

4 Lutton Terrace, London, NW3 1HB  
Design and Access Statement

July 2022



HUGH CULLUM  
ARCHITECTS LTD  
Bloomsbury Design  
61b Judd Street  
London WC1H 9QT  
t 020 7383 7647  
f 020 7387 7645  
mail@hughcullum.com

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# 1 INTRODUCTION

## 1.1 EXECUTIVE SUMMARY

This Design & Access Statement has been prepared to support a planning application for a new roof extension, new boundary wall, new double-glazed timber windows and a new air conditioning unit to an existing detached house in 4 Lutton Terrace, London, NW3 1HB.

Hugh Cullum Architects submitted a Householder pre-application that reflected the clients' brief and included a new basement extension, new mansard roof extension, a new front porch, remodelling the rear part of the property as well as alterations to the rear facade and boundary walls.

In their response, Camden considered the mansard roof in principle acceptable, but voiced reservations about its shape and arrangement at the rear. Whereas the scale of the rear extension was deemed to be acceptable, the treatment of the glazed facade was not seen as a positive contribution to the property. The front porch was rejected as not sympathetic to the 'cottage' style property. It has also been pointed out that no Basement Impact Assessment or Basement Construction Plan have been submitted and that the size of the proposed basement would exceed 50% of the garden area, which would not comply with the policy A5 criteria. Due to the inclusion of a sizeable basement extension the inclusion of a Construction Management Plan was also requested.

Hence we have worked with the clients to make substantial revisions to the scheme and address the concerns raised in the pre-application response. We believe that this simplified and reduced scheme makes a positive contribution to the Hampstead Conservation Area.



# 1 INTRODUCTION

## 1.2 THE PRACTICE

Hugh Cullum Architects was founded in 1999 and has developed into a coherent team with broad collective expertise. The practice specialises in building in sensitive contexts, and we have gained a reputation for considered and innovative design. Our approach to each project is unique, dependent on a thorough analysis of a building's setting in relation to the brief. A successful building should be a partnership between client, architect and builder. In this respect, we believe that our skills as practitioners, thinkers and teachers give us a unique strength to make the most of this joint opportunity.

Hugh trained at Cambridge and went on to do a PhD in architectural history before setting up Cullum and Nightingale in 1986. In 1998 Hugh was awarded a fellowship at the Canadian Centre for Architecture in Montreal to write a book on Northern Italian Baroque architecture. On his return to England, he set up Hugh Cullum Architects. He has continued to be involved in teaching and research as well as acting as an architectural advisor or senior assessor to a number of RIBA-led competitions. He is chairman of the Bloomsbury Conservation Area Advisory Committee, a member of the Ecclesiastical Architects and Surveyors Association and was elected a Brother of the Art Workers Guild. In 2013 he was added to the RIBA register of Specialist Conservation Architects.



Photos Clockwise from Top Left:

House in Fitzrovia, front facade and kitchen

St Michael and All Angels new cloister

Landart House, paragraph 55 house in Huntington



## 2 EXISTING SITE

### 2.1 LOCAL CHARACTER

No. 4 Lutton Terrace is a detached cottage located within the Hampstead Conservation Area in the London Borough of Camden.

Sub Area Two, where the property is located, is characterised by “the intricate network of lanes and narrow alleyways built on the complex slopes of the land to the east of Heath Street [which] dates from the early 18th century through the 19th century. Except for Christchurch Hill and New End Square, the main streets and spaces run more or less along the contours, linked by narrow footpaths, steps and lanes running down the slopes to connect differing street levels. This network is punctuated by small and irregularly shaped spaces of great charm, such as Hampstead Square, New End Square, Mansfield Place and Stamford Close. The area contains an extraordinary variety of building types, ages and styles, ranging from tiny cottages of all ages, grand 18th century houses, Victorian tenements and substantial villas to 20th century council flats and small private houses.” (Hamstead Conservation Area Statement, p.17)

No.4 Lutton Terrace is situated half way between the varied terraced houses on Flask Walk and the Victorian residential blocks and Edwardian school of New Court, which are of an altogether much greater scale.

Whilst no. 4 Lutton Terrace itself is not listed, it is in the vicinity of a number of listed buildings (please refer to the heritage report for details), and is identified as a building which makes a positive contribution to the Conservation Area.



No. 4 Lutton Terrace

Aerial photograph of the site and the context of its neighbouring streets



## 2 EXISTING SITE

### 2.2 SITE IDENTIFICATION

The property at no.4 Lutton Terrace is a detached two storey cottage style house that consists of ground floor, first floor and a double pitched roof with a low loft space.

The building is comprised of the original, late 19th century cottage at the front and a 1960s two story full width extension to the rear, whose appearance is not in keeping with and inferior to the front facade. All external walls are rendered and painted in a light cream colour. The non-original pitched roof is covered with concrete tiles, the shallow sloping roof of the rear extension has got a bituminous felt finish. The property has a small paved raised area to the front and a narrow terrace at the rear, and is located within the boundaries of the Hampstead Conservation Area, Sub Area 2.

No.4 Lutton Terrace is considerably lower than its immediately neighbouring buildings, i.e. 1-3 Lutton Terrace and 1-10 New Court.



