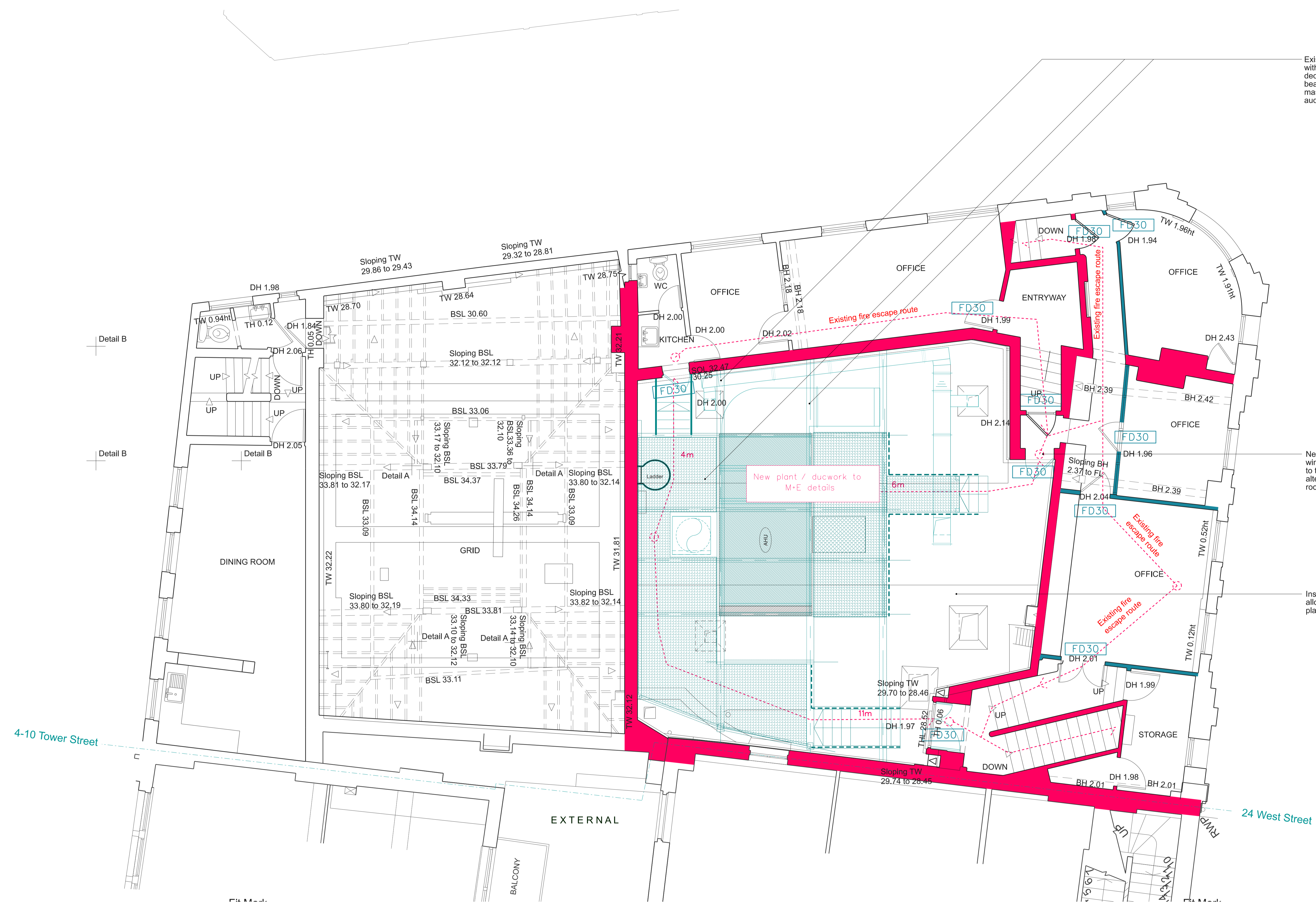


Existing undersized and outdated plant replaced with new plant supported on new plant deck. Plant deck structure to be supported with new steel beams spanning from party wall to external masonry wall to relieve loads on existing auditorium dome



New door formed within existing window sizes to allow for access to the new roof plant and provide alternative means of escape from roof plant

Install new external lighting to allow for safe access to new plant

- Key**
- Existing
 - Proposed
- Fire Notes**
- Fire rated 30 minutes (R,E,I)
 - Fire rated 60 minutes (R,E,I)
- Doors and Windows**
- FD30 Fire door 30 mins
 - FD30S Fire door 30 mins with seals
 - FD60 Fire door 60 mins
 - FD60S Fire door 60 mins with seals

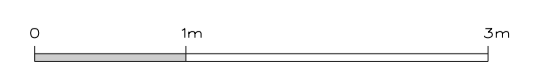
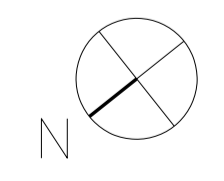
Note: all existing doors along existing fire escapes that are unaffected by the proposed works are considered FD30 doors - no additional works are required to these doors to increase their fire rating
 All new doors along the new compartment wall at back of stalls to be FD60s

Refer to M+E specifications for the proposed lighting, heating and ventilation strategy details.

