



LOCATION PLAN
1:1250



Site plan
1:500



Key

- Boundary Line
- Demolished

Schedule of Areas

Total Site Area 271.26 s.q.m.	
Existing Residential 85.55 s.q.m.	Existing Non-Residential 0.00 s.q.m.
Residential area lost by change of use or demolition 0.00 s.q.m.	Non Residential area lost by change of use or demolition 0.00 s.q.m.
Proposed Residential 0.00 s.q.m.	Proposed Non-Residential 0.00 s.q.m.
Net additional area 0.00 s.q.m.	

Rev No.	Date	Description
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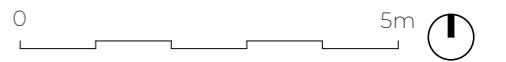
Notes:

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Dwg No 05cMO-A-01-001	Drawn UPP
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Drawing Location Plan	Checked UPP
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Scale As indicated @ A3	Issue Date 31.05.2022
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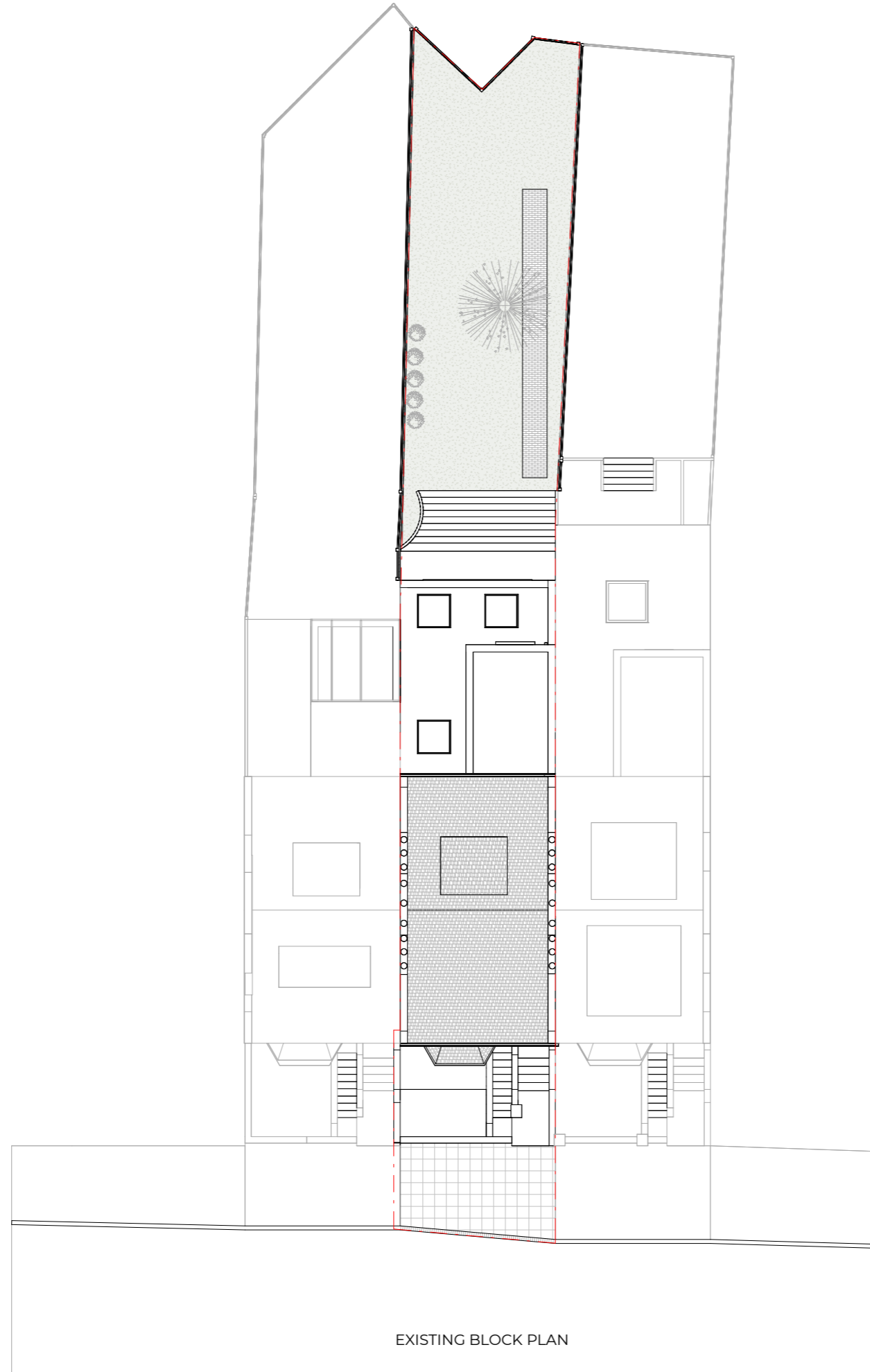


Project Address
5c Montpellier Road, Kentish Town, NW5 2XD

Client Mark Bullard	Status For Planning
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Key

- Boundary Line
- Demolished



EXISTING BLOCK PLAN

Rev No.	Date	Description
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Dwg No	Drawn
05cMO-A-01-002	UPP