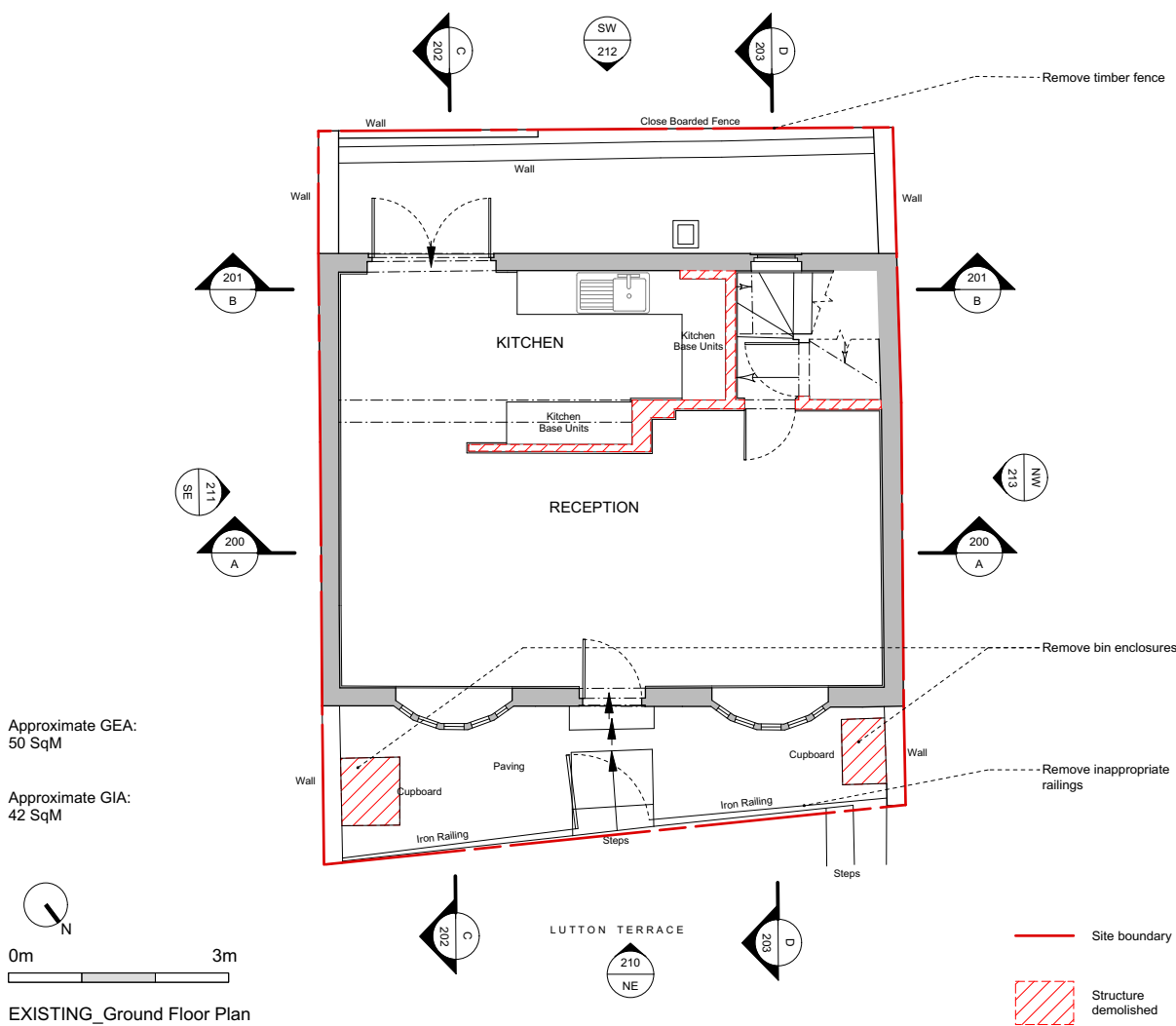
Plot identification



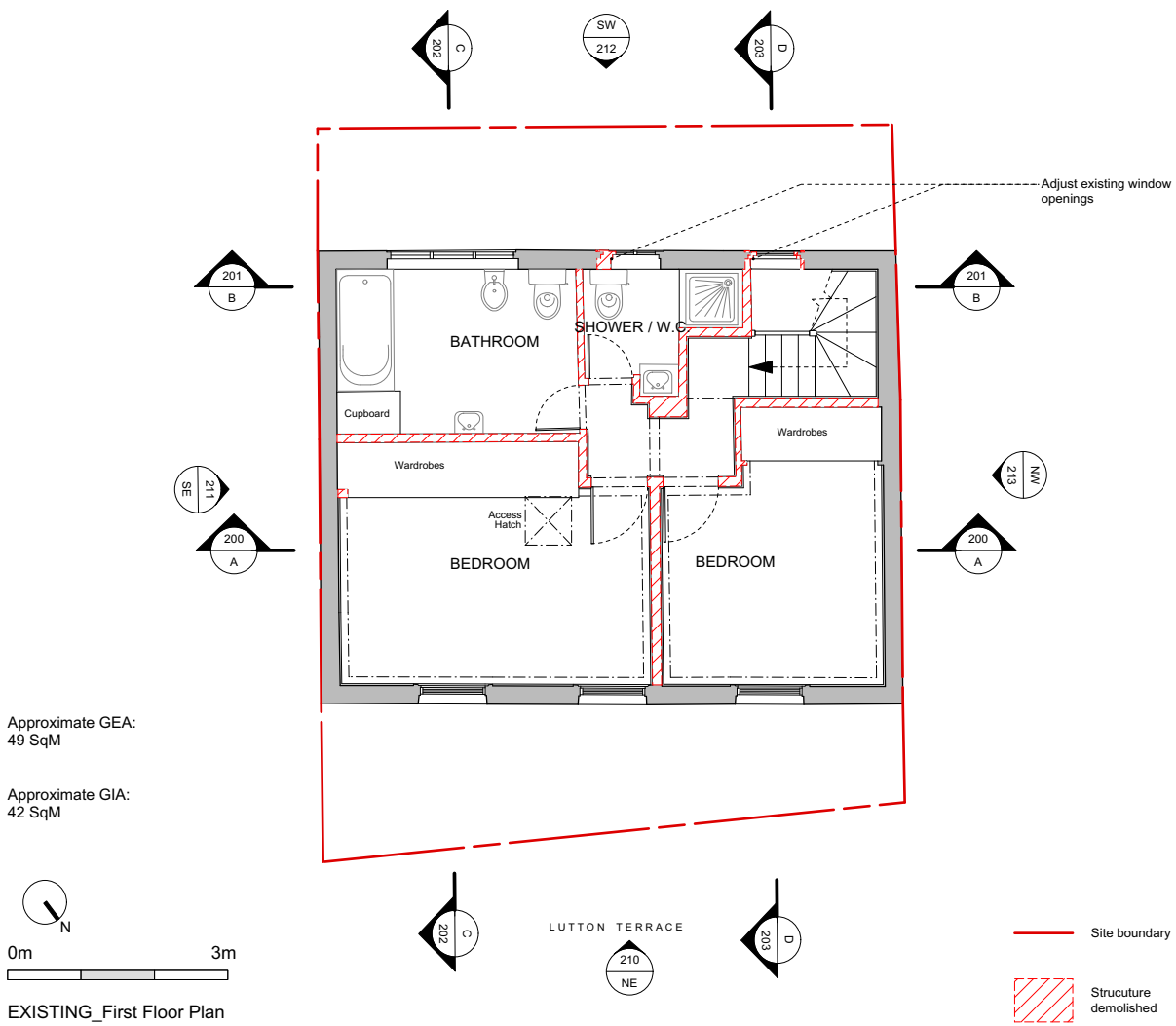
Bird's Eye View

2 EXISTING SITE

2.3 EXISTING DRAWINGS



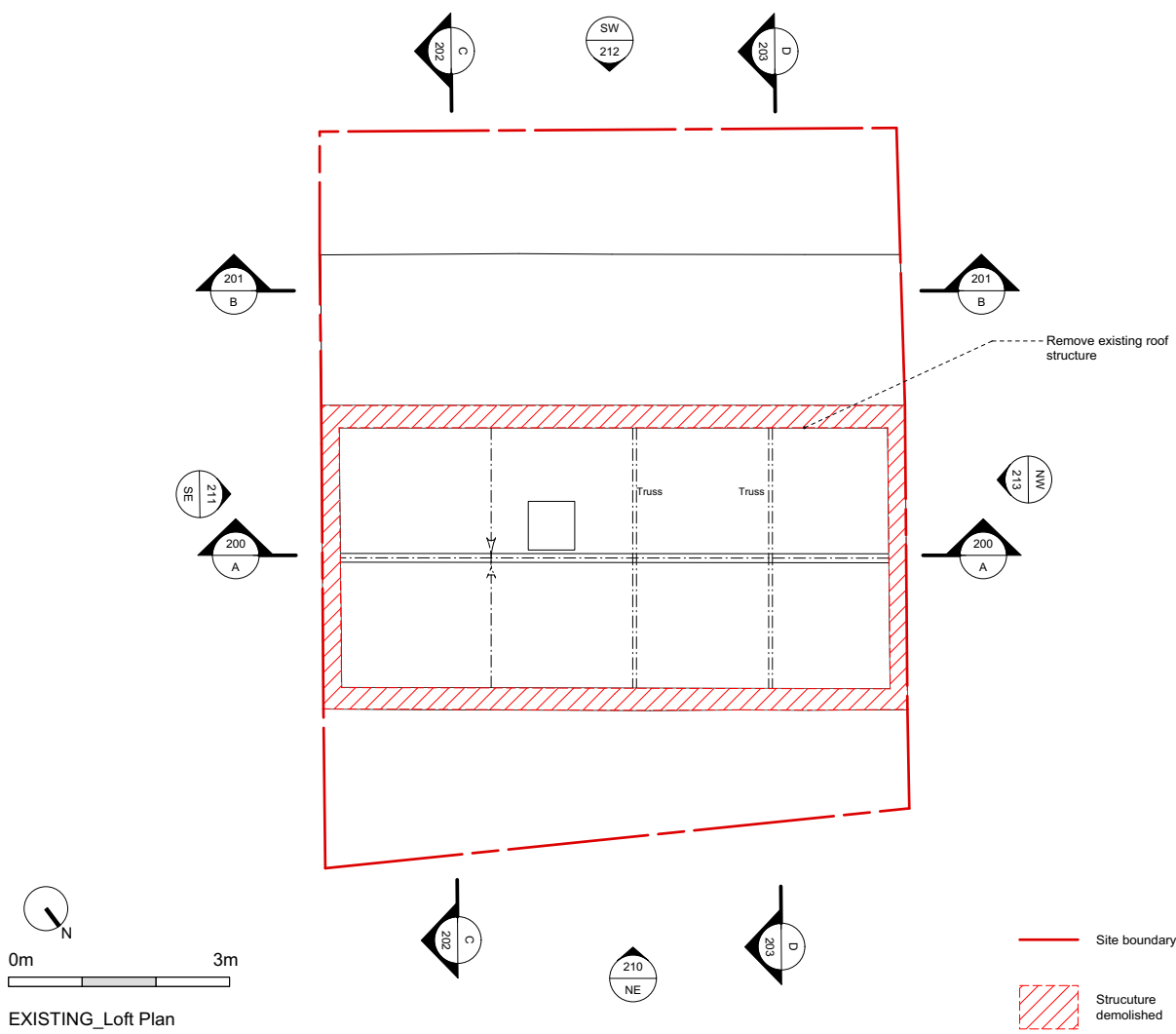
Existing Ground Floor Plan



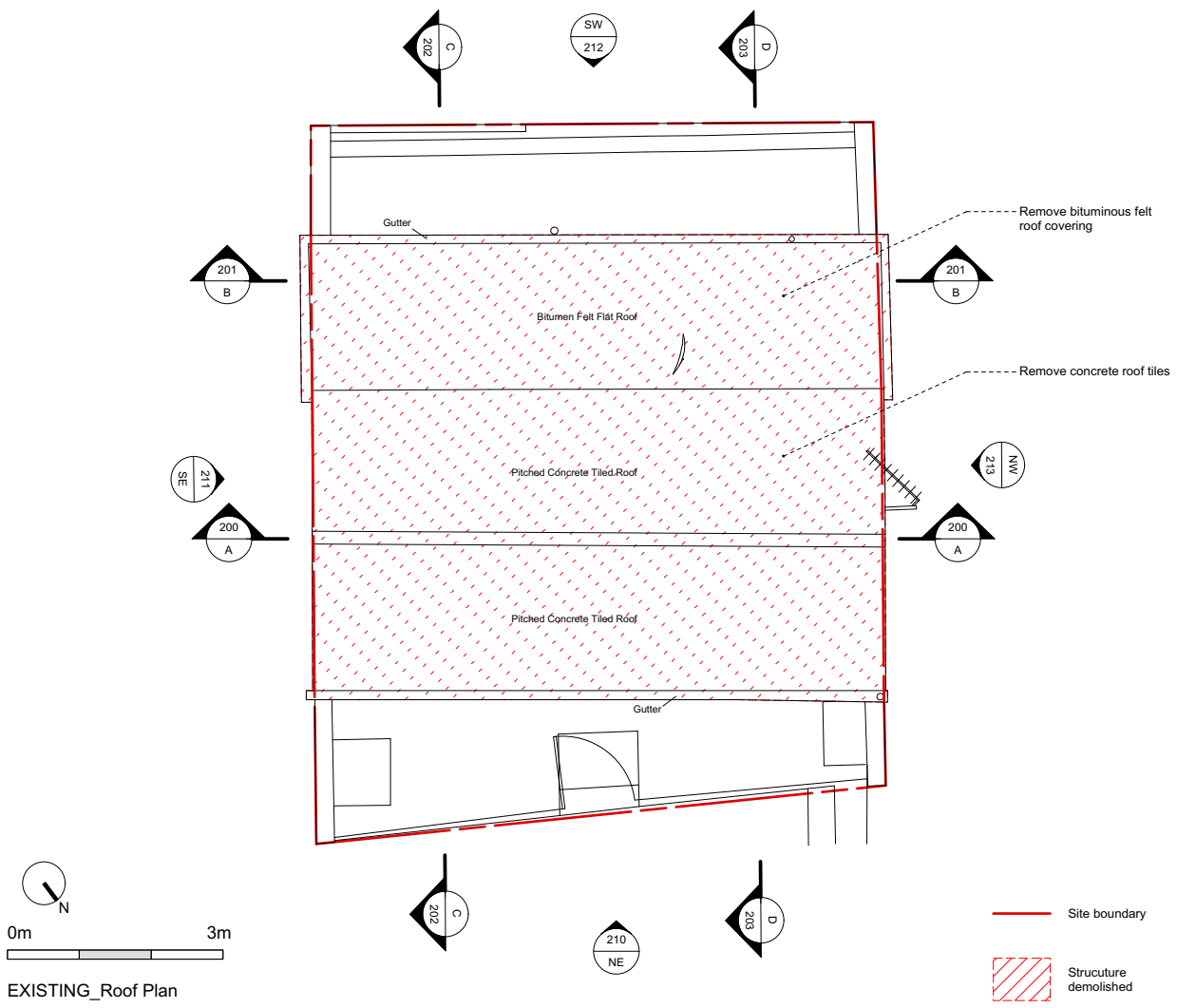
Existing First Floor Plan

2 EXISTING SITE

2.3 EXISTING DRAWINGS



Existing Loft Plan

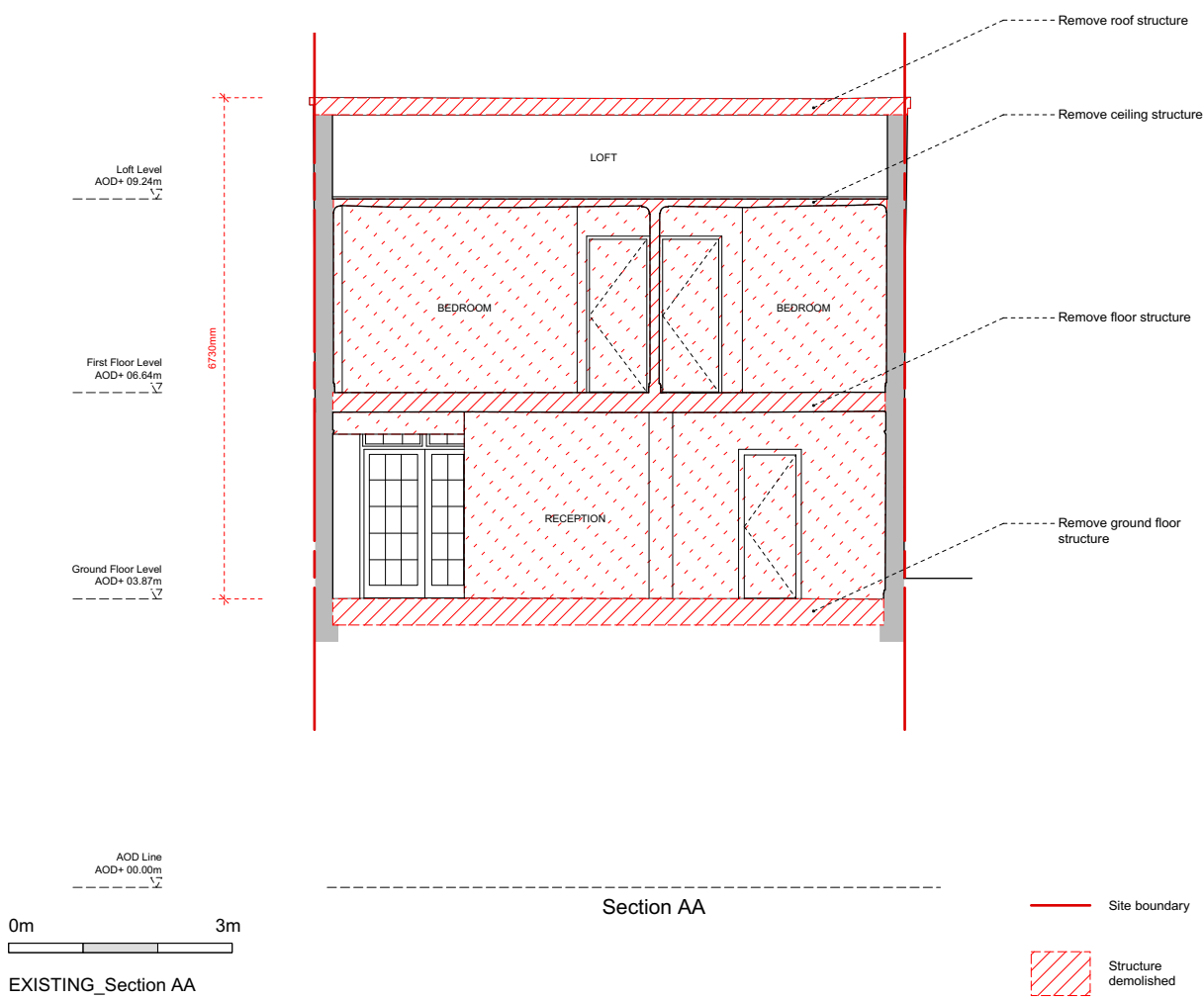


Existing Roof Plan

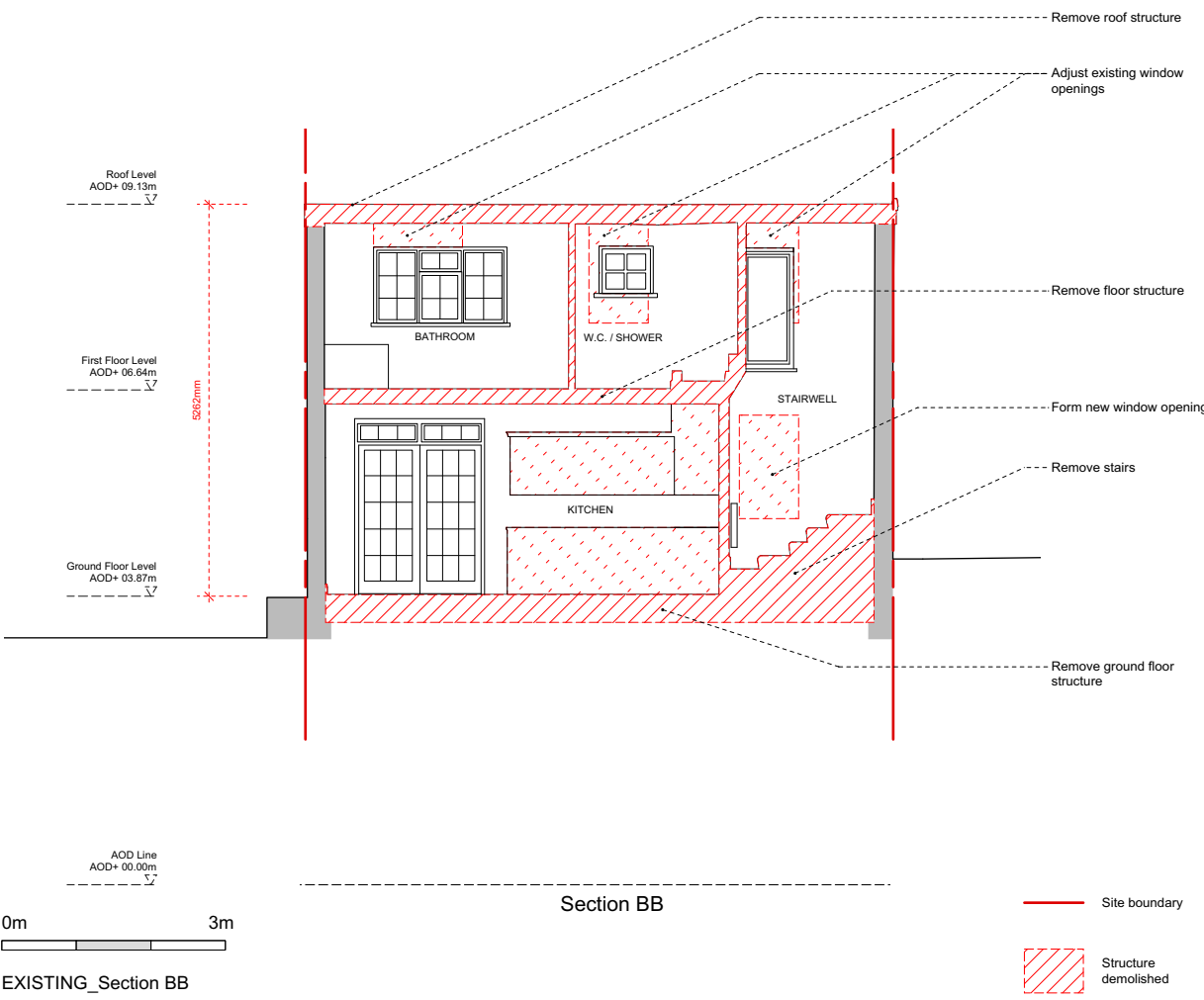


2 EXISTING SITE

2.3 EXISTING DRAWINGS



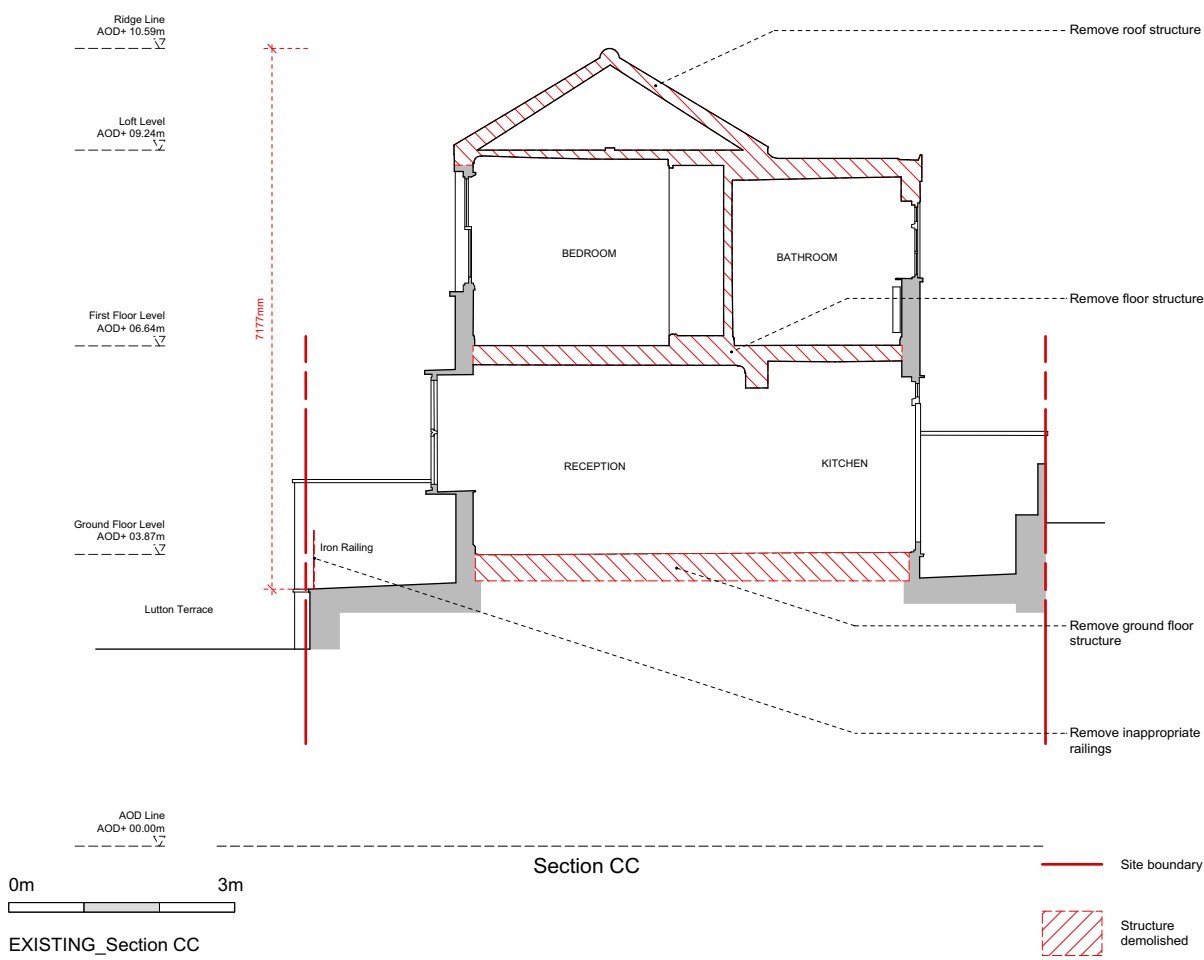
Existing Section A-A



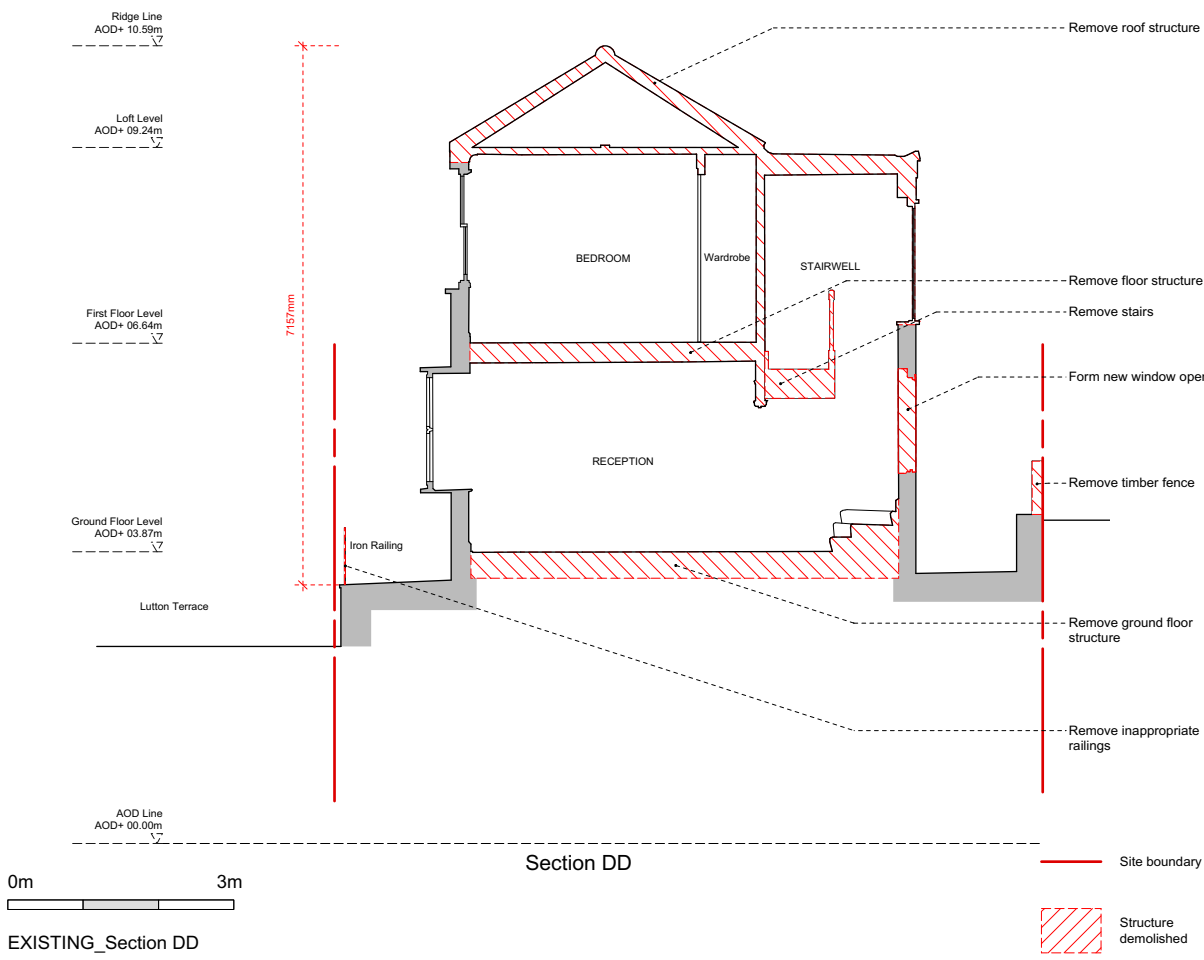
Existing Section B-B

2 EXISTING SITE

2.3 EXISTING DRAWINGS



Existing Section C-C

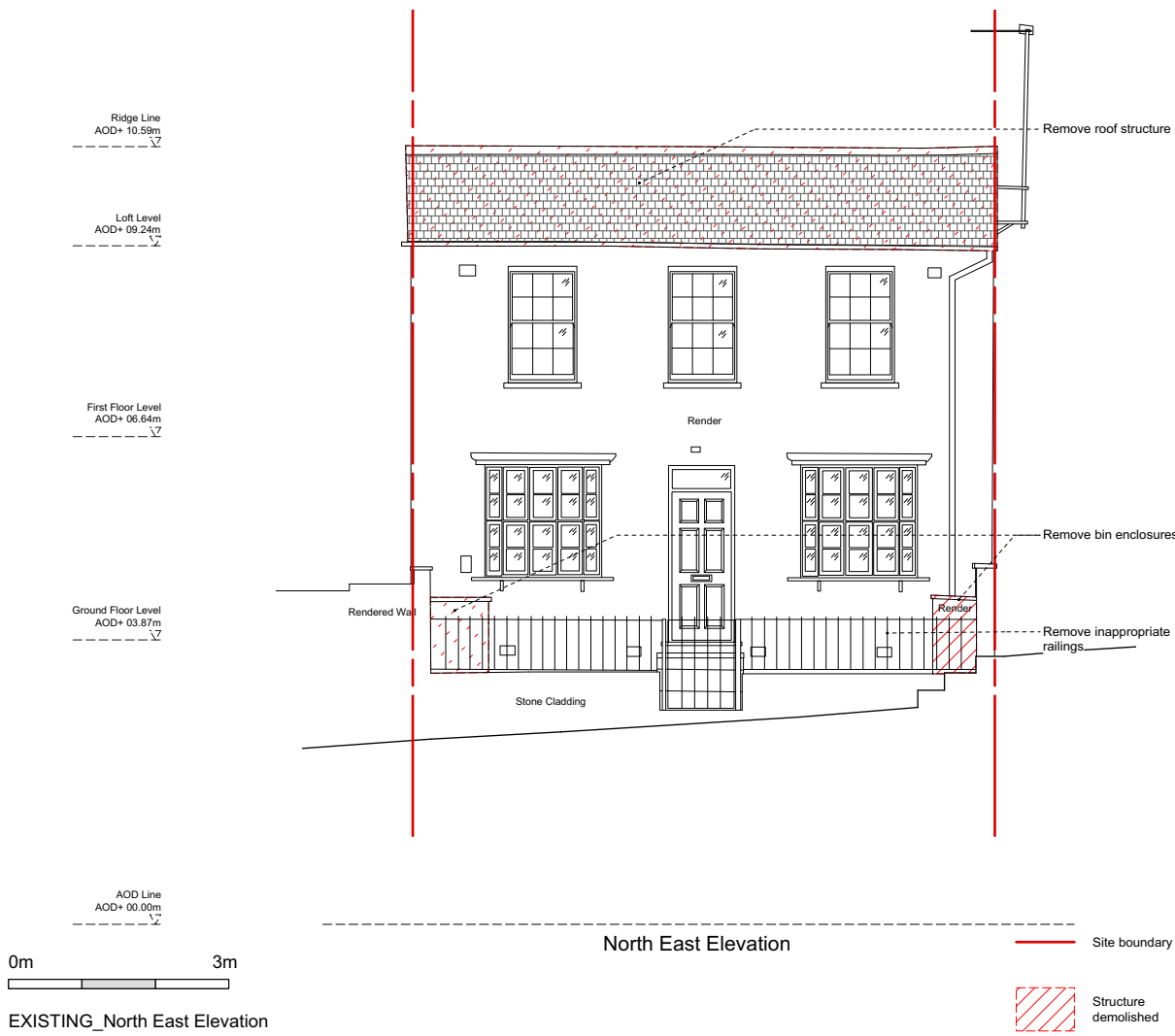


Existing Section D-D

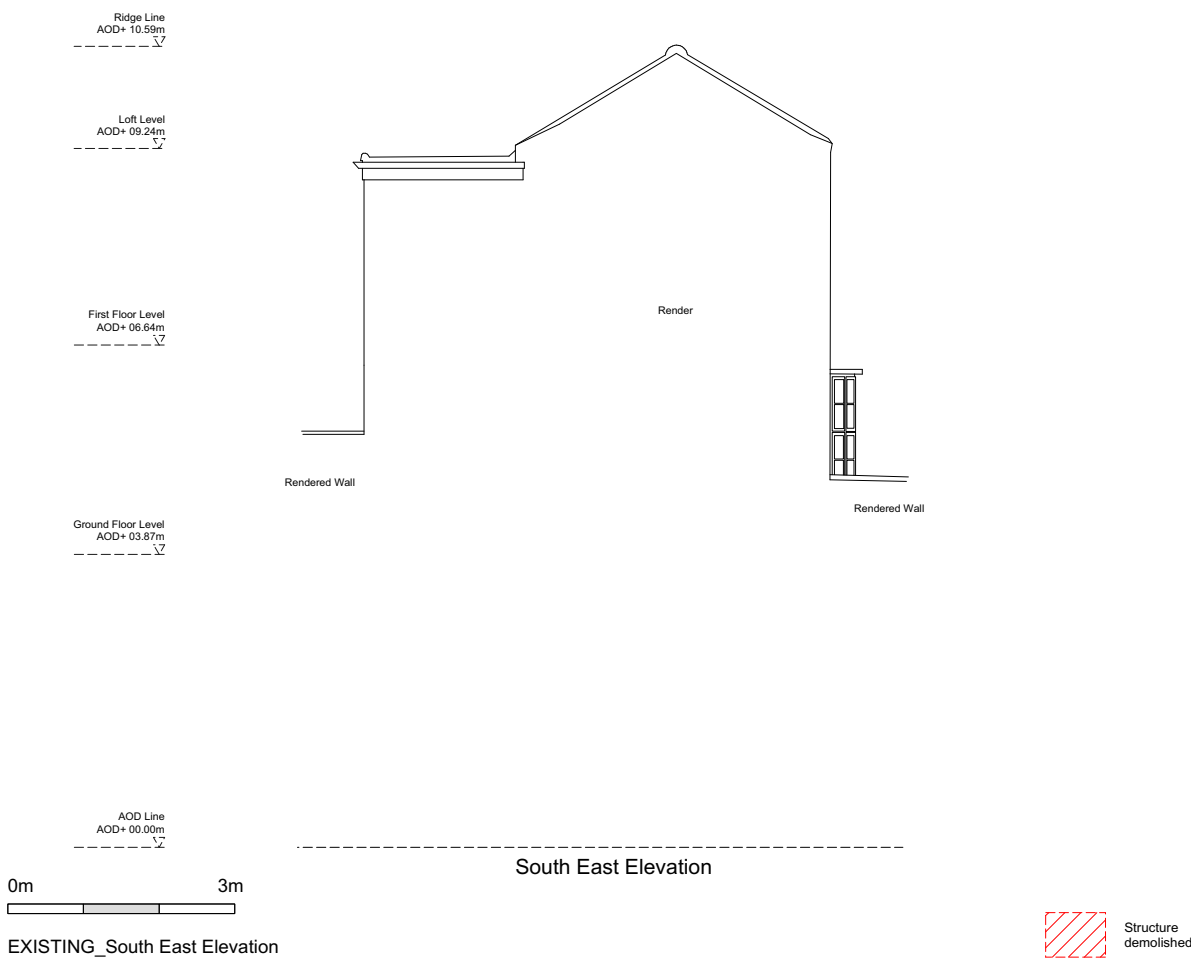


2 EXISTING SITE

2.3 EXISTING DRAWINGS