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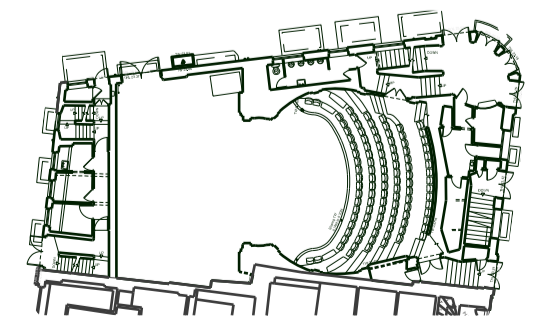
08/07/22	Fire strategy for review
Rev:	Date:
	Description:

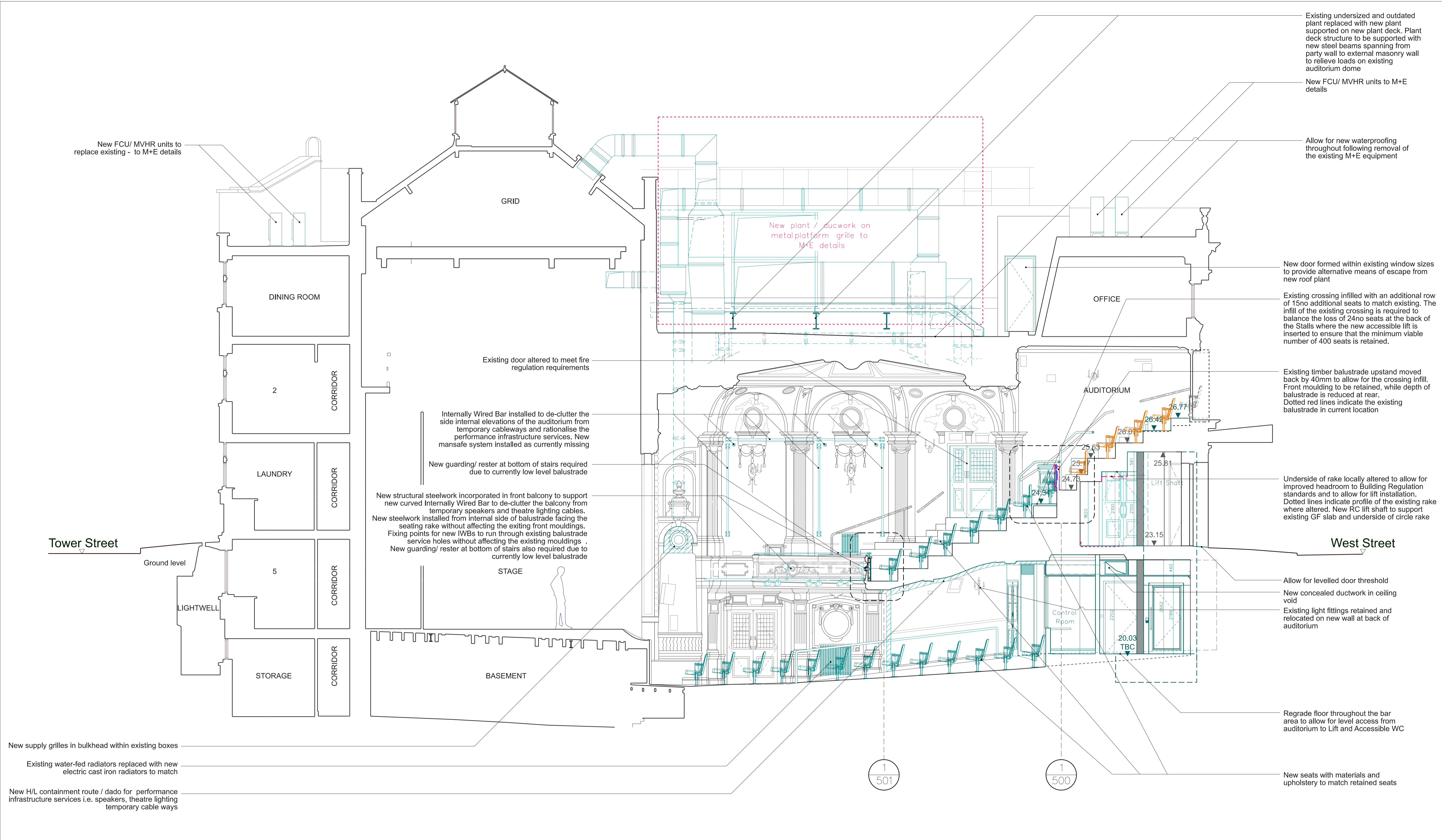
Job: 2201 Ambassadors Theatre
 Client: Ambassador Theatre Group

Drawing: Proposed 2F Fire Strategy
 Drawing no: 2201-3-152
 Scale: 1:50@A1, 1:100@A3

Rev: Status: Stage 3
 Date: 08/07/22

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 t : 02030959732
 e : everyone@citizensdesignbureau.net





Existing undersized and outdated plant replaced with new plant supported on new plant deck. Plant deck structure to be supported with new steel beams spanning from party wall to external masonry wall to relieve loads on existing auditorium dome

New FCU/ MVHR units to M+E details

Allow for new waterproofing throughout following removal of the existing M+E equipment

New door formed within existing window sizes to provide alternative means of escape from new roof plant

Existing crossing infilled with an additional row of 15no additional seats to match existing. The infill of the existing crossing is required to balance the loss of 24no seats at the back of the Stalls where the new accessible lift is inserted to ensure that the minimum viable number of 400 seats is retained.