Drawing	Checked
Block plans	UPP

Scale	Issue Date
1:200 @ A3	31.05.2022



Project Address
5c Montpelier Road, Kentish Town, NW5 2XD

Client	Status
Mark Bullard	For Planning

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Farm Road, London, NW1
BAH





Key
 - - - - - Boundary Line
 - - - - - Demolished

Rev No.	Date	Description
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Dwg No	Drawn
05cMO-A-02-001	UPP

Drawing	Checked
Existing Front Visualization	UPP

Scale	Issue Date
@ A3	31.05.2022

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Key

— — — — — Boundary Line

- - - - - Demolished

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Dwg No	Drawn
05cMO-A-02-002	UPP

Drawing	Checked
Existing Rear Visualization	UPP

Scale	Issue Date
@ A3	31.05.2022

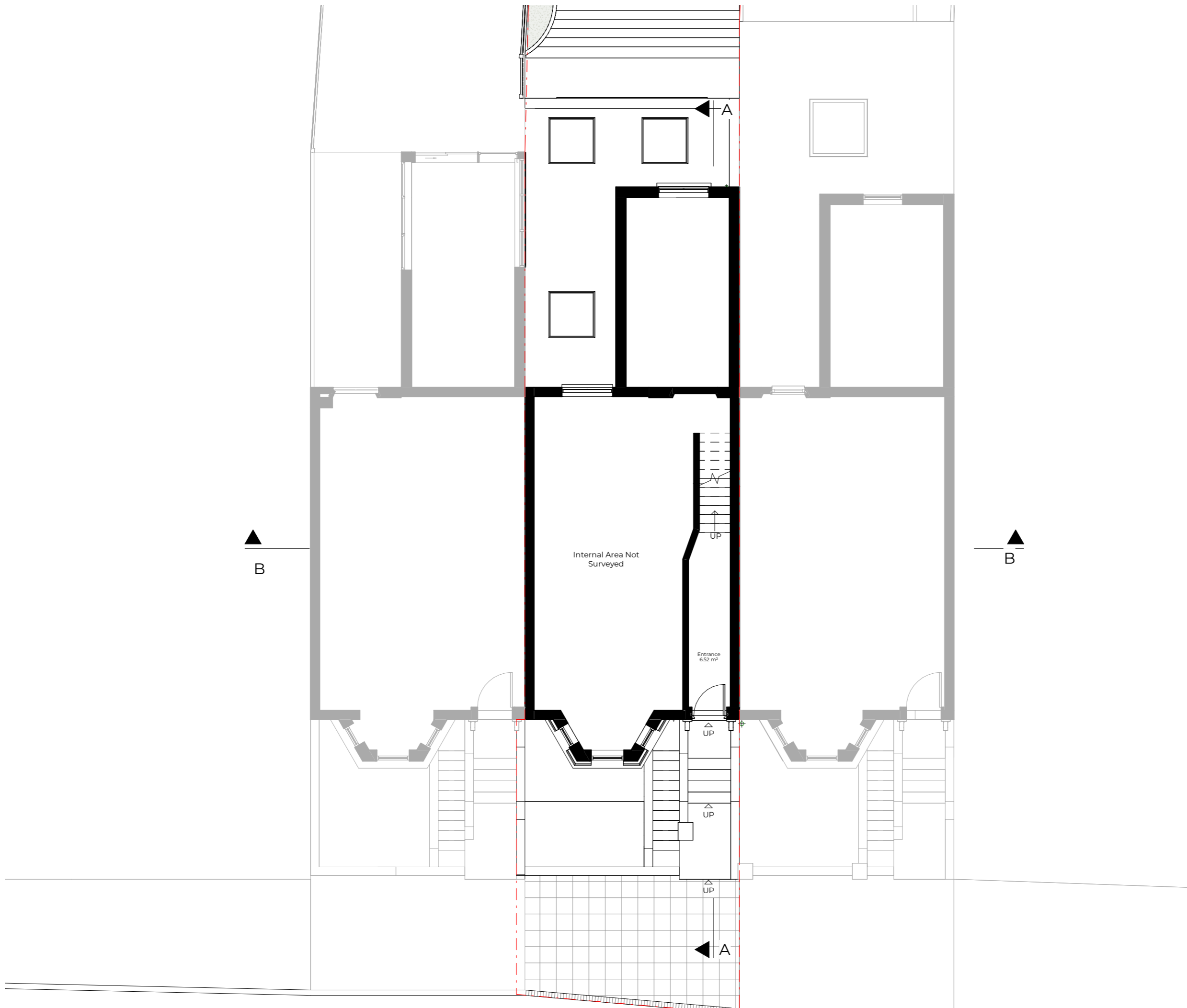
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Key

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Dwg No	Drawn
05cMO-A-03-001	UPP

