

NOTES

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This drawing must not be scaled. Dimensions are in millimetres unless specified.



1. Brickwork - brush clean and provide very gentle steam clean – note brick appears to be softer than front and more heavily stained, particularly to no.s 21 and 22: remove vegetation/ growths and repoint locally where pointing has spalled in matching materials and tint with soot/water mixture to match in colour;
2. Windows: Retain all, overhaul including cleaning all glass and replacing any cracked pains, replace putty, overhaul sash mechanisms, make good any timber deterioration with acrylic filler, match in new timber profiles to replace any rotten sections of timber, redecorate;
3. Existing ironwork railings: retain, rub down to a solid key, apply rust inhibitor to rusted areas and redecorate;
4. Slated pitched roof: check all slates, reset any loose slates and clean down;
5. Lead roofs: check for soundness, replace any damaged sections with matching materials;
6. Glazed lanterns: replace single glazed (Georgian wired) modern lanterns with new safety glass, renew vertical upstanding sections with insulated white metal louvred vents and automatic actuators for ventilation;
7. CCTV installations: retain or renew in same positions without making new holes;
8. All Chimneys: check capping pieces to ensure stable condition, rake out all joints in stone capping & re-haunch; renew pointing locally in matching materials where deteriorated;
9. Tap test all render and replace loose/spalled areas in matching sand and cement render; redecorate in breathable white masonry paint generally below street level;
10. Rainwater goods: retain, check and re-set where dislodged to ensure clean flow of water and soundness of fixings, redecorate gloss black;
11. Brush clean concrete buttresses; check for signs of distress/ cracking, check flashings/ sealant at tops and provide photographs; remove previous wire fixings; provide new climbing wall fixings drilled and resin anchored into concrete to structural engineers approved detail.
12. External steps from Hall down to playground level;
13. Dark grey metal railings to perimeter of external curriculum space;
14. Existing brick boundary wall;
15. Existing concrete retaining wall with planter;
16. Existing no. 24 mews building;
17. Louvres on facade concealed behind perforated metal screen;
18. Existing ramp;
19. Glazed curtain wall;
20. Stair to access external curriculum space. Stair clad in metal mesh, metal colour to match that of IOE Building;
21. New multi-purpose hall. Facade material: reclaimed brick to match existing;
22. High level section of new multi-purpose hall. Facade material: dark grey metal cladding;
23. Metal railings to top flight of stairs;
24. No. 24 mews building extended in reclaimed brick to match existing;
25. Height of existing boundary wall raised to match height of no. 24 mews building, material: reclaimed bricks to match existing;
26. Metal mesh screening top section of windows; metal colour to match that of IOE building;
27. Louvres.

1 | Proposed Northwest Elevation

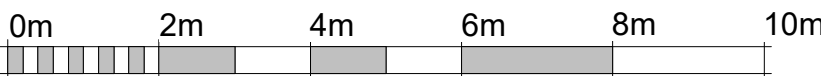
1 : 100

2 | Proposed Northeast Elevation

1 : 100



| REV | DATE     | REVISION NOTE       | BY  | CHECK |
|-----|----------|---------------------|-----|-------|
| P6  | 06.08.22 | Planning Amendments | EWA | RF    |
| P6  | 01.02.22 | Planning Amendments | EWA | RF    |
| P4  | 25.10.21 | Planning Amendments | EWA | EWA   |
| P3  | 13.07.21 | Planning Amendments | EWA | EWA   |
| P2  | 23.04.21 | Planning            |     |       |
| P1  | 20.03.21 | Updated Layout      |     |       |



VISUAL SCALE 1:100 @ A1

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EJM No. 20-24 Russell Square  
Proposed Elevations - Sheet 2

2676\_10502

REV P6

STATUS | PLANNING

SCALE | 1:100

DRAWN BY | Author

DATE | 03/01/21

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