Existing timber balustrade upstand moved back by 40mm to allow for the crossing infill. Front moulding to be retained, while depth of balustrade is reduced at rear. Dotted red lines indicate the existing balustrade in current location

Underside of rake locally altered to allow for improved headroom to Building Regulation standards and to allow for lift installation. Dotted lines indicate profile of the existing rake where altered. New RC lift shaft to support existing GF slab and underside of circle rake

Allow for levelled door threshold

New concealed ductwork in ceiling void

Existing light fittings retained and relocated on new wall at back of auditorium

Regrade floor throughout the bar area to allow for level access from auditorium to Lift and Accessible WC

New seats with materials and upholstery to match retained seats

New FCU/ MVHR units to replace existing - to M+E details

New plant / ducwork on metal platform grille to M+E details

Existing door altered to meet fire regulation requirements

Internally Wired Bar installed to de-clutter the side internal elevations of the auditorium from temporary cableways and rationalise the performance infrastructure services. New mansafe system installed as currently missing

New guarding/ rester at bottom of stairs required due to currently low level balustrade

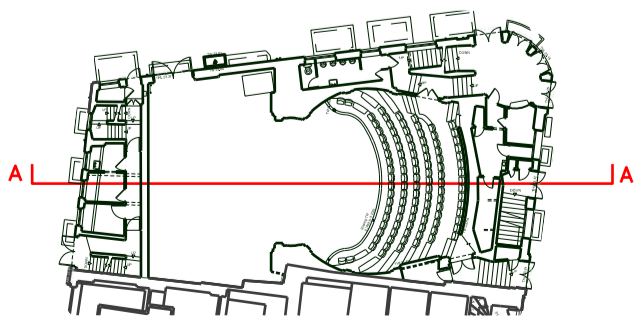
New structural steelwork incorporated in front balcony to support new curved Internally Wired Bar to de-clutter the balcony from temporary speakers and theatre lighting cables. New steelwork installed from internal side of balustrade facing the seating rake without affecting the existing front mouldings. Fixing points for new IWBs to run through existing balustrade service holes without affecting the existing mouldings. New guarding/ rester at bottom of stairs also required due to currently low level balustrade

New supply grilles in bulkhead within existing boxes

Existing water-fed radiators replaced with new electric cast iron radiators to match

New H/L containment route / dado for performance infrastructure services i.e. speakers, theatre lighting temporary cable ways

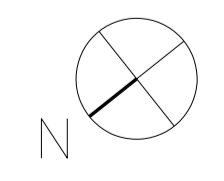
- Key**
- Existing
 - Existing demolished
 - Existing seating retained and refurbished
 - Existing balustrade panelling moved back by 40mm
 - Proposed



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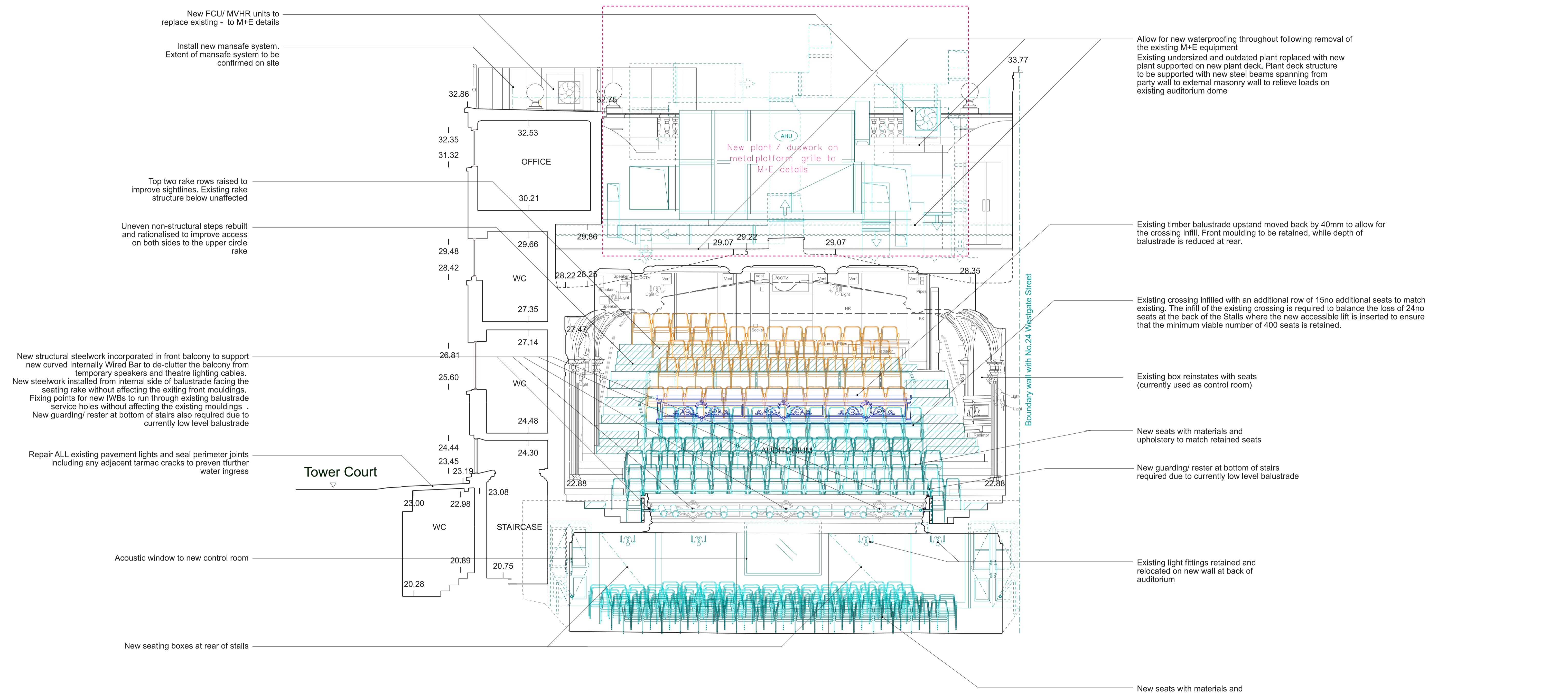


Rev:	Date:	Description:
C	20/07/22	Planning
B	19/07/22	Planning
A	13/07/22	Planning
/	17/06/22	Planning

Job: 2201 Ambassadors Theatre
Client: Ambassador Theatre Group

Drawing: Proposed Section AA
Drawing no: 2201-3-220 Rev: C Status: Stage 3
Scale: 1:50@A1, 1:100@A3 Date: 17/06/22

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New FCU/ MVHR units to replace existing - to M+E details

Install new mansafe system. Extent of mansafe system to be confirmed on site

Allow for new waterproofing throughout following removal of the existing M+E equipment

Existing undersized and outdated plant replaced with new plant supported on new plant deck. Plant deck structure to be supported with new steel beams spanning from party wall to external masonry wall to relieve loads on existing auditorium dome

Top two rake rows raised to improve sightlines. Existing rake structure below unaffected

Uneven non-structural steps rebuilt and rationalised to improve access on both sides to the upper circle rake

Existing timber balustrade upstand moved back by 40mm to allow for the crossing infill. Front moulding to be retained, while depth of balustrade is reduced at rear.