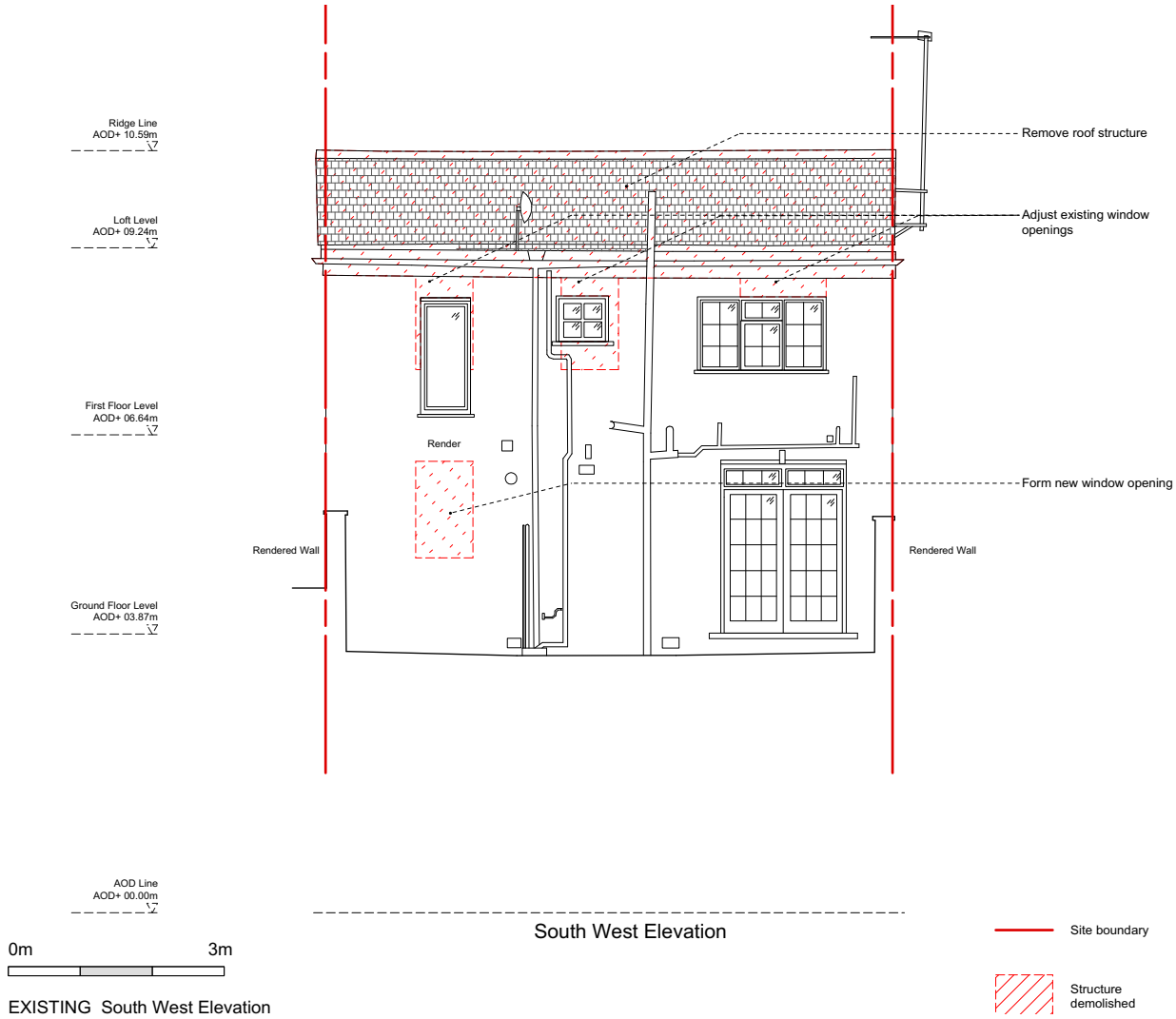
Existing North-East Elevation



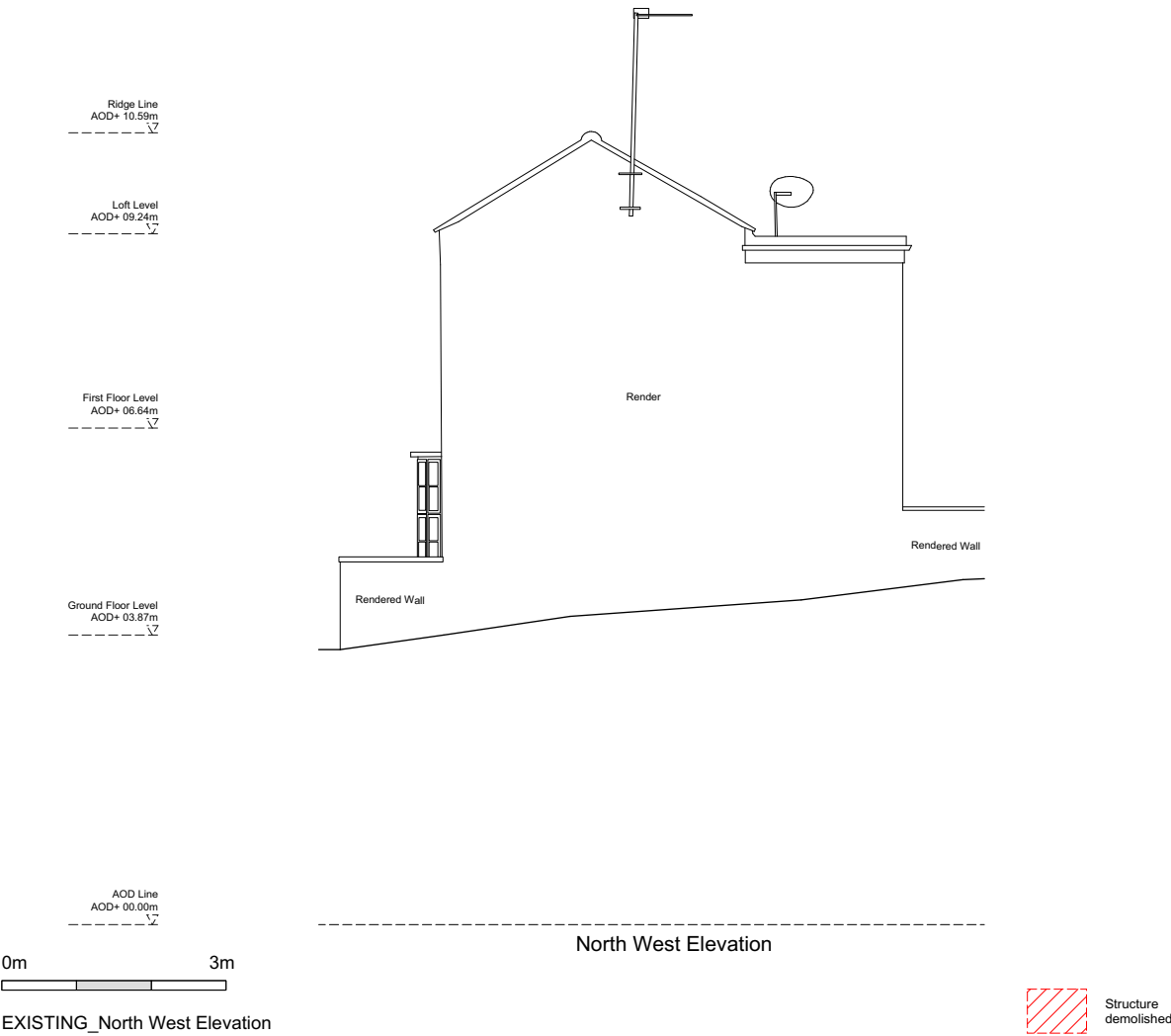
Existing South-East Elevation

2 EXISTING SITE

2.3 EXISTING DRAWINGS



Existing South-West Elevation



Existing North-West Elevation



## 2 EXISTING SITE

### 2.4 EXTERNAL PHOTOGRAPHS



North-west elevation  
West elevation, viewed from New Court



Lutton Terrace view, approaching from Flask Walk  
North-east elevation, New Court in background



East elevation  
Rear terrace, viewed towards New Court



### 3 DESIGN PROPOSAL

#### 3.1 BRIEF

Our clients, a young professional couple, have proposed changes to allow for a growing family. A few of the key objectives are:

- Optimize the space by re-arranging the internal layout and re-positioning the staircase towards the centre of the rear wall;
- Improve the character of the rear terrace and create a better connection to the living area by adding slightly raised timber decking;
- Improve the front yard area by replacing the inappropriate existing railings with a more in-keeping boundary wall and adding a planting bed;
- Optimize the size and layout of the bathrooms;
- Create flexible spaces that can be used as home offices or additional bedrooms;
- In the roof extension, create a master suite with bedroom, dressing area, bathroom, study and a small roof terrace;
- Improve the security by extending the north-west flank wall up to the boundary wall with no.47 Flask Walk, as the existing low garden wall to New Court can easily be scaled;
- Adjust the window openings in the rear facade to reflect the new room layout;
- Improve the energy efficiency by replacing single with double glazing and add internal wall insulation as well as roof insulation.



