100

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DATE | 24.02.21

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24. No. 24 mews building extended in reclaimed brick to match existing;
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26. Metal mesh screening top section of windows; metal colour to match that of IOE building;
27. Louvres.

1 Proposed Northwest Elevation

1:100

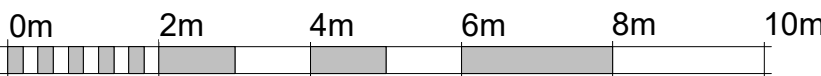


2 Proposed Northeast Elevation

1:100

PLANNING STUDY
01/22

REV	DATE	REVISION NOTE	BY	CHECK
P4	25.10.21	Planning Amendments	EWA	EWA
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P1	25.03.21	Updated Layout		



VISUAL SCALE 1:100 @ A1

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EJM No. 20-24 Russell Square
Proposed Elevations - Sheet 2

2676_10502

REV P4

STATUS | PLANNING

SCALE | 1:100

DRAWN BY | Author

DATE | 03/01/21

2676- EWA- ZZ- ZZ- DR- A- 10502

4 - OPTION 3

METAL BALUSTRADE WITH MESH INFILL PANELS TO PERIMETER OF EXTERNAL CURRICULUM SPACE AND BRIDGE CONNECTION REMOVED



VIEW FROM THORNHAUGH STREET TO NORTH-WEST



INTERNAL COURTYARD VIEW CGI



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20. Proposed timber batten playground fence and gate - refer to Level 0 Plan for location (drawing no: 10401)
21. Dark grey metal balustrade with metal mesh infill panels to perimeter of external curriculum space;
22. Existing concrete buttresses brushed down and previous fixings removed;
23. No. 24 mews building extended in reclaimed brick to match existing

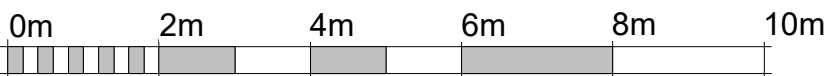
2 | Proposed Southwest Elevation

1 : 100



PLANNING STUDY
01/22

REV	DATE	REVISION NOTE	BY	CHECK
P5	25.10.21	Planning Amendments	EWA	EWA
P4	13.07.21	Planning amendments	EWA	EWA
P3	23.04.21	Planning		
P2	29.03.21	Update following client comments		
P1	29.03.21	Updated Layout		



VISUAL SCALE 1:100 @ A1

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EJM No. 20-24 Russell Square

Proposed Elevations - Sheet 1

2676_10501

REV P5

STATUS | PLANNING

SCALE | 1:100

DRAWN BY | EWA

DATE | 24.02.21

2676-EWA-ZZ-ZZ-DR-A-10501

NOTES

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1 Proposed Northwest Elevation

1 : 100

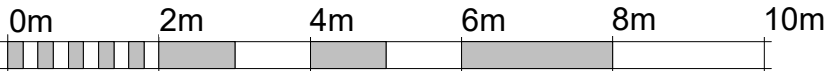
1. Brickwork - brush clean and provide very gentle steam clean – note brick appears to be softer than front and more heavily stained, particularly to no.s 21 and 22: remove vegetation/ growths and repoint locally where pointing has spalled in matching materials and tint with soot/water mixture to match in colour;
2. Windows: Retain all, overhaul including cleaning all glass and replacing any cracked pains, replace putty, overhaul sash mechanisms, make good any timber deterioration with acrylic filler, match in new timber profiles to replace any rotten sections of timber, redecorate;
3. Existing ironwork railings: retain, rub down to a solid key, apply rust inhibitor to rusted areas and redecorate;
4. Slated pitched roof: check all slates, reset any loose slates and clean down;
5. Lead roofs: check for soundness, replace any damaged sections with matching materials;
6. Glazed lanterns: replace single glazed (Georgian wired) modern lanterns with new safety glass, renew vertical upstanding sections with insulated white metal louvred vents and automatic actuators for ventilation;
7. CCTV installations: retain or renew in same positions without making new holes;
8. All Chimneys: check capping pieces to ensure stable condition, rake out all joints in stone capping & re-haunch; renew pointing locally in matching materials where deteriorated;
9. Tap test all render and replace loose/spalled areas in matching sand and cement render; redecorate in breathable white masonry paint generally below street level;
10. Rainwater goods: retain, check and re-set where dislodged to ensure clean flow of water and soundness of fixings, redecorate gloss black;
11. Brush clean concrete buttresses; check for signs of distress/ cracking, check flashings/ sealant at tops and provide photographs; remove previous wire fixings; provide new climbing wall fixings drilled and resin anchored into concrete to structural engineers approved detail.
12. Proposed bridge to access external curriculum space with glass balustrade;
13. Structural glazing to perimeter of external curriculum space;
14. Existing brick boundary wall;
15. Existing concrete retaining wall with planter;
16. Existing no. 24 mews building;
17. Louvres on facade concealed behind perforated metal screen;
18. Existing ramp;
19. Glazed curtain wall;
20. Stair to access external curriculum space. Stair clad in perforated metal, metal colour to match that of IOE Building;
21. New multi-purpose hall. Facade material: reclaimed brick to match existing;
22. High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
23. Glass balustrade on top flight of stairs;
24. No. 24 mews building extended in reclaimed brick to match existing;
25. Height of existing boundary wall raised to match height of no. 24 mews building, material: reclaimed bricks to match existing;
26. Perforated metal screening top section of windows; metal colour to match that of IOE building;
27. Louvres.