New structural steelwork incorporated in front balcony to support new curved Internally Wired Bar to de-clutter the balcony from temporary speakers and theatre lighting cables. New steelwork installed from internal side of balustrade facing the seating rake without affecting the exiting front mouldings. Fixing points for new IWBs to run through existing balustrade service holes without affecting the existing mouldings. New guarding/ rester at bottom of stairs also required due to currently low level balustrade

Existing crossing infilled with an additional row of 15no additional seats to match existing. The infill of the existing crossing is required to balance the loss of 24no seats at the back of the Stalls where the new accessible lift is inserted to ensure that the minimum viable number of 400 seats is retained.

Repair ALL existing pavement lights and seal perimeter joints including any adjacent tarmac cracks to prevent further water ingress

Existing box reinstates with seats (currently used as control room)

New seats with materials and upholstery to match retained seats

New guarding/ rester at bottom of stairs required due to currently low level balustrade

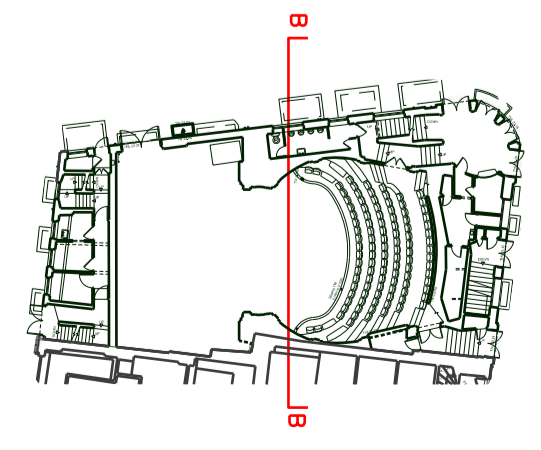
Acoustic window to new control room

Existing light fittings retained and relocated on new wall at back of auditorium

New seating boxes at rear of stalls

New seats with materials and upholstery to match retained seats

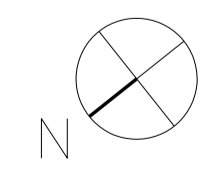
- Key**
- Existing
 - Existing demolished
 - Existing seating retained and refurbished
 - Existing balustrade panelling moved back by 40mm
 - Proposed



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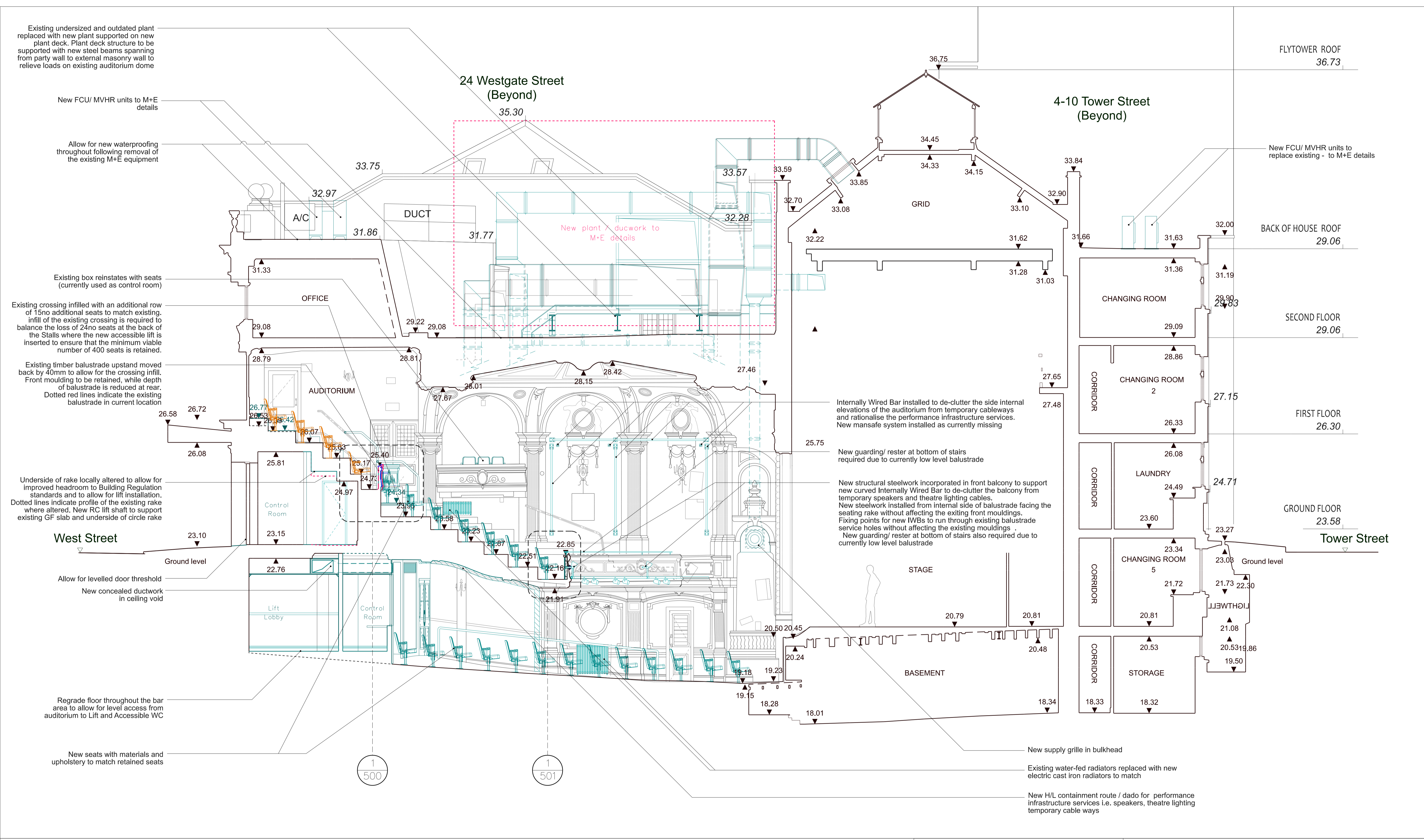