Proposed perspective, viewed from New Court



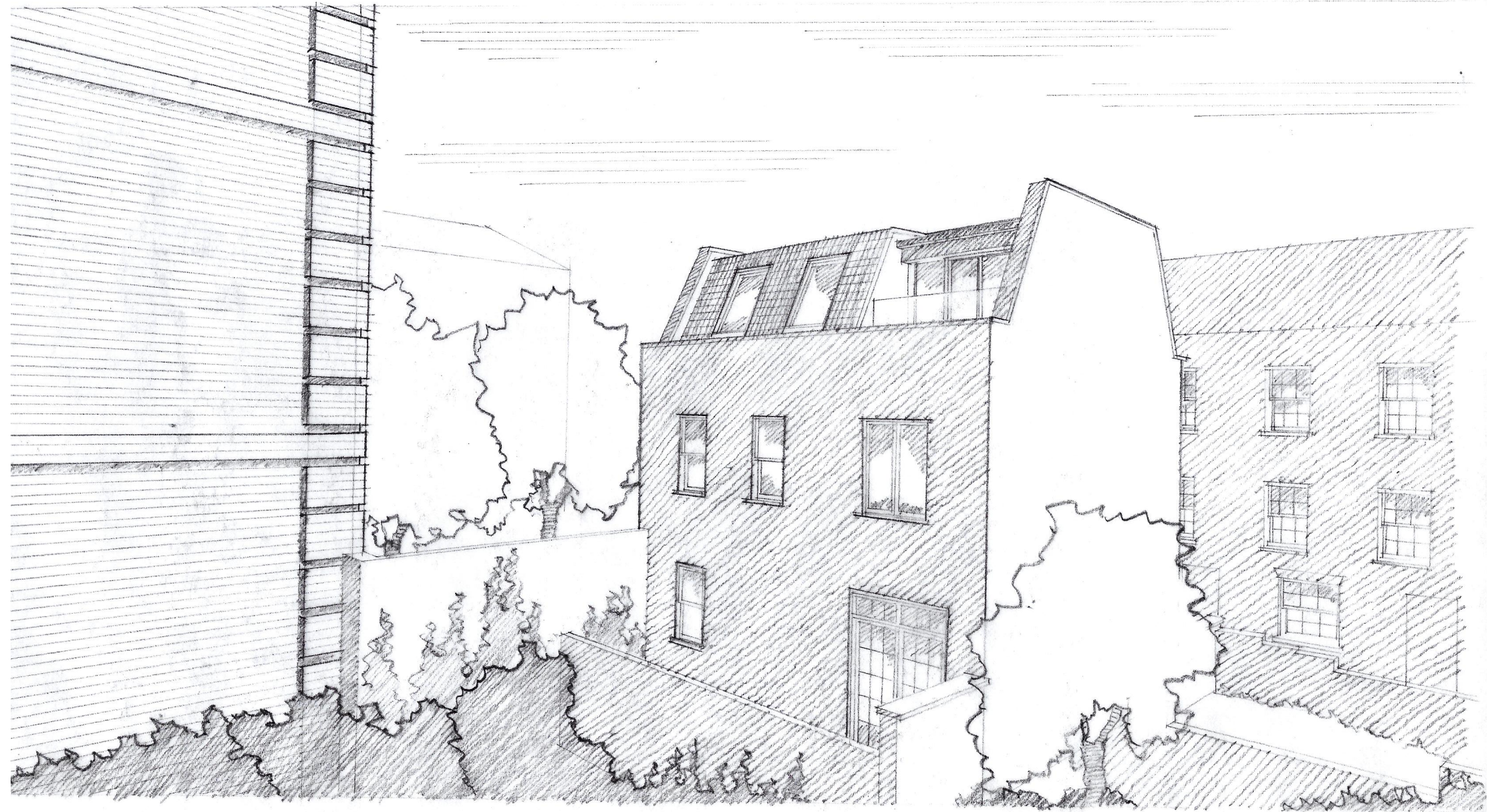
### 3 DESIGN PROPOSAL

#### 3.1 BRIEF

The design intention for the proposed works is to be respectful to the character of the existing house, as well as the wider neighbourhood and conservation area. The approach seeks to achieve a sympathetic proposal which enhances the character of the original building and at the same time provides delightful spaces for contemporary family living.

In order to meet these objectives, the following changes have been proposed;

- The addition of a mansard roof extension, dedicated to be the 'adult' zone, with master bedroom, study and shower room.
- Re-arrange the first floor layout to be of flexible use, either as home office or additional bedrooms, with the bathroom relocated to the front.
- Relocate the staircase to the centre, to minimize corridor space and optimise primary spaces.
- Carefully position window and door openings in the rear facade to allow sufficient light and air into the depth of the house.



Proposed perspective, viewed from the rear



### 3 DESIGN PROPOSAL

#### 3.2 SCALE AND LAYOUT

##### Ground Floor

Apart from replacing the inappropriate existing balustrade with a boundary wall consisting of a low rendered wall, rendered piers and iron railings, the main changes are internal.

The existing layout with the staircase positioned in the southern corner of the building creates awkward circulation spaces and separates the rear terrace from the main living space.

The kitchen would be better suited on the west side, with a window opening positioned to the south-east; the proposed new rendered rear boundary wall replacing the existing close boarded timber fence section would prevent overlooking of the adjacent neighbour's garden.

To enhance the quality of the limited amenity space of the property, it is proposed to install timber decking to the rear terrace. The proposed new air conditioning condenser unit will be located at the north-western end of the rear terrace, where the noise impact will be minimal, as the attached noise report can prove.

It is proposed to fit double glazing to the existing windows and french doors, as well as add internal thermal wall insulation to enhance the energy performance of the property significantly. This applies to the windows and walls of the upper floors as well.

A mist system is to be installed to avoid the need for fire curtains along the escape route from the staircase to the front door through the open living space.

##### First Floor

The existing layout is unsatisfactory in its provision of one oversized and one small bathroom, as well as wasted corridor space.

The proposal seeks to strike a better balance between usable and circulation space by creating three flexible rooms (to be used either as offices or bedrooms, depending on the family situation), all accessed from a minimized central corridor. The optimised bathroom is to be located to the front of the building

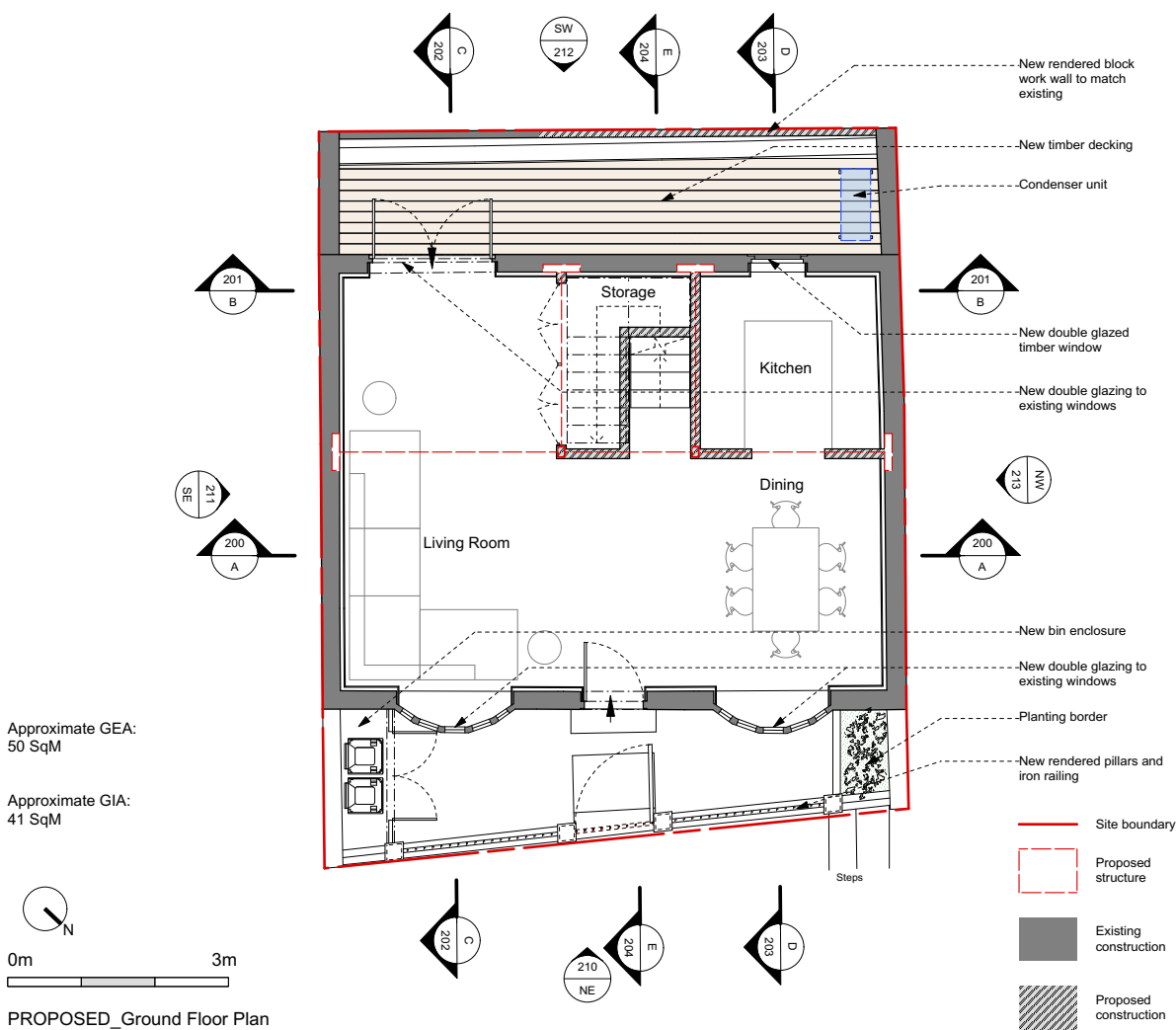
##### Second Floor

By raising the roof height by just approximately 1.4m a fully usable habitable space can be created. This part of the house is proposed to be used as the master bedroom suite, with a small shower room to the front (above the relocated bathroom on the first floor).

The mansard roof with a low parapet wall is proposed to be set back from the main front elevation by approximately 500mm, to be as unobtrusive as possible and to blend in with the neighbouring houses.

The three dormers to the front are to align with the window bays below and are in keeping with the predominant style in the neighbourhood.

The roof terrace will be set back from the rear wall; this fact and the raised SE flank wall will prevent overlooking neighbouring gardens.