2 Proposed Northeast Elevation

1 : 100

REV	DATE	REVISION NOTE	BY	CHECK
P4	25.10.21	Planning Amendments	EWA	EWA
P3	13.07.21	Planning Amendments	EWA	EWA
P2	23.04.21	Planning	EWA	EWA
P1	25.03.21	Updated Layout		



VISUAL SCALE 1:100 @ A1

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EJM No. 20-24 Russell Square
Proposed Elevations - Sheet 2
2676_10502
STATUS | PLANNING
DRAWN BY | Author
DATE | 03/01/21
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REV P4
2676- EWA- ZZ- ZZ- DR- A- 10502

5 - OPTION 4

STEEL PLANTER WITH MESH PANELS ABOVE TO PERIMETER OF EXTERNAL CURRICULUM SPACE AND BRIDGE CONNECTION REMOVED



VIEW FROM THORNHAUGH STREET TO NORTH-WEST



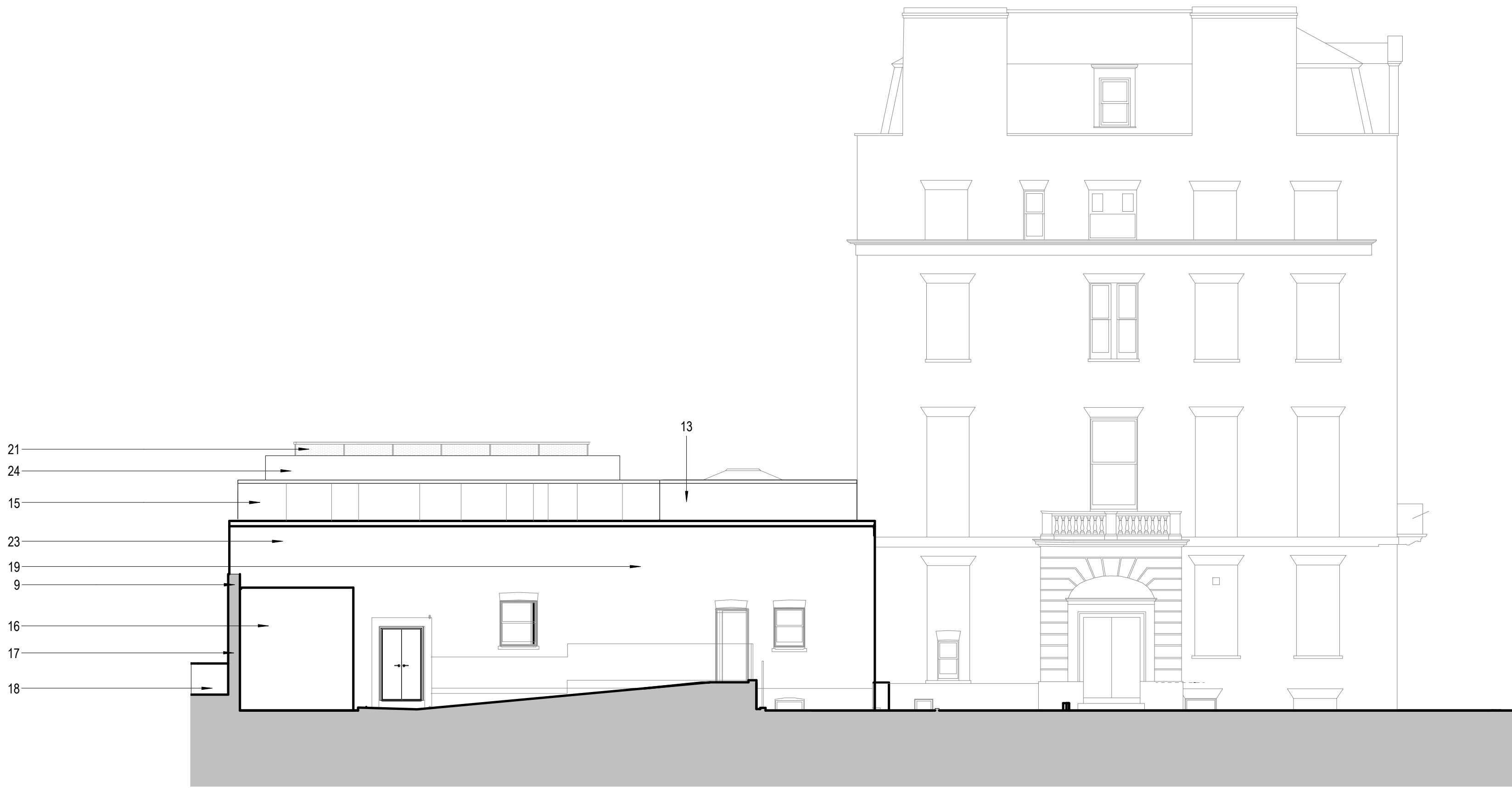
INTERNAL COURTYARD VIEW CGI



1. Brickwork and terracotta: brush clean and provide gentle steam clean, repoint locally where pointing has spalled in matching materials and tint with soot/water mixture to match in colour;
2. Stonework details (balcony etc): brush clean, remove vegetation gently with tools and apply biocide; provide very gentle steam clean to remove major dirt staining without affecting stone face;
3. Windows: Retain all, overhaul including cleaning all glass and replacing any cracked panes, replace putty, overhaul sash mechanisms, make good any timber deterioration with acrylic filler, match in new timber profiles to replace any rotten sections of timber, redecorate;
4. Doors: retain and overhaul ironmongery, apply new putty to glazing and redecorate, renew fire exit ironmongery to inside, all doors redecorated in gloss black except;
- 4(a). Main entrance door in west facade decorated in School crimson red;
5. Existing ironwork railings: retain, rub down to a solid key, apply rust inhibitor to rusted areas and redecorate;
