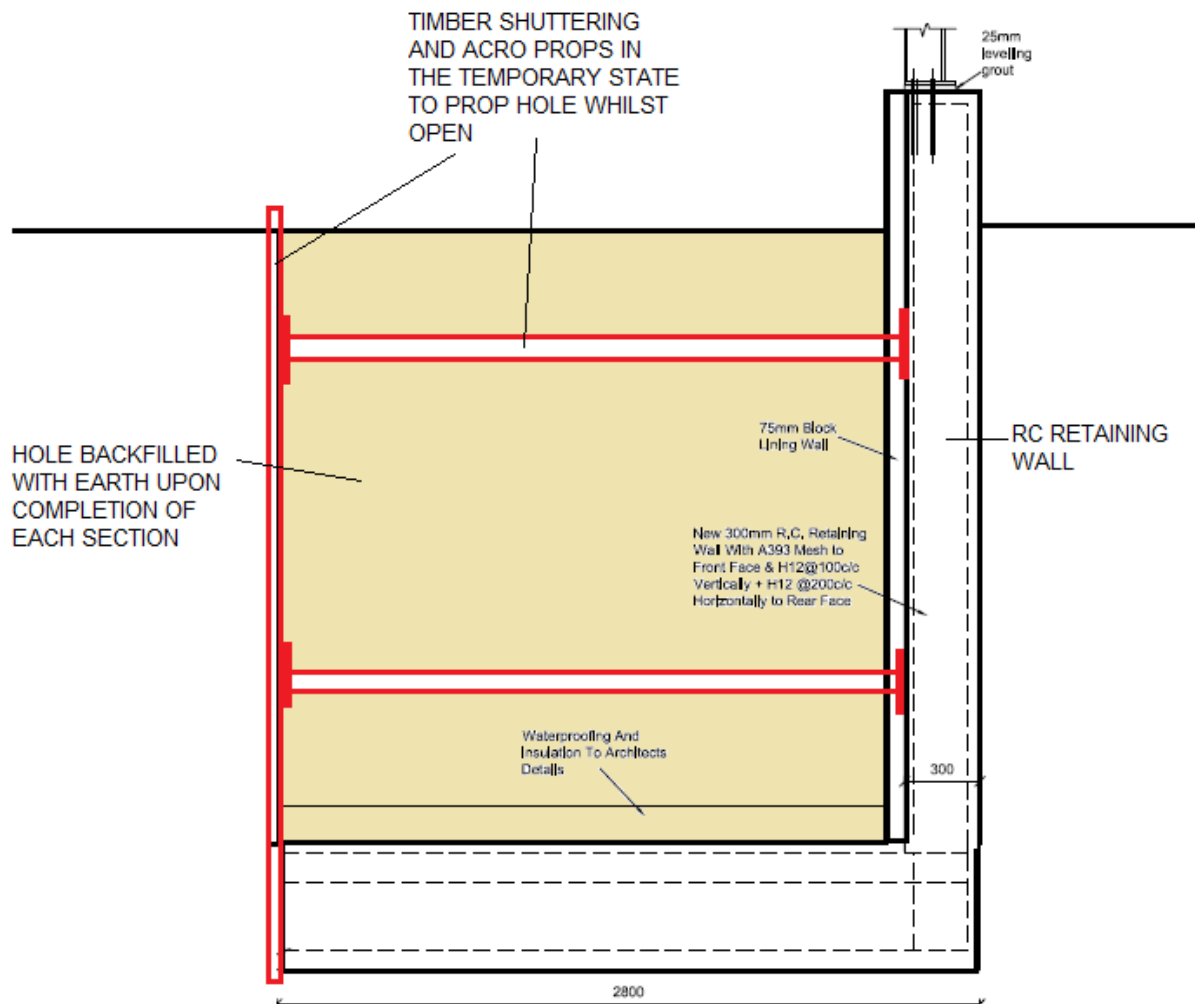


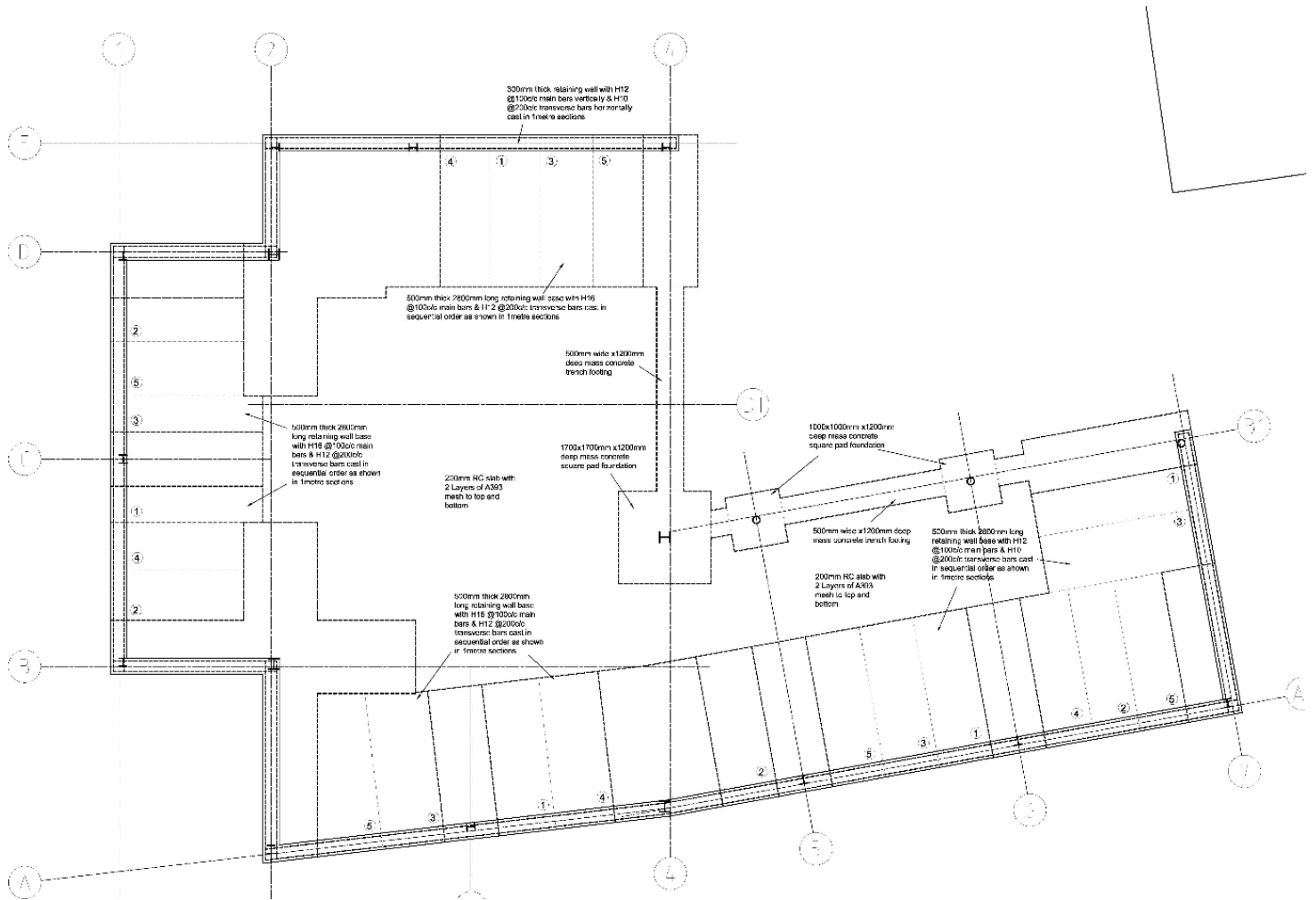


BASEMENT CONSTRUCTION , EXCAVATION AND TEMPORARY WORKS

The basement retaining wall will be formed in a series of retaining wall sections. Please refer to engineer's drawings attached for details of construction method. Each section will be

- 1 Excavated in a sequence shown on the engineer's drawings
- 2 Propped in the temporary condition with ply sheeting, timber boards and Acro props as drawing below
- 3 Reinforcement will be prepared and then the section in question shuttered and concrete poured
- 4 Adjacent sections will have cross reinforcement bars drilled into the adjacent section to ensure continuity of reinforcement
- 5 The RC section will be propped as described above whilst the concrete cures
- 6 Once the concrete has fully cured the shuttering will be removed and the section backfilled with earth whilst adjacent sections are formed
- 7 Upon completion of all the sections the earth will be excavated from the basement area and the basement ground slab poured.