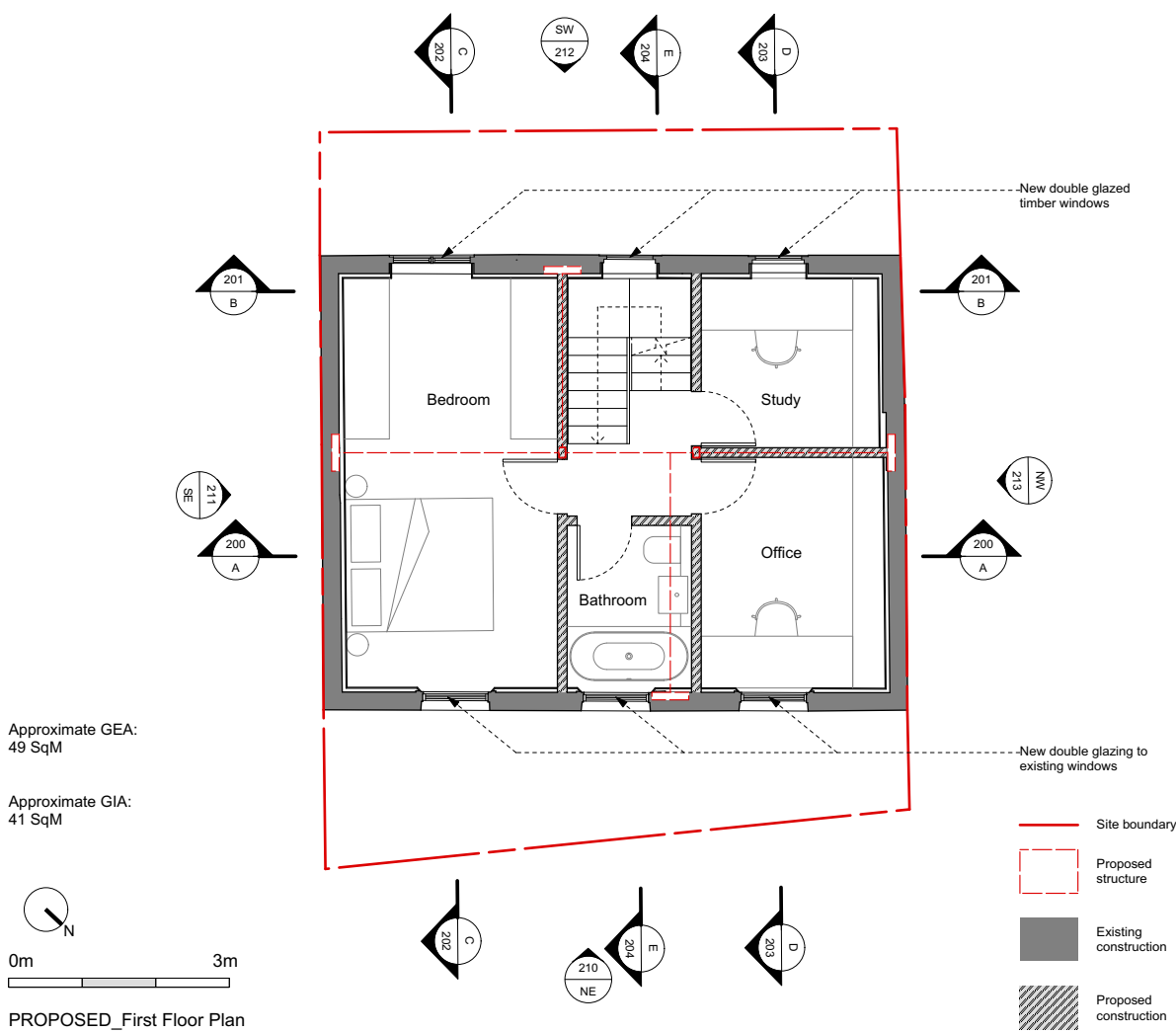


Proposed Ground Floor

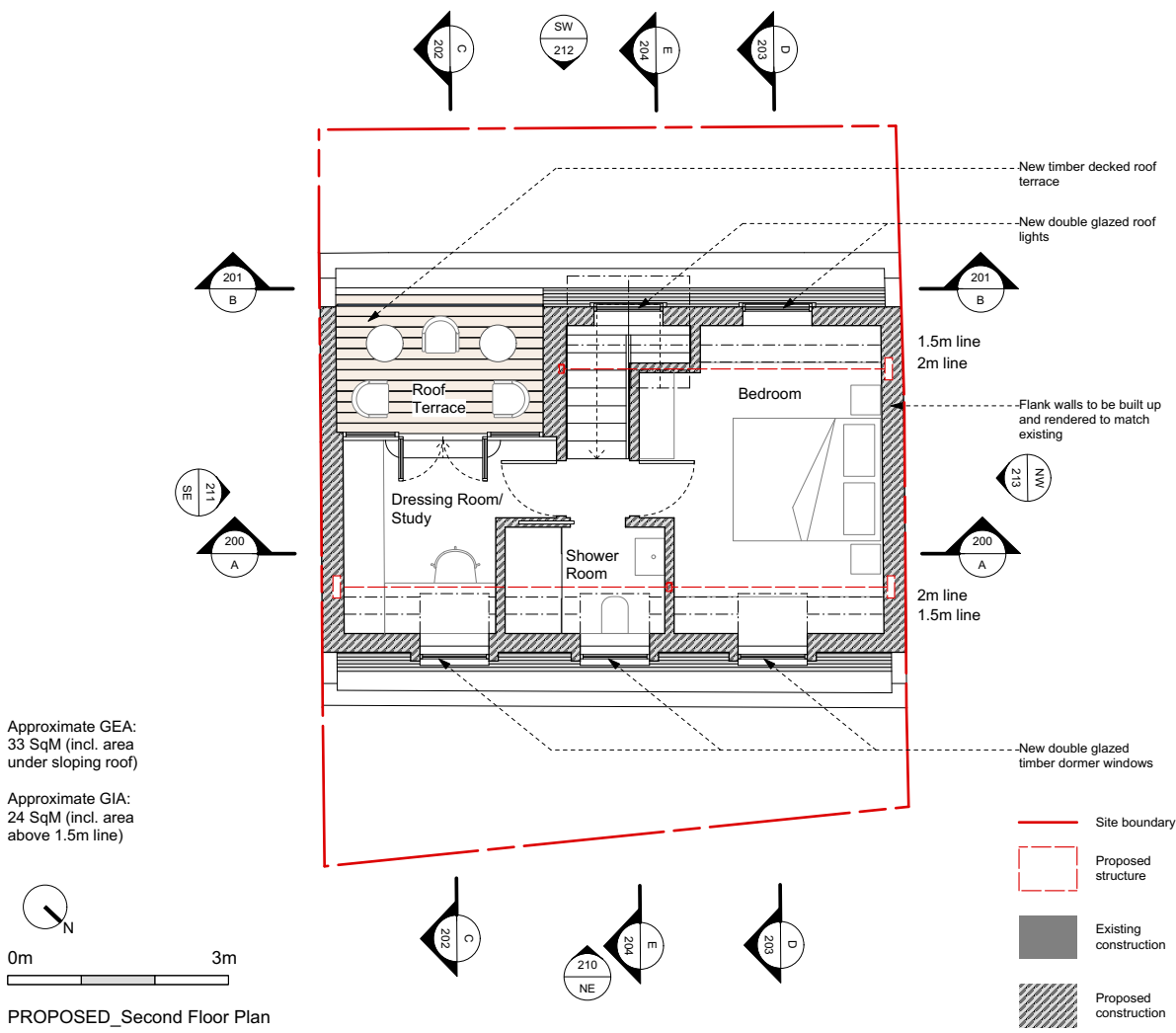


3 DESIGN PROPOSAL

3.2 SCALE AND LAYOUT



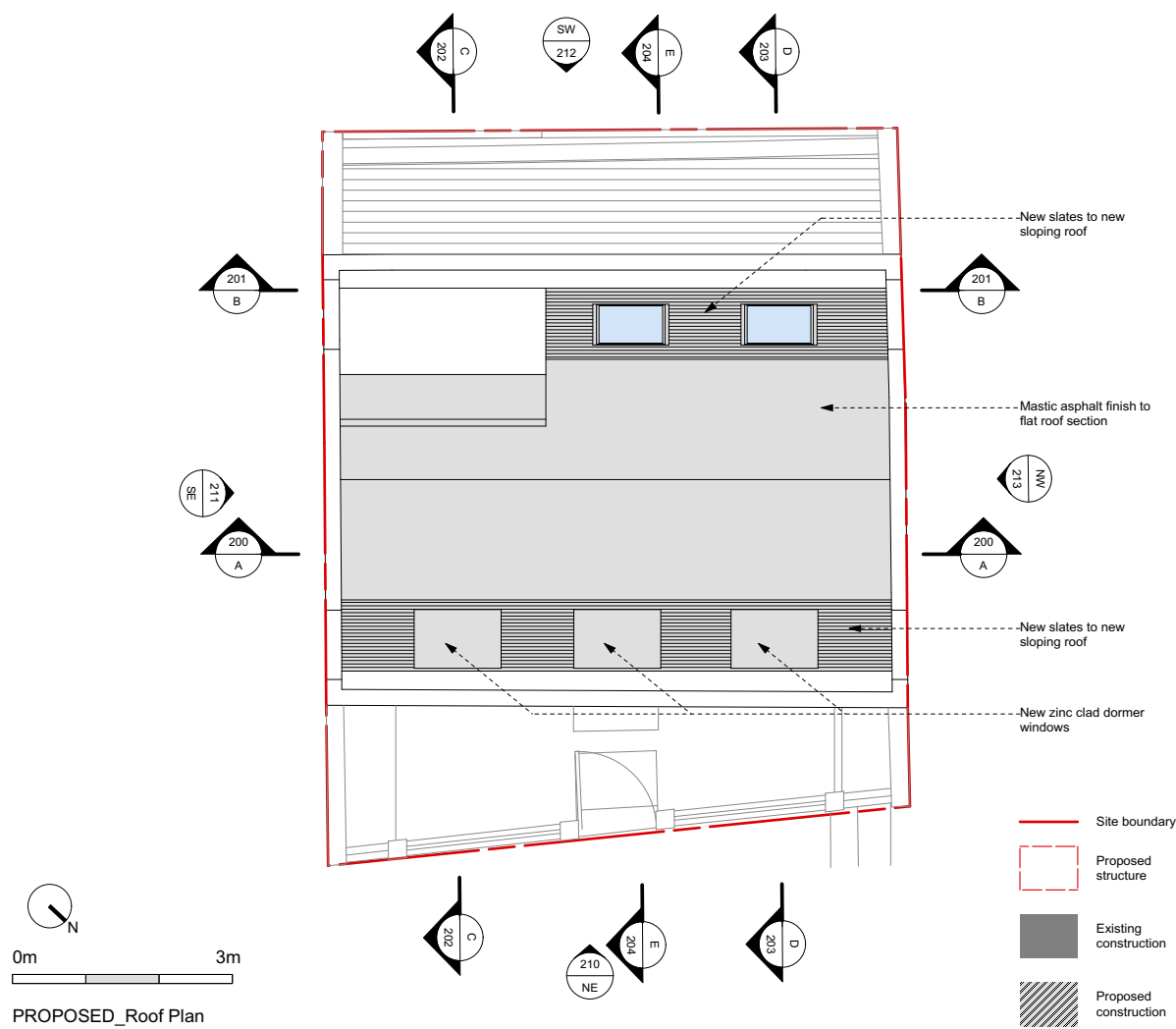
Proposed First Floor Plan



Proposed Second Floor Plan

3 DESIGN STRATEGY

3.2 SCALE AND LAYOUT



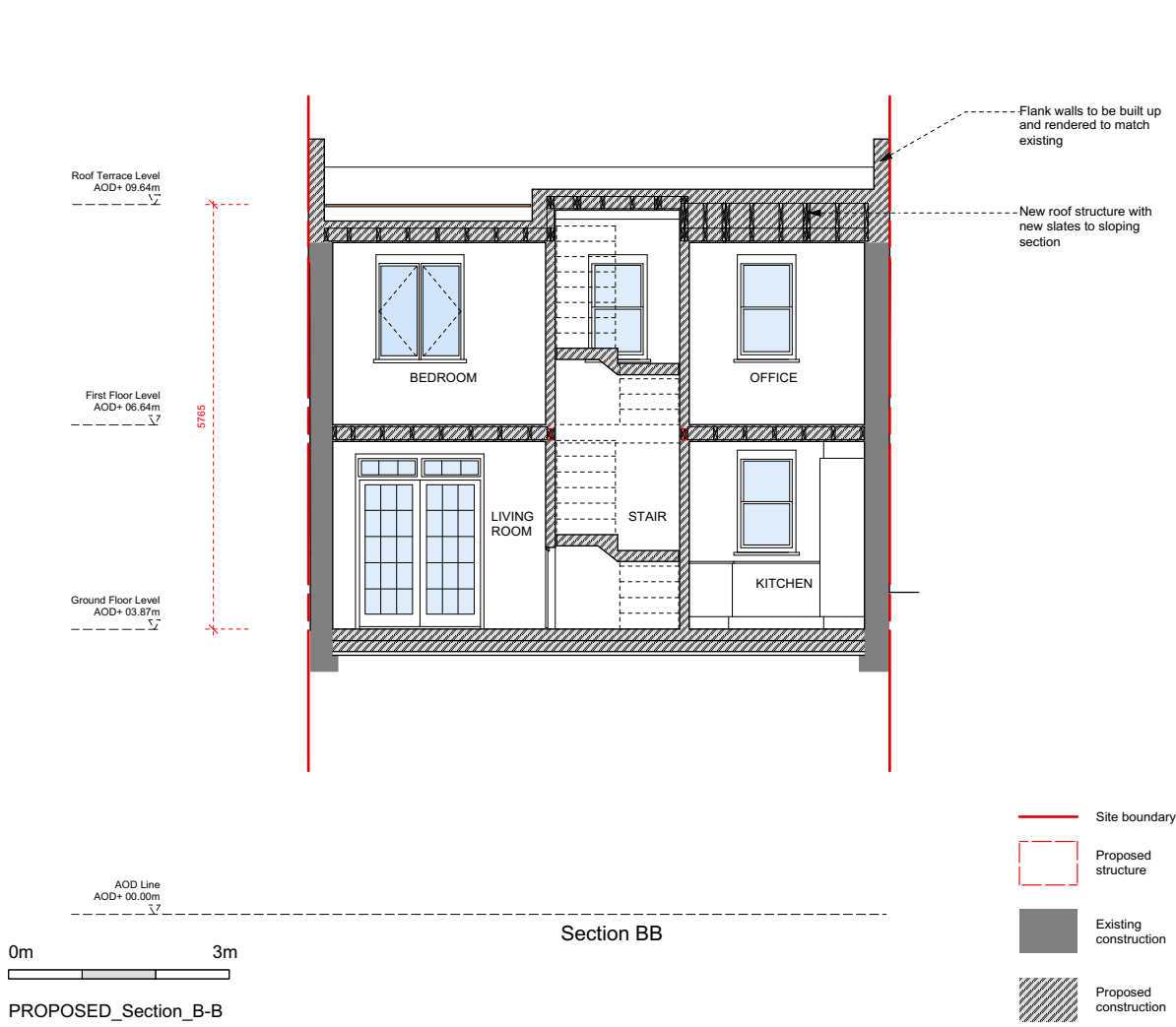
Proposed Roof Plan



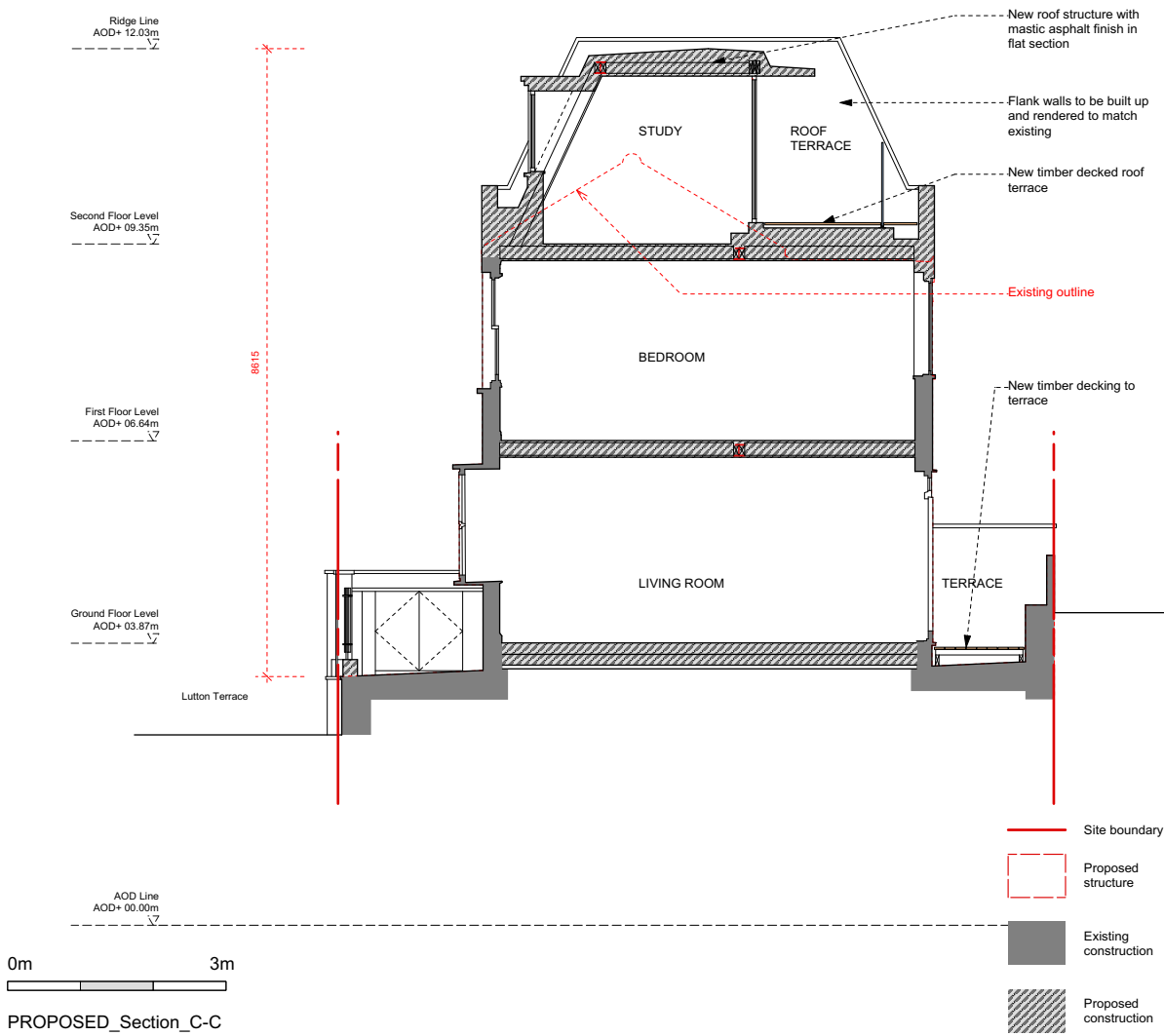
Proposed Section A-A

3 DESIGN STRATEGY

3.2 SCALE AND LAYOUT



Proposed Section B-B

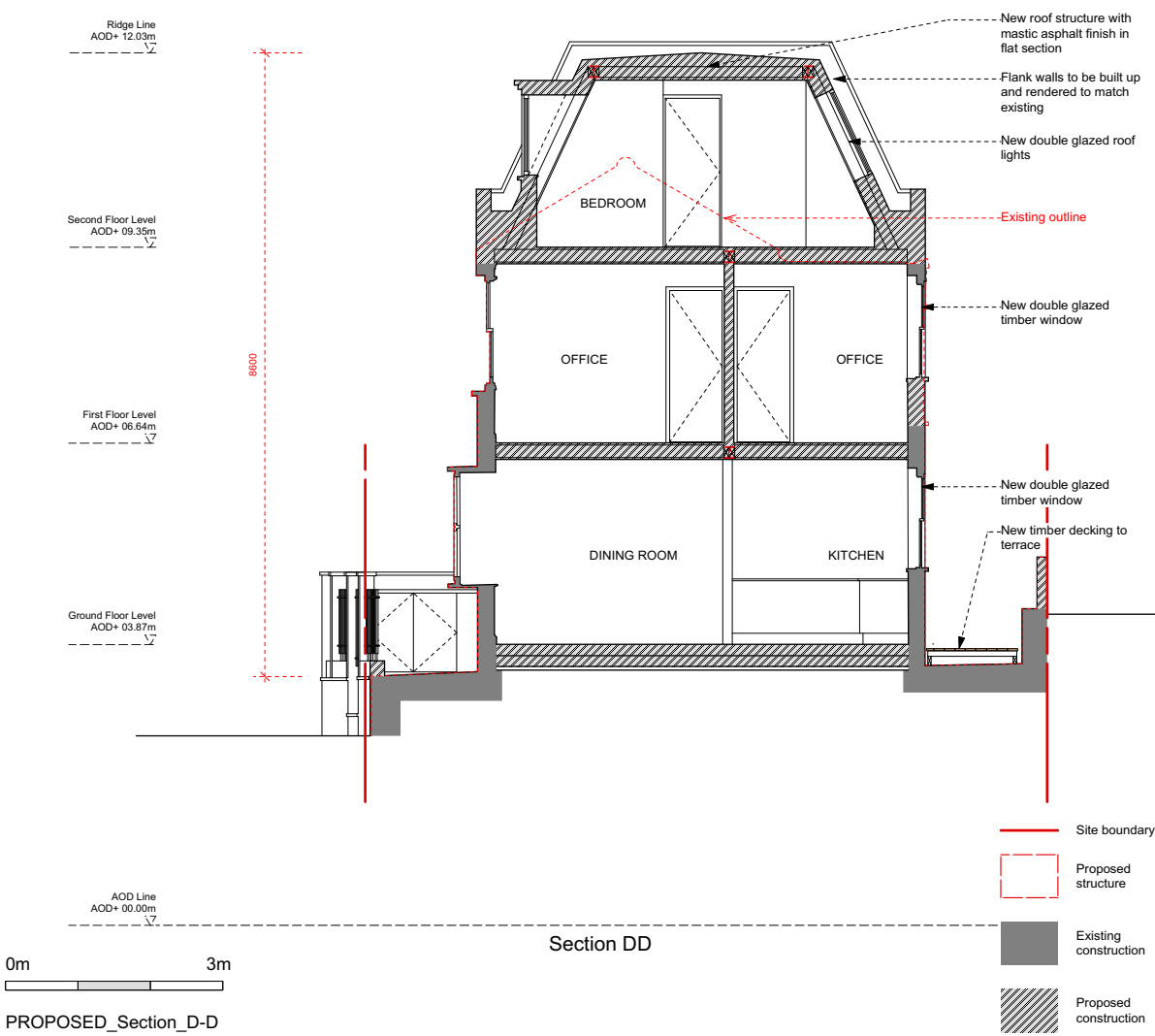


Proposed Section C-C

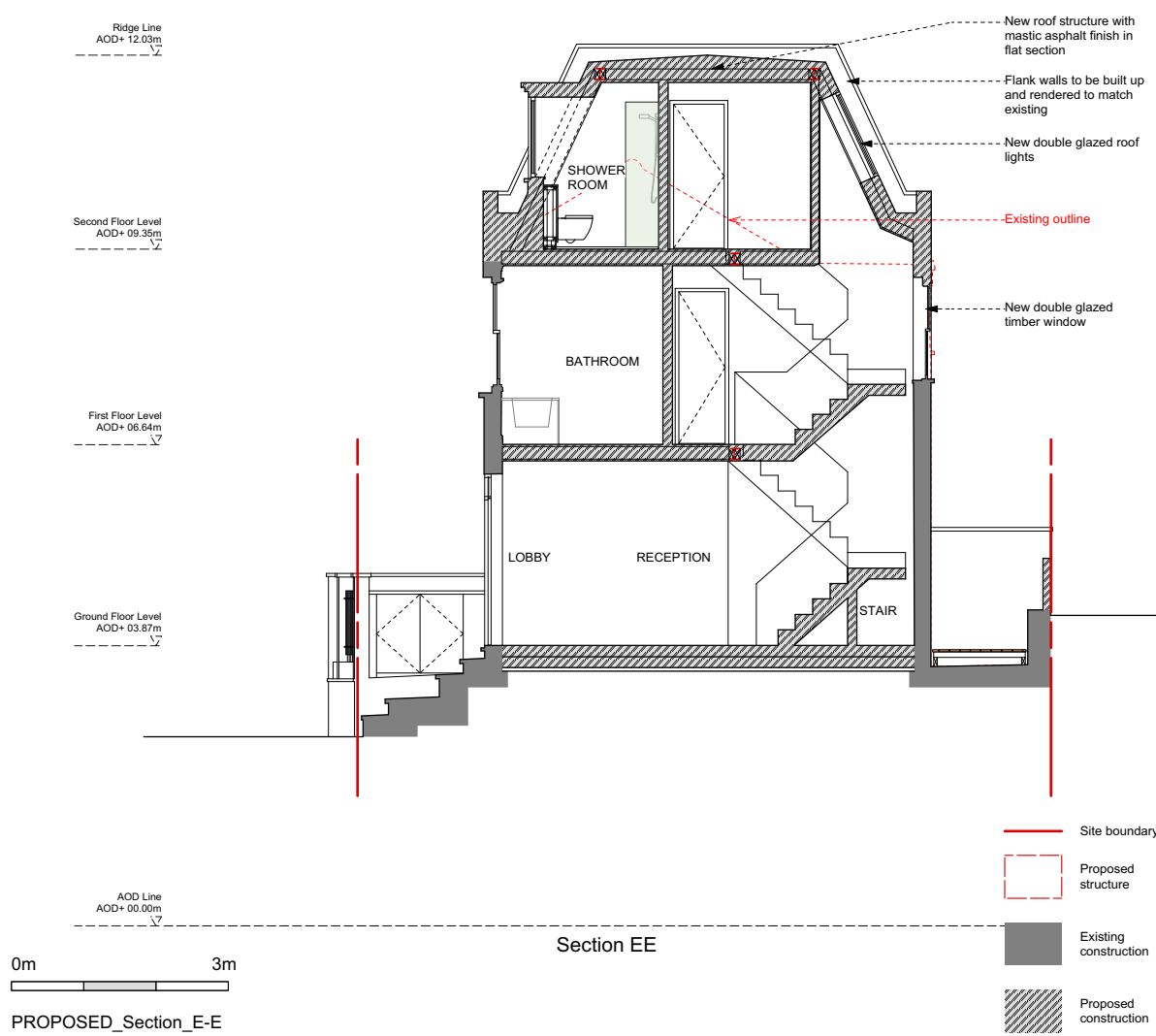


3 DESIGN STRATEGY

3.2 SCALE AND LAYOUT



Proposed Section D-D



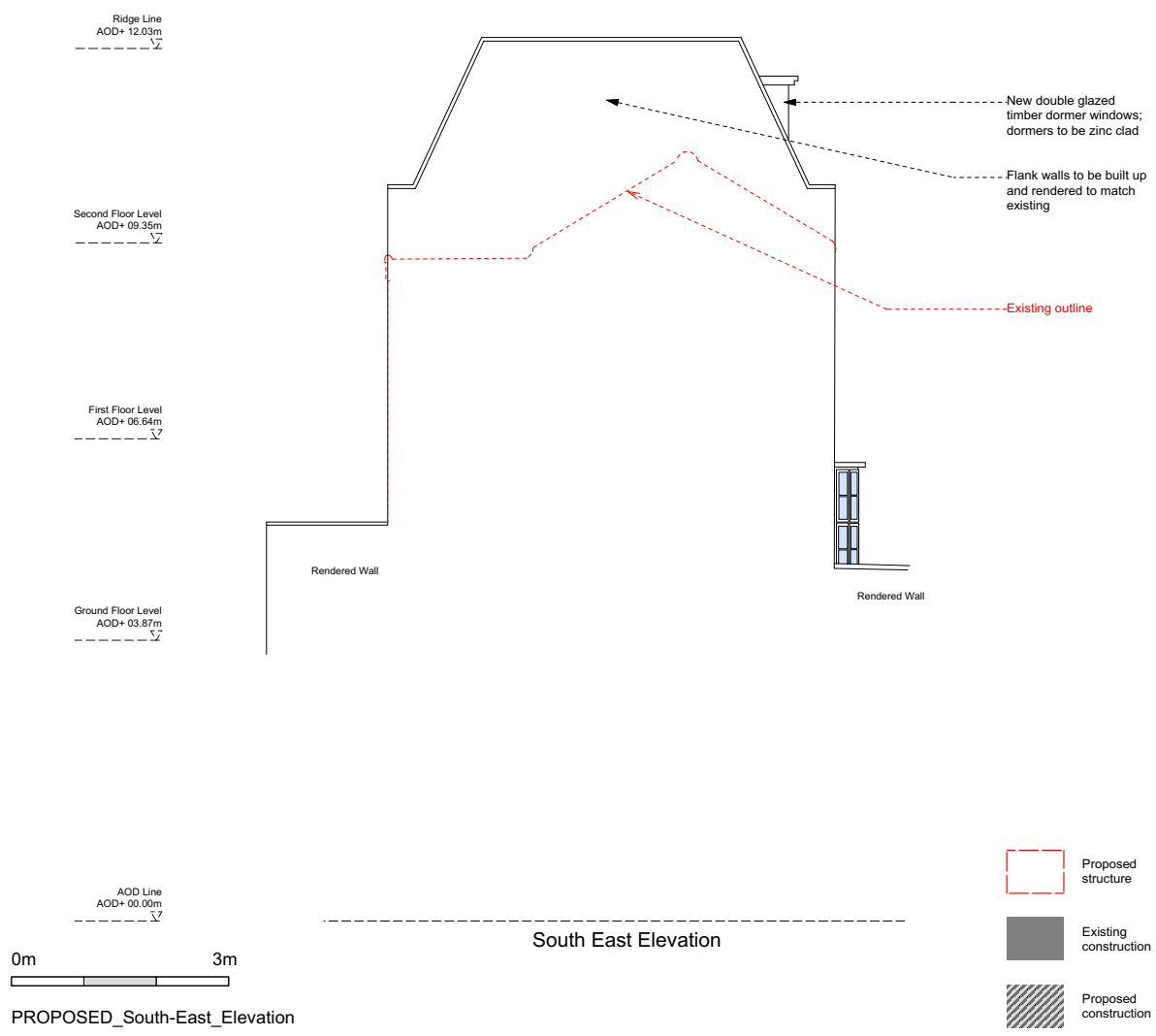
Proposed Section E-E

3 DESIGN STRATEGY

3.2 SCALE AND LAYOUT



Proposed North-East Elevation



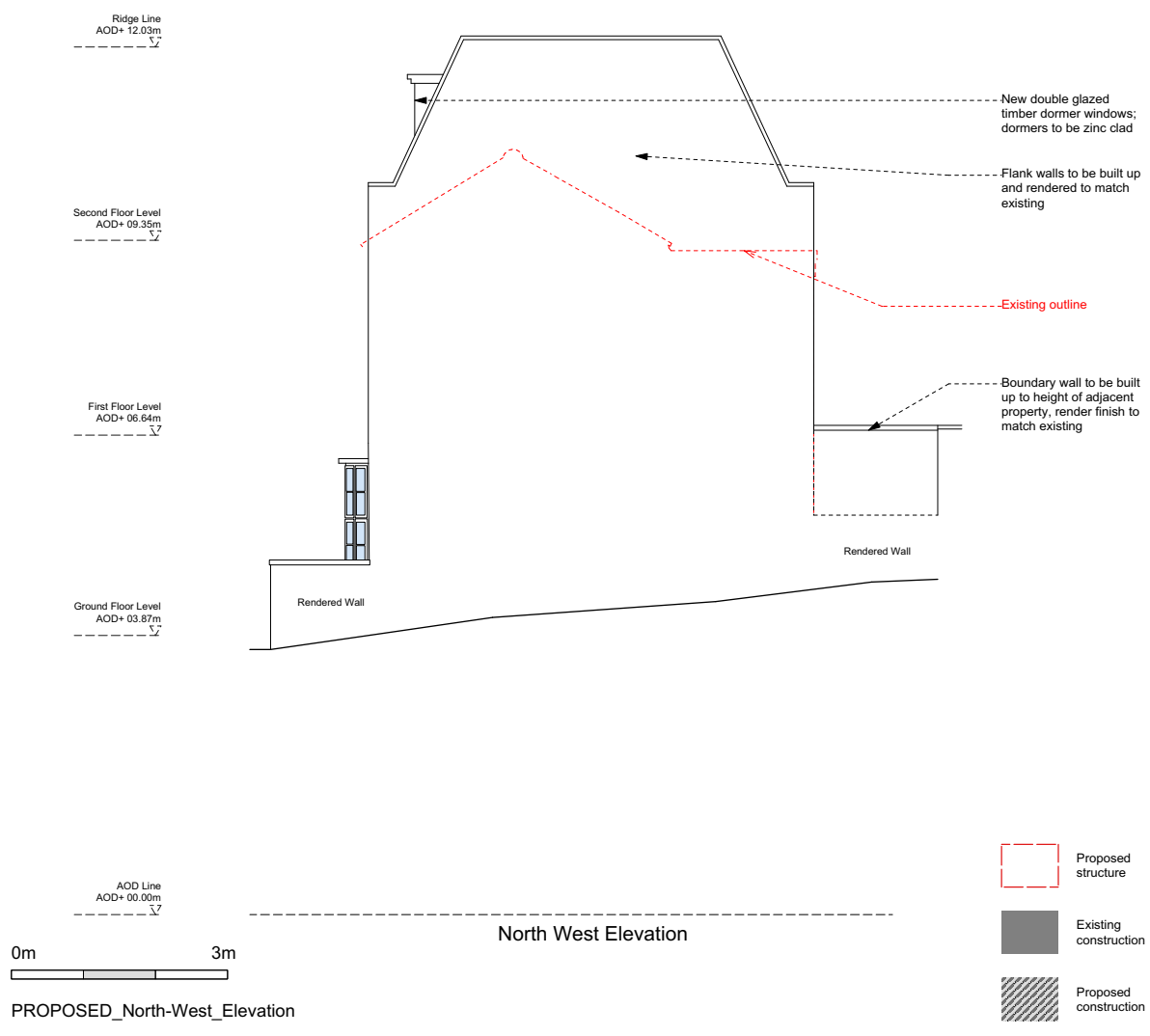
Proposed South-East Elevation

3 DESIGN STRATEGY

3.2 SCALE AND LAYOUT



Proposed South-West Elevation



Proposed North-West Elevation



## 3 DESIGN STRATEGY

### 3.3 MATERIALS AND COMPOSITION

#### Front (North-East) Facade:

The street facing facade is designed to preserve and enhance the character of the cottage.

The new front boundary wall will be render faced to match the main building; the new iron railings will be in keeping with the majority of boundary treatments in Luton Terrace.

The new mansard roof will feature three dormers with timber sashes and zinc cheeks, to be in keeping with the typical buildings of the neighbourhood. The roof finish will be slate tiles for the sloping sections and mastic asphalt for the flat top, both being more appropriate materials than the existing concrete tiles.

#### Rear (South-West) Facade:

Whilst the rear facade of the building will remain in its existing position, the window sizes and positions will be adjusted to suit the altered internal room layout, but also to improve the current arbitrary and cluttered appearance. The roof treatment will be in principle the same as to the front facade, but with sloping roof lights instead of dormer windows, to stress the subordinate character of the rear facade. All windows will be double glazed with timber frames to match the existing.

The roof terrace will receive a discreet, set-back glass balustrade.

#### Side (South-East and North-West) Facades:

The slightly raised flank walls will retain the character of the existing, with render finish to match.

