

BROD WIGHT Architects

2a Templewood Avenue, London NW3 **Design and Access Statement: Ref: 1087-AP-D+A**

22nd July 2022
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1.0 Introduction

This document supports and justifies a Planning Application submitted to The London Borough of Camden for redesign of the front garden with new gate piers and gates.

2.0 Description of Existing Site

No. 2a Templewood Avenue is a single-story detached single-family residential property located to the west of Hampstead Heath.

The building is of render brick with a clay tile roof.

The property is set back from the road with a perforated brick and stone paved drive. The front boundary to Templewood Avenue and side boundary to No. 42 Redington Road is demarcated by a hedgerow. The side boundary to No. 2 Templewood Avenue has a fence and mature planting.

Two street trees are immediately outside the site.



Street View

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The character of Templewood Avenue streetscape is heavily influenced by the front boundary treatments and multiple examples of fully fenced and gated properties exist. The current openness of no.2 detracts from character with the street.

Examples of adjacent existing fully fenced and gated properties are shown below:



No.2 Templewood Avenue



No.4 Templewood Avenue



No.5 Templewood Avenue



No.8 Templewood Avenue



No.6 Templewood Avenue



No.9 Templewood Avenue



No.10 Templewood Avenue



No.11 Templewood Avenue

2.0 Relevant Planning History

2.1 Planning Permission ref: 2018/3618/P was granted on 23rd September 2019 for the:

Erection of single storey front and rear extensions (following partial demolition of existing property) including a raised roof height; external alterations including formation of covered front porch, paving and landscaping works

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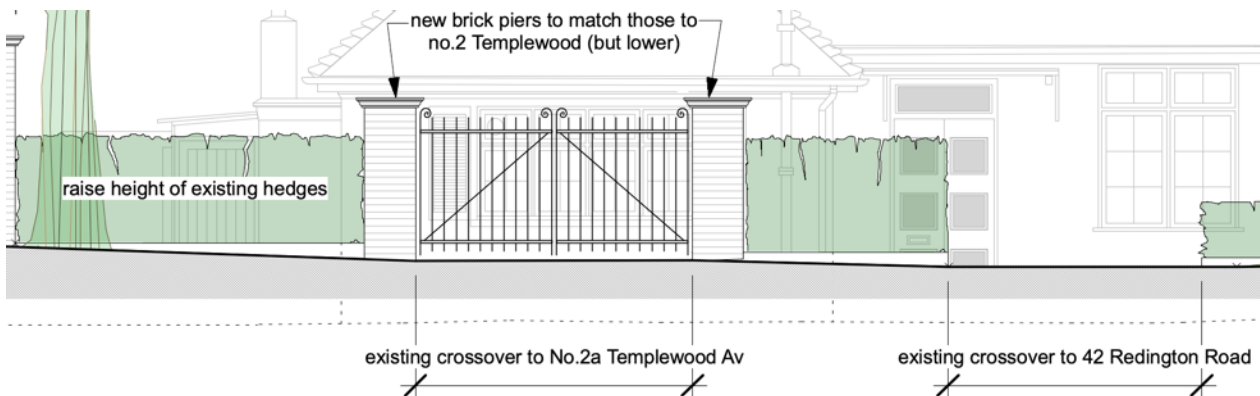
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2.0 Relevant Planning History Continued

- 2.2 The garden layout accompanying this application includes the front extension granted as part of that Application.

4.0 Appearance and Materials

- 4.1 The new brick piers are to match those to No.2 Templewood Avenue, but lower to be in scale with the lower No.2a.



- 4.2 Similarly, the stone copings are to match No.2 Templewood Avenue.
- 4.3 The gates have been sourced – elegant antique cast iron 1.5m high in keeping with the general character and age of development of Templewood Avenue. These are to be restored and reused. A photo of these is shown below:



- 4.4 The existing hedges either side and along the side boundary to No. 42 Redington Road are to be allowed to grow slightly taller to compliment the piers and gates.

6.0 Amenities

- 6.1 No neighbouring amenities are affected by the proposals.

7.0 Impact on the Street Scene

- 7.1 The improvement of materials will have a positive impact on the street scene.

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