Rev:	Date:	Description
B	20/07/22	Planning
A	13/07/22	Planning
/	17/06/22	Planning
Rev:	Date:	Description

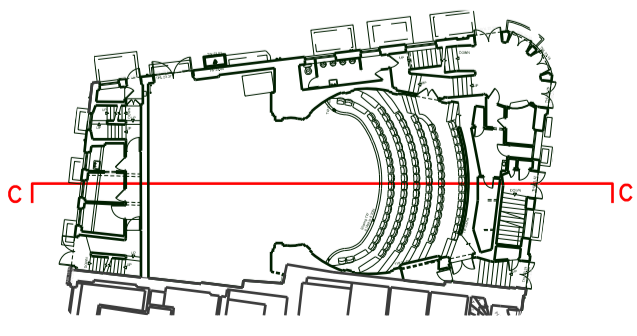
Job: 2201 Ambassadors Theatre
Client: Ambassador Theatre Group

Drawing: Proposed Section BB
Drawing no: 2201-3-221 Rev: B Status: Stage 3
Scale: 1:50@A1, 1:100@A3 Date: 17/06/22

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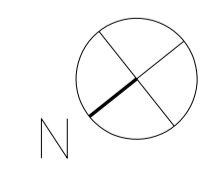
- Key**
- Existing
 - Existing demolished
 - Existing seating retained and refurbished
 - Existing balustrade panelling moved back by 40mm
 - Proposed



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B	20/07/22	Planning
A	13/07/22	Planning
I	17/06/22	Planning
Rev:	Date:	Description:

Job: 2201 Ambassadors Theatre
Client: Ambassador Theatre Group

Drawing: Proposed Section CC
Drawing no: 2201-3-222
Rev: B
Status: Stage 3

Scale: 1:50@A1, 1:100@A3
Date: 17/06/22

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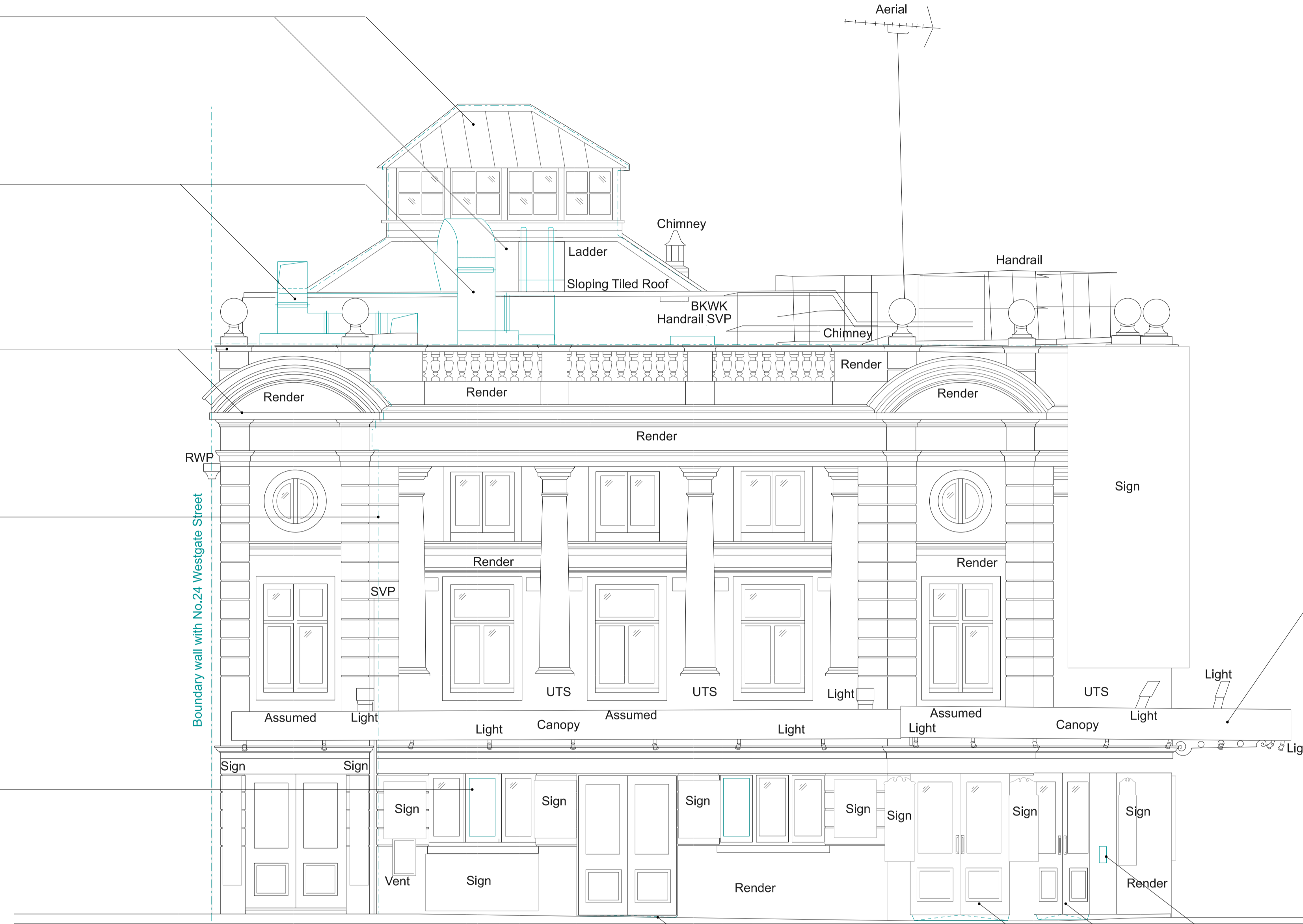
Replace/ reinstate slipped, missing or broken tiles with new slates to match. Remove temporary bitumen repairs and reinstate with matching slates.
 Reinststate roof slates with slates to match existing where unknown slates have been used for roof repairs
 Redecorate timber elements of the lantern and reinststate/ repair the lead flashing where missing or misplaced to prevent the deterioration and decay of the lantern timber elements