Drawing	Checked
Existing Ground Floor Plan	UPP

Scale	Issue Date
1:100 @ A3	31.05.2022

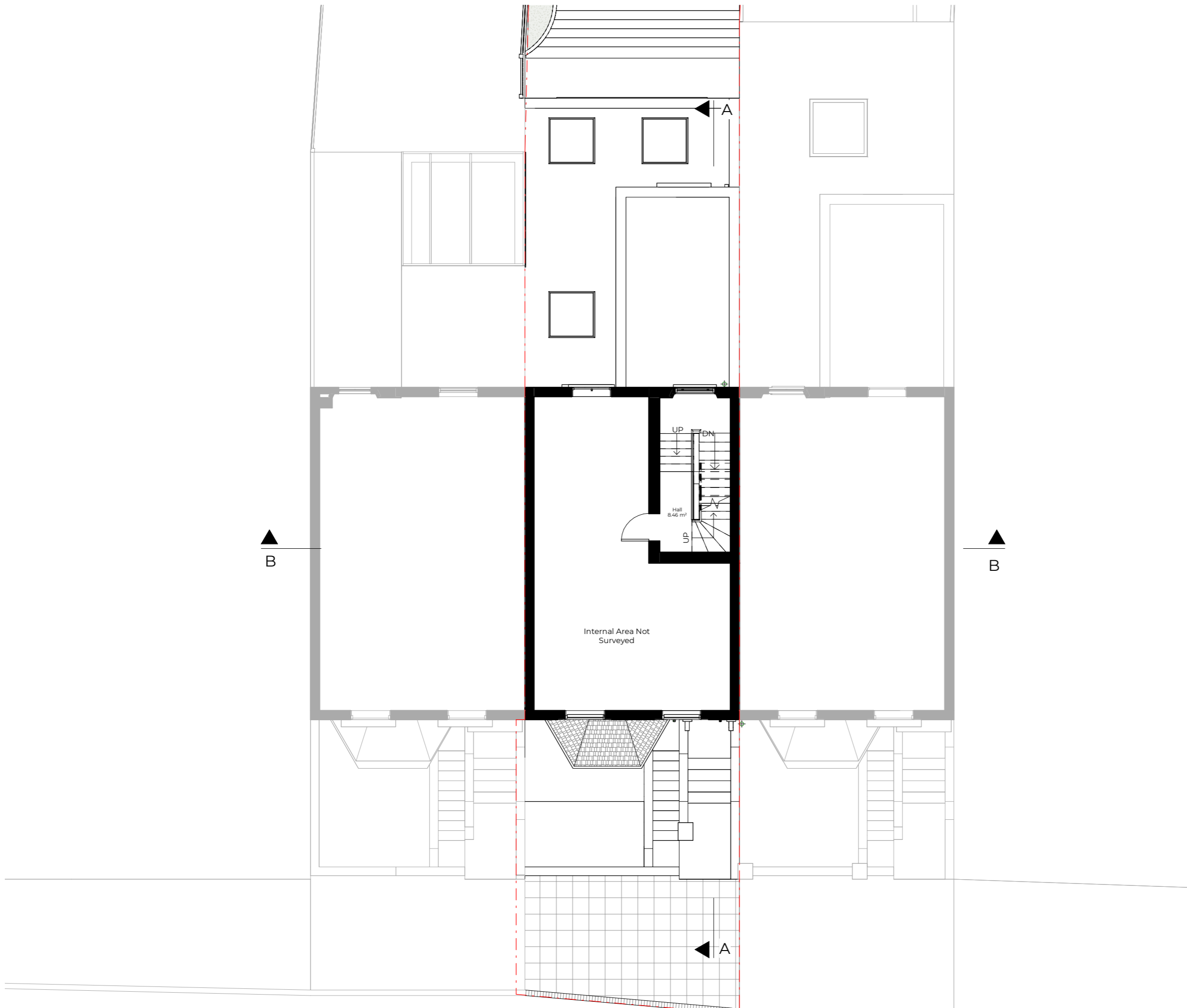


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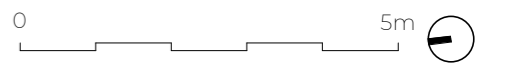
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Dwg No	Drawn
05cMO-A-03-002	UPP