6. Slated pitched roof: check all slates, reset any loose slates and clean down;
7. Lead roofs: check for soundness, replace any damaged sections with matching materials;
- 7(a) New low-rise mushroom cowl fitted into lead roof, behind roll batten parapet;
8. Glazed lanterns: replace single glazed (Georgian wired) modern lanterns with new safety glass, renew vertical upstanding sections with insulated white metal louvred vents and automatic actuators for ventilation;
9. CCTV installations: retain or renew in same positions without making new holes;
10. All Chimneys: check capping pieces to ensure stable condition, rake out all joints in stone capping & re-haunch; renew pointing locally in matching materials where deteriorated;
11. Lower ground floor: tap test all render and replace loose/spalled areas in matching sand and cement render; redecorate in breathable white masonry paint generally below street level;
12. Rainwater goods: retain, check and re-set where dislodged to ensure clean flow of water and soundness of fixings, redecorate gloss black;
13. Existing No.23 closet wing
14. New multi-purpose hall. Facade material: reclaimed brick to match existing;
15. High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
16. Existing gate retained and redecorated;
17. Existing brick boundary wall;
18. Existing concrete retaining wall with planter;
19. Existing no. 24 mews building;
20. Proposed timber batten playground fence and gate - refer to Level 0 Plan for location (drawing no. 10401)
21. Dark grey metal handrail above planter;
22. Existing concrete buttresses brushed down and previous fixings removed;
23. No. 24 mews building extended in reclaimed brick to match existing;
24. Steel planter to perimeter of external curriculum space.