New M+E roof equipment behind second floor parapet

Clean, repoint and repair all masonry parapets, coping stones and flashings to prevent water ingress

New lightning system to follow existing rain water pipes route

Existing extract grille removed and window pane reinststate to match existing

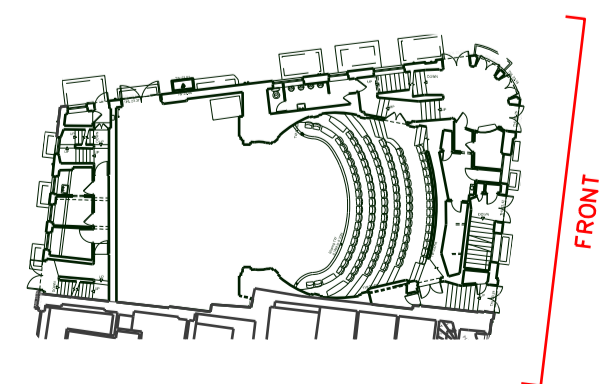


Painted steelwork supporting the glazed canopy to be refurbished/ redecorated to address isolated corrosion and peeling of decorative finishes to prevent further deterioration/ further corrosion.

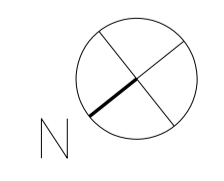
Allow for levelled door thresholds and low energy automatic swing/ power assisted door openers and intercom installed to improve access for wheelchair users. Existing cills repaired as required

Key
 Existing
 Proposed

Note:
 Mansafe system installed to allow for access and maintenance of roof and gutters. Final mansafe layout to be determined following roof inspection.
 Clean, repoint and repair all masonry parapets and coping stones to prevent water ingress.
 Refurbish existing windows throughout.
 Fractures, low level impact damage, blown/ detached surfaces and blistering/ peeling paint in stucco render surfaces to be repaired to prevent further deterioration and detachment of Stucco render surfaces. Fractured and impact damaged stone/ stucco window collared to be repaired as well to prevent potential water ingress and further deterioration.
 Isolated bricks were fractured, with minor impact/ abrasion damage at low level to be replaced in matching brick/ repaired to prevent water ingress into the structure. Isolated soiling and graffiti to be cleaned.
 Painted steelwork supporting the glazed canopy to be refurbished/ redecorated to address isolated corrosion and peeling of decorative finishes to prevent further deterioration/ further corrosion.
 All rainwater downpipes to be cleared. Where existing original elements need to be replaced, replace with like for like.