Drawing	Checked
Existing First Floor Plan	UPP

Scale	Issue Date
1:100 @ A3	31.05.2022

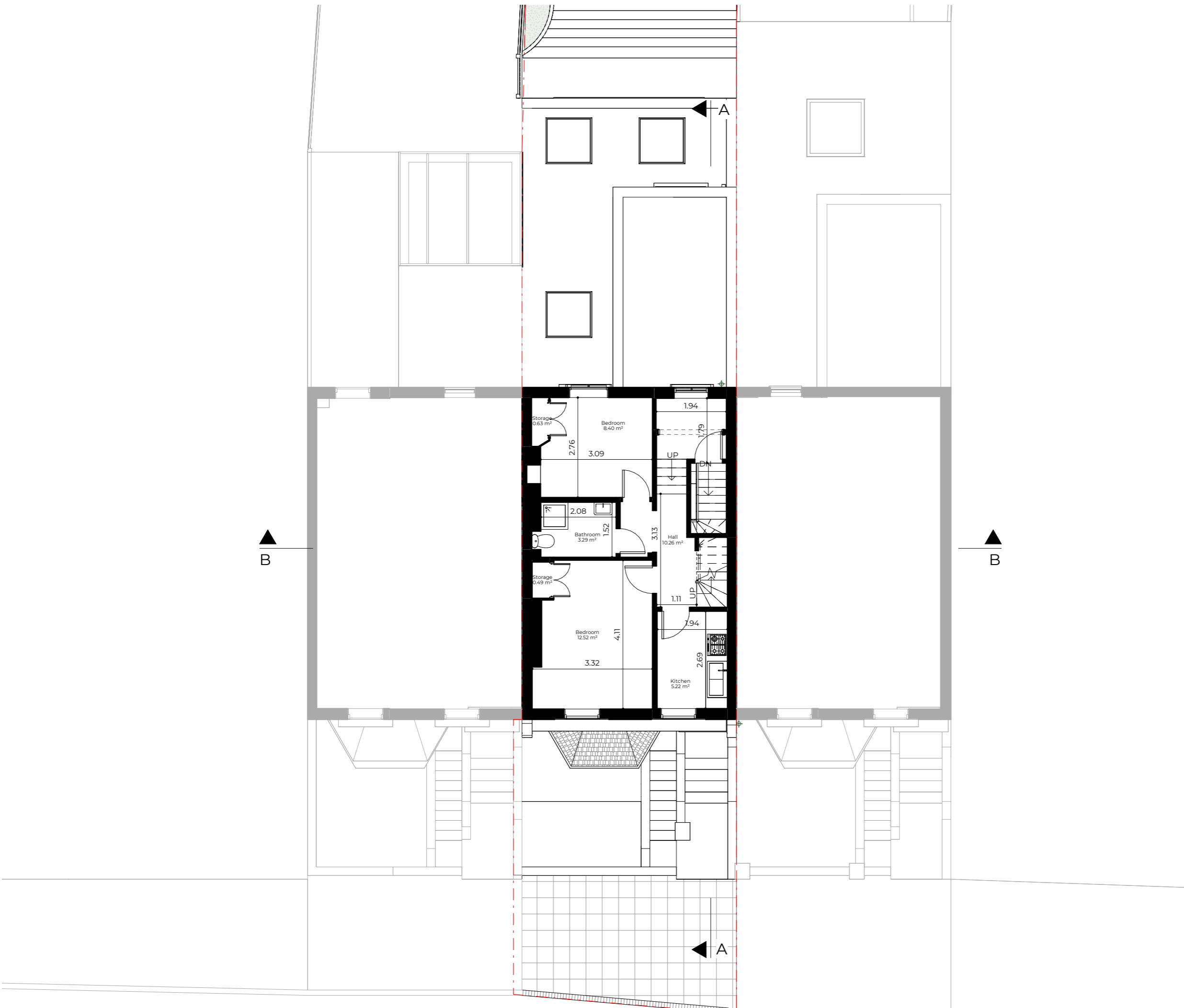


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Dwg No 05cMO-A-03-003	Drawn UPP
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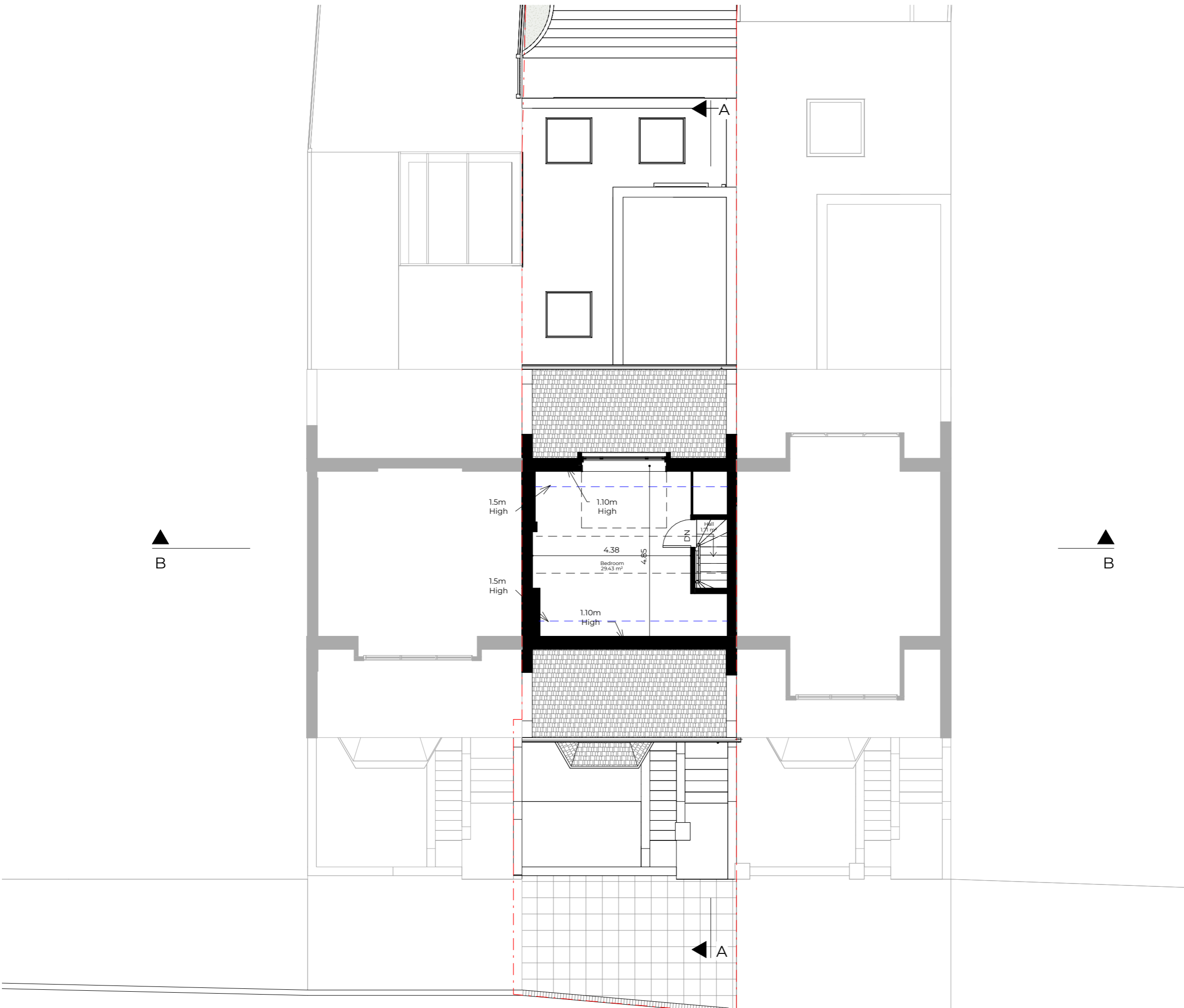
Drawing Existing Second Floor Plan	Checked UPP
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Scale 1:100 @ A3	Issue Date 31.05.2022
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5c Montpelier Road, Kentish Town, NW5 2XD