1 | Proposed Southeast Elevation

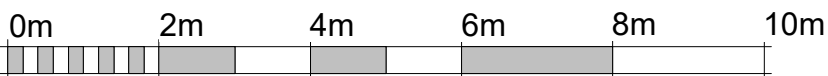
1 : 100



2 | Proposed Southwest Elevation

1 : 100

REV	DATE	REVISION NOTE	BY	CHECK
P6	01.02.11	Planning Amendments	EWA	EWA
P6	25.10.21	Planning Amendments	EWA	EWA
P4	11.07.21	Planning amendments	EWA	EWA
P3	23.04.21	Planning		
P2	26.03.21	Update following client comments		
P1	26.03.21	Updated Layout		



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EJM No. 20-24 Russell Square

Proposed Elevations - Sheet 1

2676_10501

REV P6

STATUS | PLANNING

SCALE | 1:100

DRAWN BY | EWA

DATE | 24.02.21

2676-EWA-ZZ-ZZ-DR-A-10501

NOTES

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1. Brickwork - brush clean and provide very gentle steam clean – note brick appears to be softer than front and more heavily stained, particularly to no.s 21 and 22: remove vegetation/ growths and repoint locally where pointing has spalled in matching materials and tint with soot/water mixture to match in colour;
2. Windows: Retain all, overhaul including cleaning all glass and replacing any cracked pains, replace putty, overhaul sash mechanisms, make good any timber deterioration with acrylic filler, match in new timber profiles to replace any rotten sections of timber, redecorate;
3. Existing ironwork railings: retain, rub down to a solid key, apply rust inhibitor to rusted areas and redecorate;
4. Slated pitched roof: check all slates, reset any loose slates and clean down;
5. Lead roofs: check for soundness, replace any damaged sections with matching materials;
6. Glazed lanterns: replace single glazed (Georgian wired) modern lanterns with new safety glass, renew vertical upstanding sections with insulated white metal louvred vents and automatic actuators for ventilation;
7. CCTV installations: retain or renew in same positions without making new holes;
8. All Chimneys: check capping pieces to ensure stable condition, rake out all joints in stone capping & re-haunch; renew pointing locally in matching materials where deteriorated;
9. Tap test all render and replace loose/spalled areas in matching sand and cement render; redecorate in breathable white masonry paint generally below street level;
10. Rainwater goods: retain, check and re-set where dislodged to ensure clean flow of water and soundness of fixings, redecorate gloss black;
11. Brush clean concrete buttresses; check for signs of distress/ cracking, check flashings/ sealant at tops and provide photographs; remove previous wire fixings; provide new climbing wall fixings drilled and resin anchored into concrete to structural engineers approved detail.
12. External steps from Hall down to playground level;
13. Dark grey metal handrail above planter;
14. Existing brick boundary wall;
15. Existing concrete retaining wall with planter;
16. Existing no. 24 mews building;
17. Louvres on facade concealed behind perforated metal screen;
18. Existing ramp;
19. Glazed curtain wall;
20. Stair to access external curriculum space. Stair clad in metal mesh, metal colour to match that of IOE Building;
21. New multi-purpose hall. Facade material: reclaimed brick to match existing;
22. High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
23. Dark grey metal handrail above planter;
24. No. 24 mews building extended in reclaimed brick to match existing;
25. Height of existing boundary wall raised to match height of no. 24 mews building, material: reclaimed bricks to match existing;
26. Metal mesh screening top section of windows; metal colour to match that of IOE building;
27. Louvres;
28. Steel planter to perimeter of external curriculum space.

1 Proposed Northwest Elevation

1:100

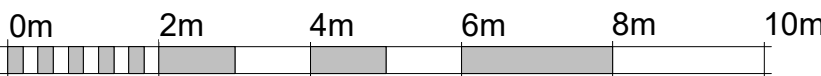


13. Dark grey metal handrail above planter;
14. Existing ramp;
15. Existing concrete retaining wall with planter;
16. Existing no. 24 mews building;
17. Louvres on facade concealed behind perforated metal screen;
18. Existing ramp;
19. Glazed curtain wall;
20. Stair to access external curriculum space. Stair clad in metal mesh, metal colour to match that of IOE Building;
21. New multi-purpose hall. Facade material: reclaimed brick to match existing;
22. High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
23. Dark grey metal handrail above planter;
24. No. 24 mews building extended in reclaimed brick to match existing;
25. Height of existing boundary wall raised to match height of no. 24 mews building, material: reclaimed bricks to match existing;
26. Metal mesh screening top section of windows; metal colour to match that of IOE building;
27. Louvres;
28. Steel planter to perimeter of external curriculum space.