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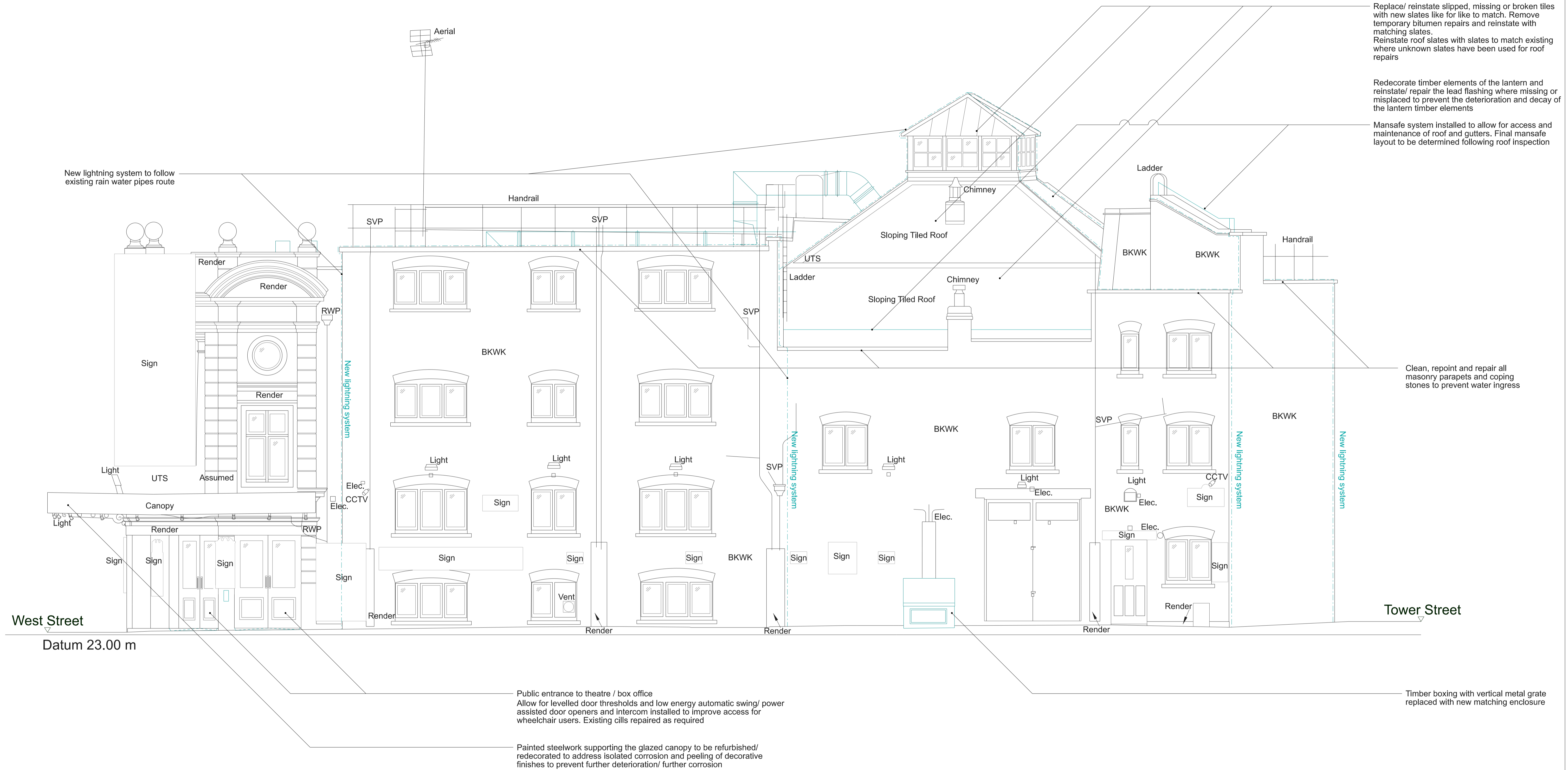


Rev:	Date:	Description
A	13/07/22	Planning
/	17/06/22	Planning
Rev:	Date:	Description

Job: 2201 Ambassadors Theatre
 Client: Ambassador Theatre Group

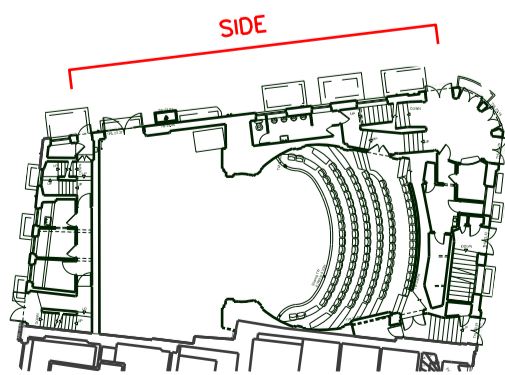
Drawing: Proposed Front Elevation
 Drawing no: 2201-3-300 Rev: A Status: Stage 3
 Scale: 1:50@A1, 1:100@A3 Date: 17/06/22

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Key
 Existing
 Proposed

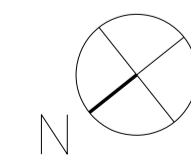
Note:
 Mansafe system installed to allow for access and maintenance of roof and gutters. Final mansafe layout to be determined following roof inspection.
 Clean, repoint and repair all masonry parapets and coping stones to prevent water ingress.
 Refurbish existing windows throughout.
 Fractures, low level impact damage, blown/ detached surfaces and blistering/ peeling paint in stucco render surfaces to be repaired to prevent further deterioration and detachment of Stucco render surfaces. Fractured and impact damaged stone/ stucco window collared to be repaired as well to prevent potential water ingress and further deterioration.
 Isolated bricks were fractured, with minor impact/ abrasion damage at low level to be replaced in matching brick/ repaired to prevent water ingress into the structure. Isolated soiling and graffiti to be cleaned.
 Painted steelwork supporting the glazed canopy to be refurbished/ redecorated to address isolated corrosion and peeling of decorative finishes to prevent further deterioration/ further corrosion.
 All rainwater downpipes to be cleared. Where existing original elements need to be replaced, replace with like for like.