Client Mark Bullard	Status For Planning
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Dwg No 05cMO-A-03-004	Drawn UPP
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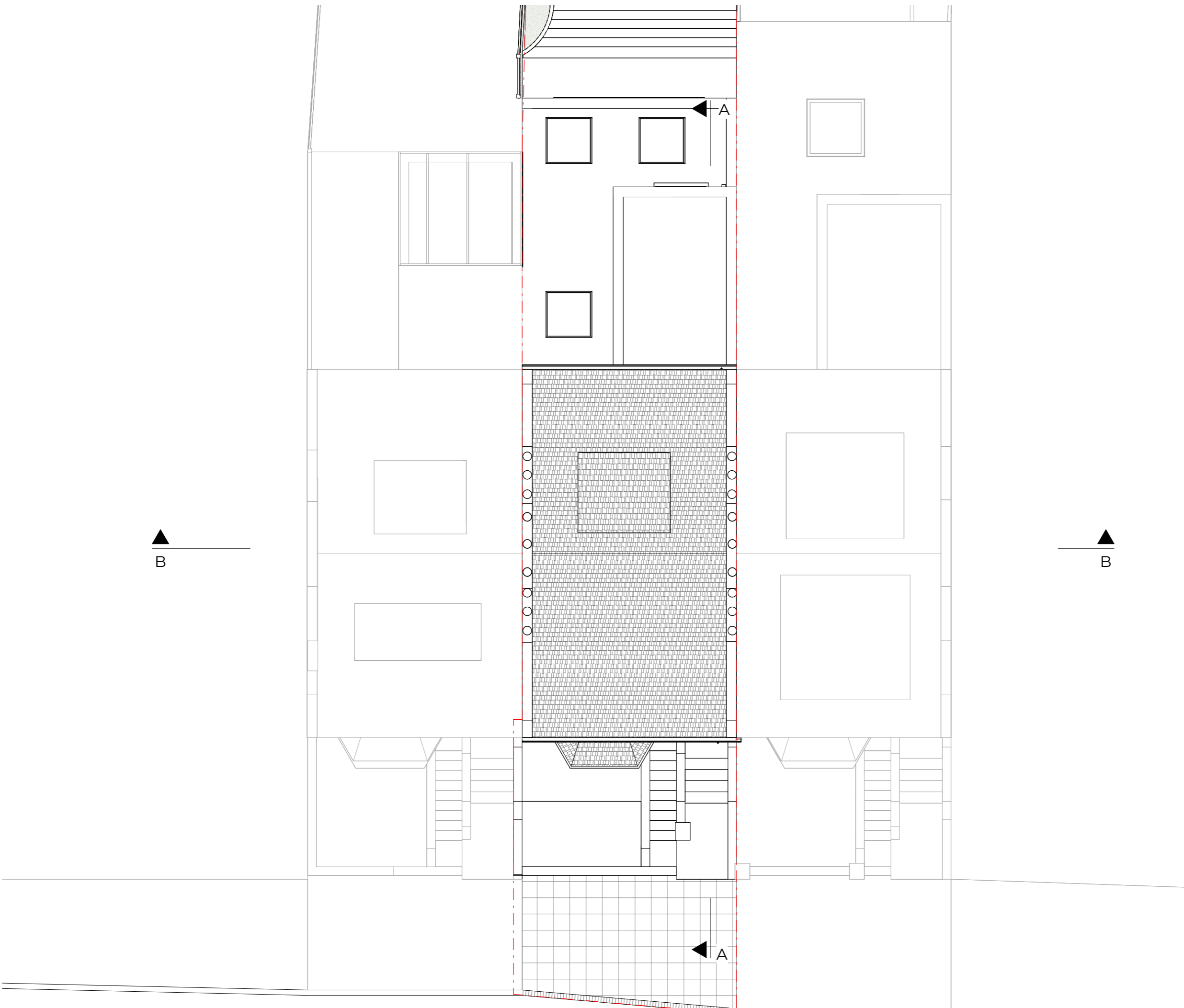
Drawing Existing Loft Floor Plan	Checked UPP
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Scale 1:100 @ A3	Issue Date 31.05.2022
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Client Mark Bullard	Status For Planning
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Dwg No	Drawn
05cMO-A-03-005	UPP

