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ADDRESS

Unit 12, 5 Durham  
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PROJECT  
Kilburn Arches

CLIENT  
Transport for London

DRAWING TITLE  
Proposed Ground Floor  
Plan

DRAWING NUMBER  
2108-S3-100--

DRAWN/  
CHECKED  
EP / CM

SCALE  
1:200@A1  
1:400@A3

STATUS  
Stage 3

CREATION DATE  
07.07.2022

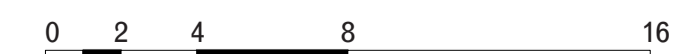
**NOTES**

1. Co-ordinates, levels, dimensions and discrepancies to be reported to the architect immediately.
2. This drawing is to be read in conjunction with all other Engineers' drawings, details and specification.
3. For site information and dimensions please refer to commissioned measured survey.
4. All drawings to be read in conjunction with architectural specification.
5. Do not scale from these drawings. Use figured dimensions only. All dimensions in mm.
6. Definition of legal title and boundaries is outside of the architects scope and any line would need to be reviewed and confirmed by client.

**Notes**

1. New commercial unit to be constructed beneath bridge in place of existing. Decorative metal screen above to underside of bridge.
2. Kilburn Station Entrance
3. New gateway to Kilburn Mews with pedestrian access only
4. Access to rear yard through arch 16
5. Existing National Grid substation
6. Rear yard to be re-landscaped to provide space for future flexibility in use
7. Refuse storage to be located within new structure on the footprint of Cod's Plaice. ASHP units above.
8. Gateway with pedestrian, emergency vehicle and delivery access only
9. Water attenuation tanks below rear yard
10. New frontages to existing arches
11. Indicative location of new substation to be provided by UKPN should an upgrade to existing provision be required.
12. Gateway to Kilburn Mews with pedestrian access, allowance made for vehicular access for emergency vehicles.
13. Rebuild boundary wall and fence with indicative planting areas shown to perimeter of rear yard.
14. Cycle storage to be located within Arch 15a
15. Site managers office
16. Extract flue from arch 10A vents to unused alleyway, terminating at high level. (min. +49.00m)
17. Indicative location of trees in rear yard in moveable planters.
18. Existing galvanised steel extension to be faced with public art mural in collaboration with local young people and an artist
19. Fully retractable double gates within arch 16 providing security to rear yard.
20. Single storey plant room and ASHP acoustic enclosure located within Arch 17 with decorative metal screen frontage over.
21. Existing brick infills to rear to be retained / reclaimed wherever possible and structural openings re-used. New insulation to be applied internally to increase thermal performance. New infills proposed where re-use of existing is not possible.
22. New fencing to substation

- Retail units
- Plant space
- Refuse store.
- Site manager's office
- Main entrance



Project Site Boundary.



**Revision**

Revision	Description	Date
DR1	Draft Planning Set	08/07/2022
DR2	Draft Planning Set	15/07/2022
DR3	Planning draft updates	05/08/2022
-	PLANNING	19/08/2022