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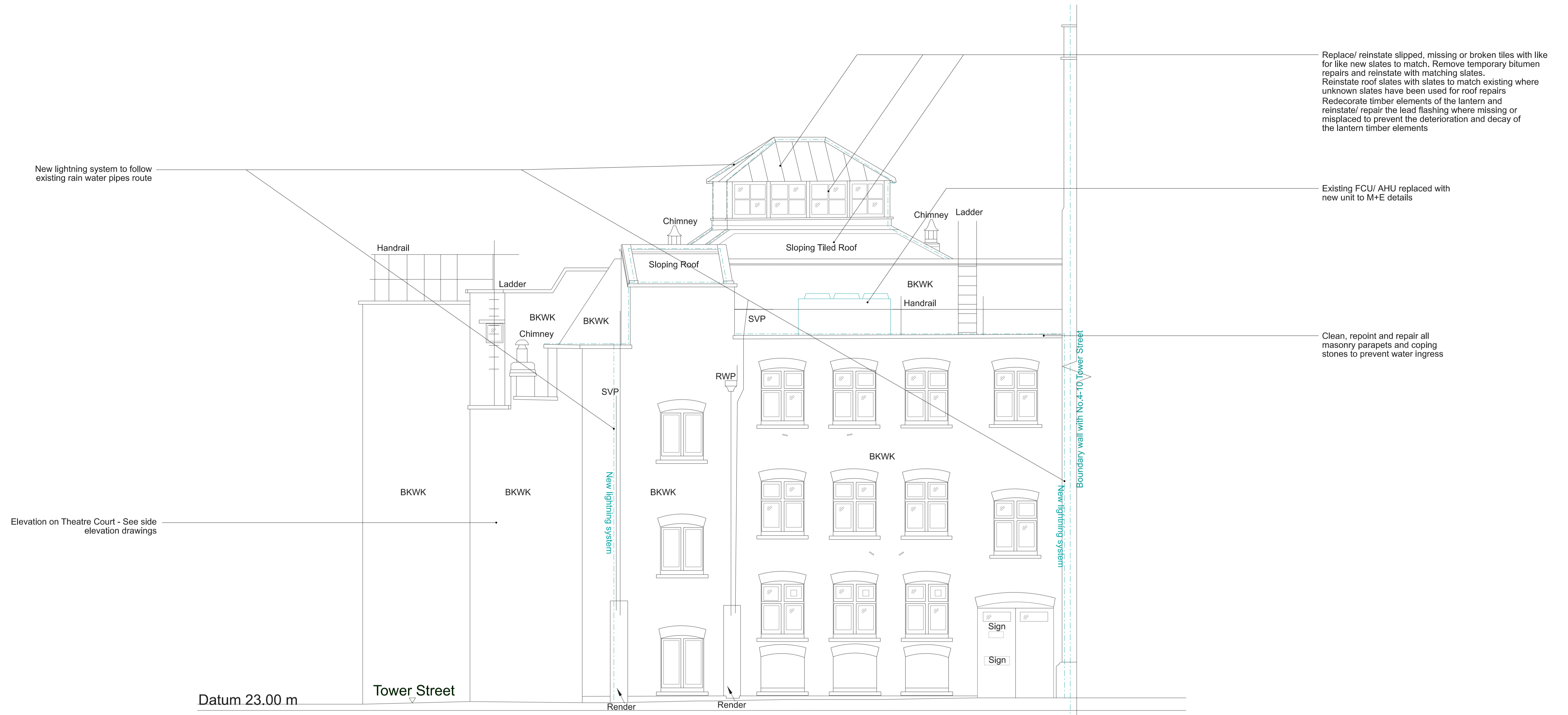


Rev:	Date:	Description
A	13/07/22	Planning
/	17/06/22	Planning
Rev:	Date:	Description

Job: 2201 Ambassadors Theatre
 Client: Ambassador Theatre Group

Drawing: Proposed Side Elevation
 Drawing no: 2201-3-301 Rev: A Status: Stage 3
 Scale: 1:50@A1, 1:100@A3 Date: 17/06/22

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Elevation on Theatre Court - See side elevation drawings

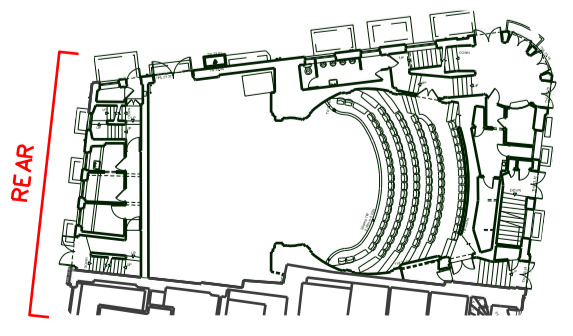
Replace/ reinstate slipped, missing or broken tiles with like for like new slates to match. Remove temporary bitumen repairs and reinstate with matching slates.
Reinstate roof slates with slates to match existing where unknown slates have been used for roof repairs
Redecorate timber elements of the lantern and reinstate/ repair the lead flashing where missing or misplaced to prevent the deterioration and decay of the lantern timber elements

Existing FCU/ AHU replaced with new unit to M+E details

Clean, repoint and repair all masonry parapets and coping stones to prevent water ingress

Key
 Existing
 Proposed

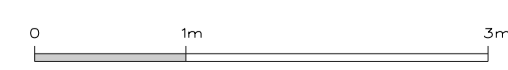
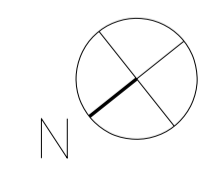
Note:
 Mansafe system installed to allow for access and maintenance of roof and gutters. Final mansafe layout to be determined following roof inspection.
 Clean, repoint and repair all masonry parapets and coping stones to prevent water ingress.
 Refurbish existing windows throughout.
 Fractures, low level impact damage, blown/ detached surfaces and blistering/ peeling paint in stucco render surfaces to be repaired to prevent further deterioration and detachment of Stucco render surfaces. Fractured and impact damaged stone/ stucco window collared to be repaired as well to prevent potential water ingress and further deterioration.
 Isolated bricks were fractured, with minor impact/ abrasion damage at low level to be replaced in matching brick/ repaired to prevent water ingress into the structure. Isolated soiling and graffiti to be cleaned.
 Painted steelwork supporting the glazed canopy to be refurbished/ redecorated to address isolated corrosion and peeling of decorative finishes to prevent further deterioration/ further corrosion.
 All rainwater downpipes to be cleared. Where existing original elements need to be replaced, replace with like for like.



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Rev:	Date:	Description
A	13/07/22	Planning
I	17/06/22	Planning
Rev:	Date:	Description

Job: 2201 Ambassadors Theatre
 Client: Ambassador Theatre Group

Drawing: Proposed Rear Elevation
 Drawing no: 2201-3-302 Rev: A Status: Stage 3
 Scale: 1:50@A1, 1:100@A3 Date: 17/06/22

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