Drawing	Checked
Existing Roof Plan	UPP

Scale	Issue Date
1:100 @ A3	31.05.2022



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Key

--- Boundary Line

- - - Demolished



11.562 ▼ 05 - ROOF

8.520 ▼ 03 - LOFT FLOOR

5.770 ▼ 02 - SECOND FLOOR

2.880 ▼ 01 - FIRST FLOOR

0.000 ▼ 00 - GROUND FLOOR

0.000 ▼ Basement

Rev No.	Date	Description
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Dwg No	05cMO-A-05-001	Drawn	UPP
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Drawing	Existing Section A-A'	Checked	UPP
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Scale	1:100 @ A3	Issue Date	31.05.2022
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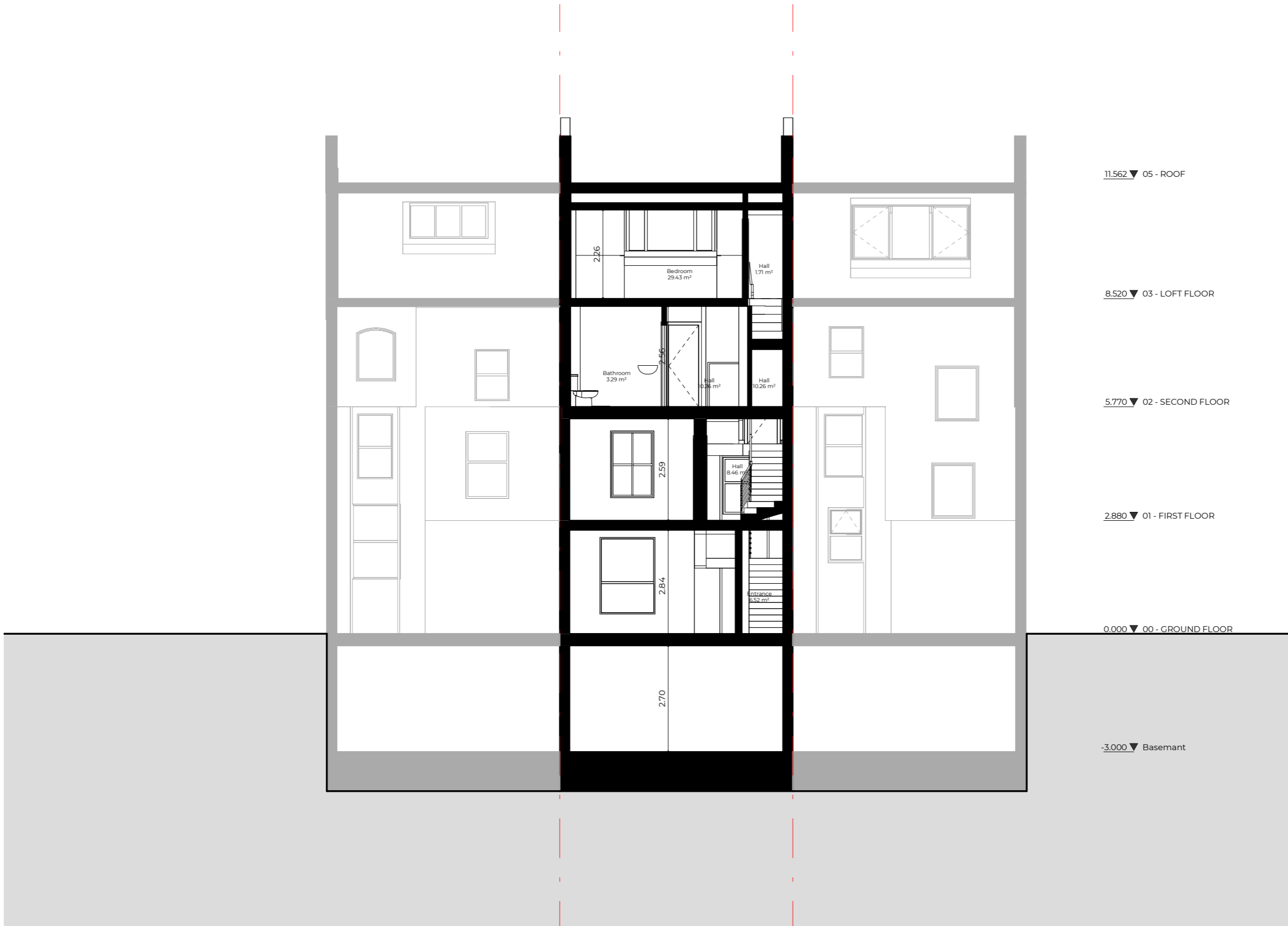
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Farm Road, London, NW1
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Key

--- Boundary Line

- - - Demolished



11.562 ▼ 05 - ROOF

8.520 ▼ 03 - LOFT FLOOR

5.770 ▼ 02 - SECOND FLOOR

2.880 ▼ 01 - FIRST FLOOR

0.000 ▼ 00 - GROUND FLOOR

-3.000 ▼ Basemant

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Dwg No	05cMO-A-05-002	Drawn	UPP
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Drawing	Existing Section B-B'	Checked	UPP
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Scale	1:100 @ A3	Issue Date	31.05.2022
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5c Montpelier Road, Kentish Town, NW5 2XD