2 Proposed Northeast Elevation

1:100

REV	DATE	REVISION NOTE	BY	CHECK
P5	01.02.11	Planning Amendments	EWA	EWA
P4	25.10.21	Planning Amendments	EWA	EWA
P3	13.07.21	Planning Amendments	EWA	EWA
P2	23.04.21	Planning	EWA	EWA
P1	20.03.21	Updated Layout		



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STATUS | PLANNING
SCALE | 1:100
DATE | 03/01/21
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REV P5

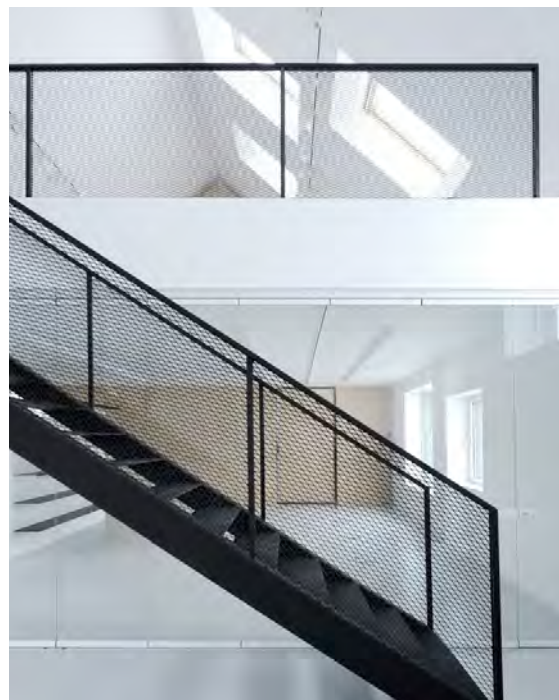
6 - PRECEDENTS



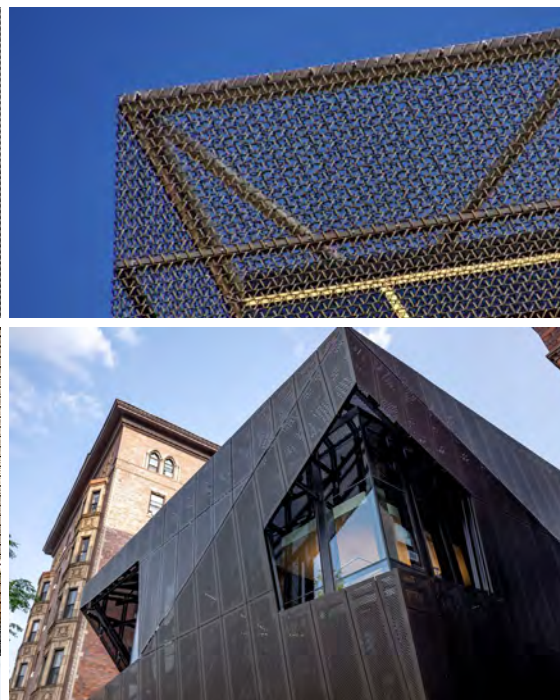
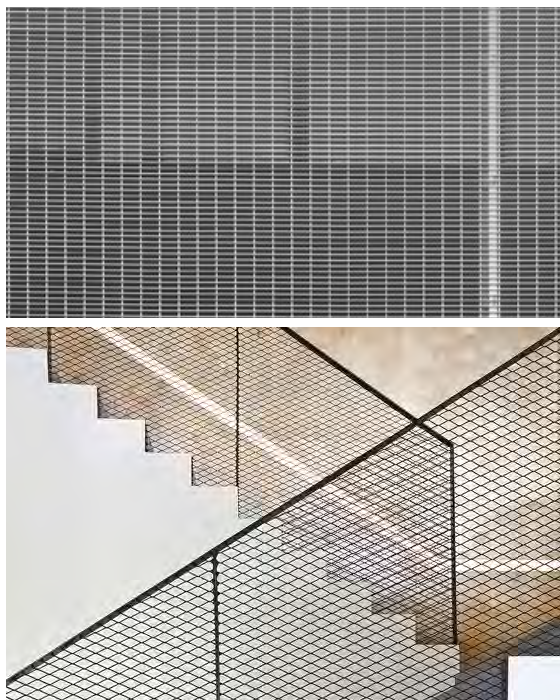
OPTION 1



OPTION 2



OPTION 3



OPTION 4