## 4 PRE-APP ADVICE

### 4.1 RESPONSE TO PRE-APP ADVICE

Pre-application advice was received on 11th August 2021, reference number 2021/3377/PRE. The full Pre-App Advice has been re-uploaded with the planning application.

Extracts from the Advice are shown in italics with the design response indicated below.

- The three-storey rear extension is stepped and involves the internal reconfiguration with the stairs now located within the middle of the property (and towards the rear). The second floor is also stepped back to provide a reduction in the massing on the first floor.*

- The glass windows that follow the stairway down at the rear do not provide a positive contribution to the property and this vertical glazed facade completely removes the character of the rear elevation. It is accepted there is an existing extension from the 60's which is not of considerable value; however a slightly different design could be put forward to reflect a more traditional character which is present in the surrounding properties and Conservation area itself.*

Response: The scheme has been simplified insofar as the rear facade is being retained in its existing location, whereas the staircase is still proposed to be moved towards the middle of the rear wall of the property. The massing at the rear will therefore not increase at all.

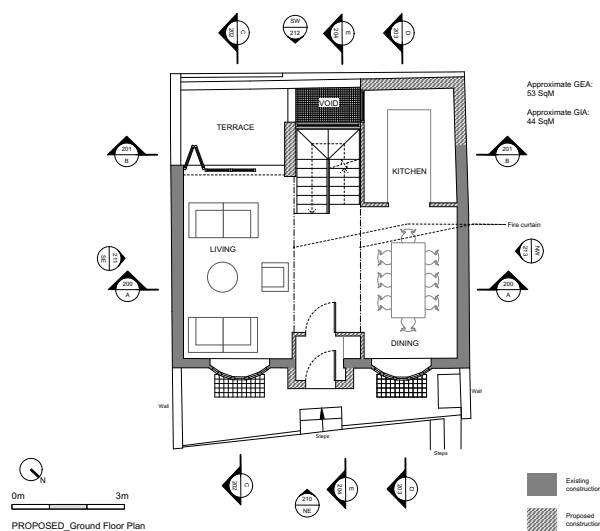
The advice regarding the staircase windows has been taken on board, and the window arrangement has been simplified as well as changed, following a more traditional approach, which will be more in keeping with the cottage style nature of the building and the character of the surrounding properties.

The second floor extension will still be set back at the south corner, and therefore achieve a reduction in the massing, as well as create additional amenity space without intruding on the neighbours' privacy.

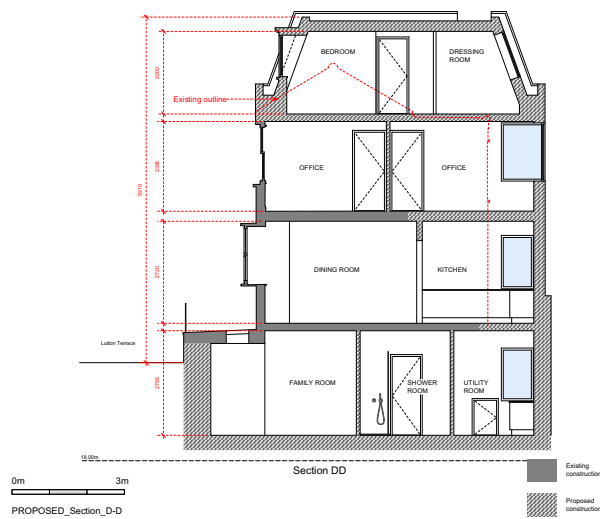
- The pitch of the mansard roof, if possible, should be slightly shallower as to reduce the overall impact and appear smaller in scale. This in turn will reduce the massing to the top of the property which already has three new windows and can be visible.*

- To the rear, the proposed roof, glazed link window and setback roof terrace altogether appear cramped and too untidy. If there are different elements on this level, they should be reduced to two elements with the mansard roof continuing over to the roof terrace being the preferred recommendation.*

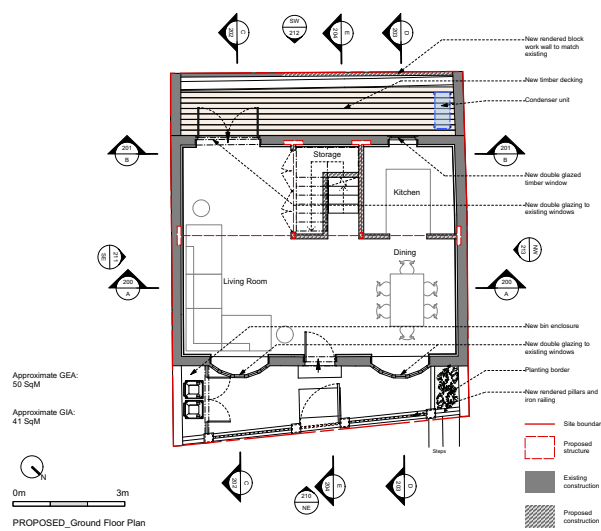