Client	Mark Bullard	Status	For Planning
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Key

— — — — — Boundary Line

- - - - - Demolished



11.562 ▼ 05 - ROOF

8.520 ▼ 03 - LOFT FLOOR

5.770 ▼ 02 - SECOND FLOOR

2.880 ▼ 01 - FIRST FLOOR

0.000 ▼ 00 - GROUND FLOOR

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Dwg No	Drawn
05cMO-A-06-001	UPP

Drawing	Checked
Existing West Elevation	UPP

Scale	Issue Date
1:100 @ A3	31.05.2022

Project Address
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Key

--- Boundary Line

- - - Demolished



11.562 ▼ 05 - ROOF

8.520 ▼ 03 - LOFT FLOOR

5.770 ▼ 02 - SECOND FLOOR

2.880 ▼ 01 - FIRST FLOOR

0.000 ▼ 00 - GROUND FLOOR

-3.000 ▼ Basement

Rev No.	Date	Description
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Dwg No	Drawn
05cMO-A-06-002	UPP

Drawing	Checked
Existing East Elevation	UPP

Scale	Issue Date
1:100 @ A3	31.05.2022

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Mark Bullard	For Planning

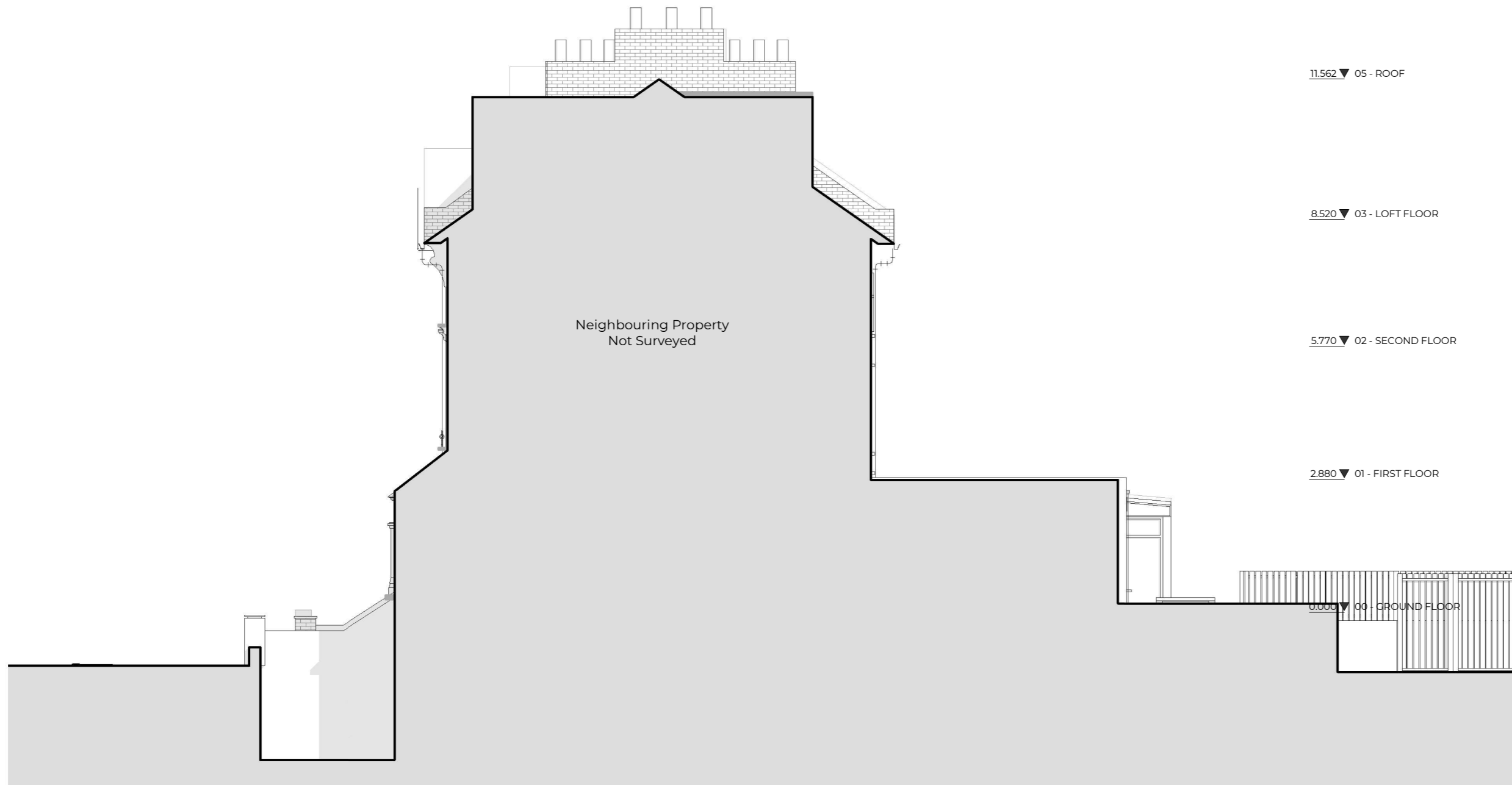
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Key