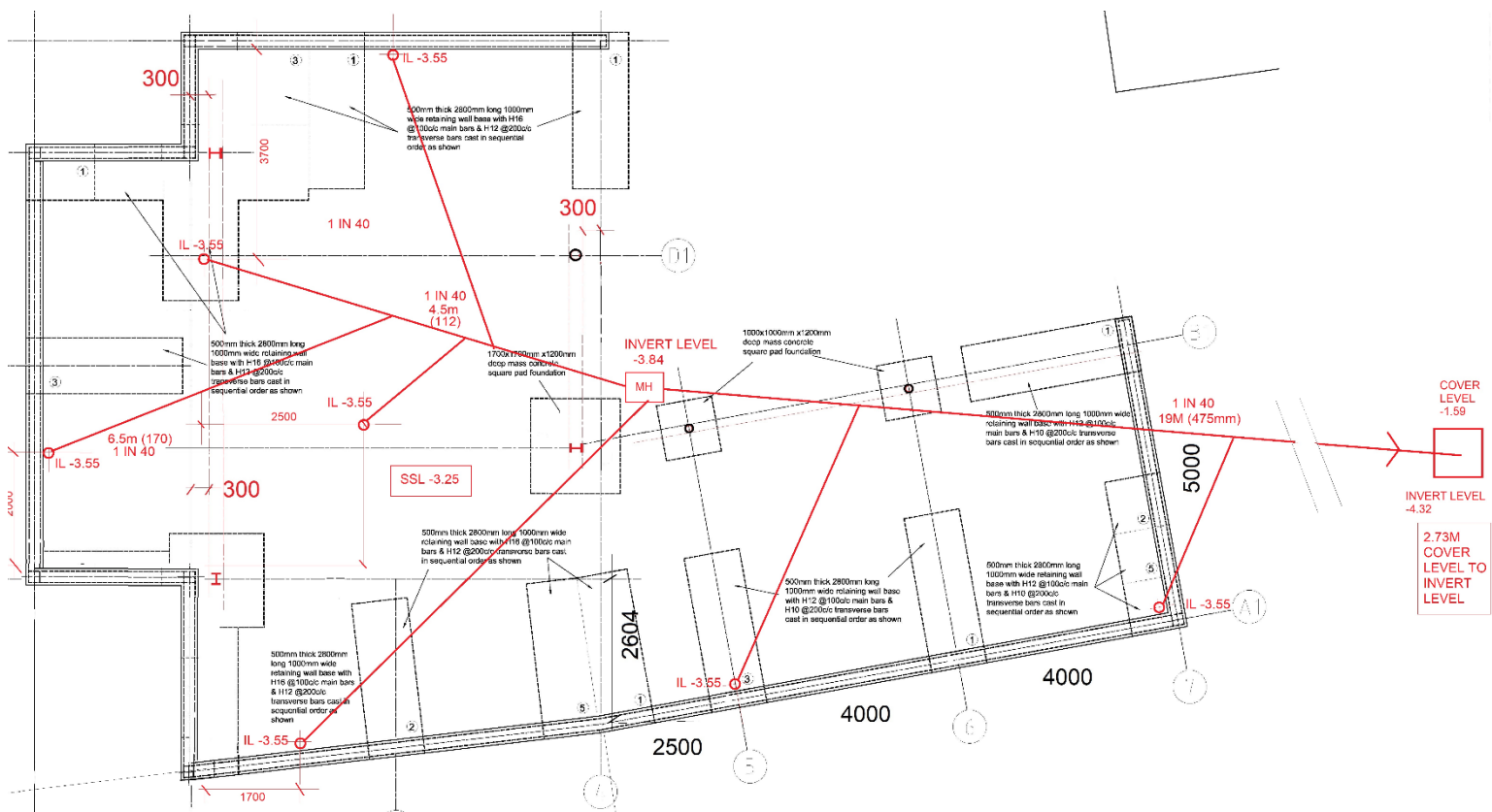




PERMANENT BASEMENT STRUCTURE EXECUTED IN STAGES AS INDICATED
ON THE ENGINEER'S DRAWINGS

DRAINAGE

A drainage survey has been carried out and found that there is a last combined drainage inspection chamber to the front of the property adjacent to Millfield Lane. The invert level of this drain is far enough below the new proposed basement level that the new drains below basement slab can run to falls to this drain without the need of pumping.



PROPOSED DRAINAGE LAYOUT SHOWING THAT ALL DRAINS CAN FALL UNDER GRAVITY TO EXISTING LAST INSPECTION CHAMBER ADJACENT TO 2 MILLFIELD LANE

FLOOD RISK MITIGATION

The ground water analysis is covered within the main basement impact assessment.

In terms of flood risk mitigation during construction works, bore hole data has revealed that there is no standing water likely to be encountered within the excavations from natural ground water. Water which may find it's way into excavations from rain water or surface water will be pumped out as required.

CONTROL OF CONSTRUCTION WORKS

Day to day construction will be monitored by a permanent site agent who will be on site permanently during construction works, and will be responsible for the sequencing and execution of the works.

Inspections will be carried out by Andy Down of Archplan Architects 2 or 3 times per week during the basement construction phase of the project.

Periodic inspections will take place by Assent building control , to monitor all key stages of the project.

Martin Redston Structural engineer's will be employed throughout the project and will be reported to by the inspecting Architect as required.