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11.562 ▼ 05 - ROOF

8.520 ▼ 03 - LOFT FLOOR

5.770 ▼ 02 - SECOND FLOOR

2.880 ▼ 01 - FIRST FLOOR

0.000 ▼ 00 - GROUND FLOOR

Neighbouring Property
Not Surveyed

Rev No.	Date	Description
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Dwg No	Drawn
05cMO-A-06-003	UPP

Drawing	Checked
Existing South Elevation	UPP

Scale	Issue Date
1:100 @ A3	31.05.2022

Project Address
5c Montpelier Road, Kentish Town, NW5 2XD

Client	Status
Mark Bullard	For Planning

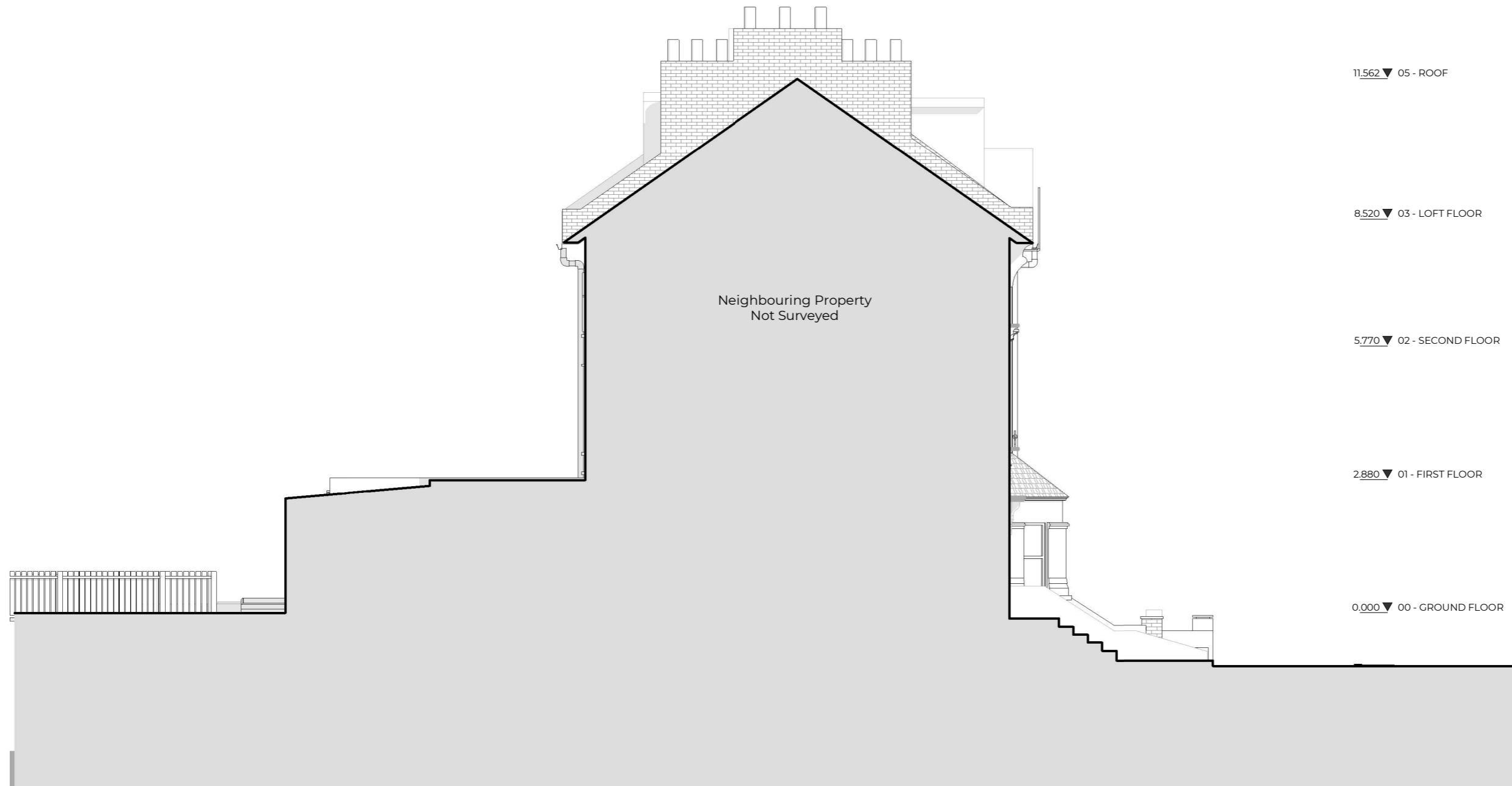
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Farm Road, London, NW1
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Key

— — — — — Boundary Line

- - - - - Demolished



11,562 ▼ 05 - ROOF

8,520 ▼ 03 - LOFT FLOOR

5,770 ▼ 02 - SECOND FLOOR

2,880 ▼ 01 - FIRST FLOOR

0,000 ▼ 00 - GROUND FLOOR

Neighbouring Property
Not Surveyed

Rev No.	Date	Description
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Notes:

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Dwg No	Drawn
05cMO-A-06-004	UPP

Drawing	Checked
Existing North Elevation	UPP

Scale	Issue Date
1:100 @ A3	31.05.2022

Project Address
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Mark Bullard	For Planning

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