Response: The pitch of the mansard roof has been decreased from approximately 70° to 65°, which is about the minimum pitch that makes habitable occupation on this floor possible.



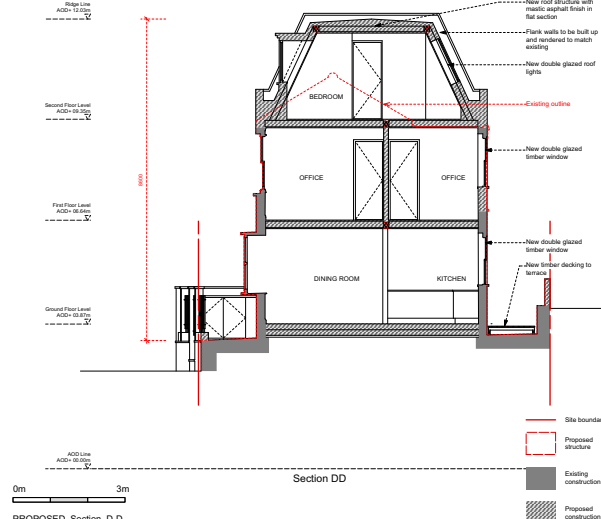
Ground Floor Plan  
Pre-App Proposal



Section D-D  
Pre-App Proposal



Ground Floor Plan  
Planning Application



Section D-D  
Planning Application



## 4 PRE-APP ADVICE

### 4.1 RESPONSE TO PRE-APP ADVICE

In line with the simplification of the rear part of the building, the roof shape has been adjusted as well, now only consisting of one continuous mansard roof over the bedroom and staircase, cut out at the roof terrace. A subordinate, lower flat roof is being introduced over the roof terrace to provide sun protection and prevent overheating.

- *The principle of mansard roof windows to the front are considered acceptable and are positioned in the correct place (in line with windows on the first floor).*
- *The window size should be reduced in order to be more sympathetic to the existing windows and overall building.*

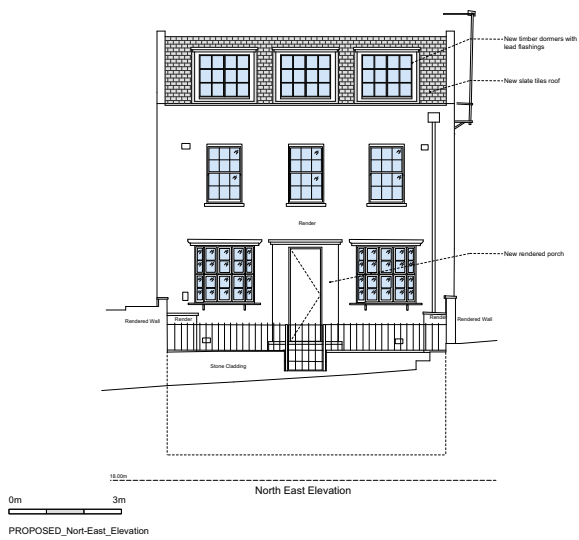
Response: The width of the dormer windows has been reduced, so they now align with the first floor windows below.

- *The front porch as designed would appear at odds with the character of the building and is not sympathetic to the ‘cottage’ style property. The front porch is not a common feature along Lutton Terrace and therefore does not preserve the character of the streetscene.*

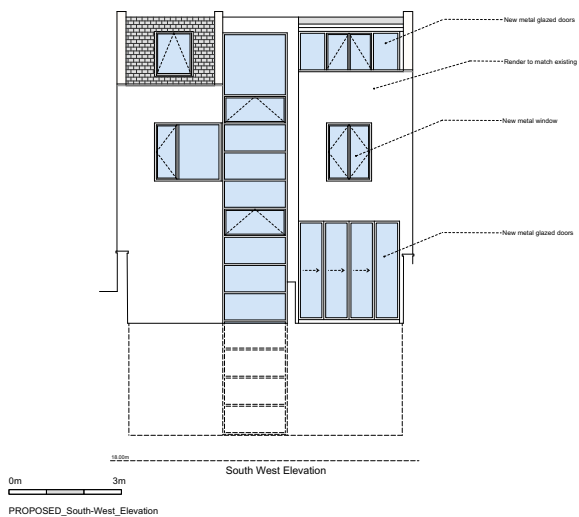
Response: The front porch has been omitted and the entrance door arrangement now remains as existing.

*The site is significantly constrained in that the garden is very small and the shared boundary with nos. 47-51 Flask Walk and 1-10 New Court is very close to the building. This context means that the occupants of nos. 45-51 Flask Walk already suffer from a sense of enclosure and reduced daylight and sunlight. The proposed rear and roof extensions would be likely to compound these issues by increasing the height, width and massing; however it is not clear to what extent, because the position of the property is such that the difference may not be significant. Furthermore the roof terrace may provide overlooking issues for the rear gardens on Flask Walk. A daylight and sunlight study should support any forthcoming application as well as detailed plans or graphics to demonstrate that the amenity impacts are not significant.*

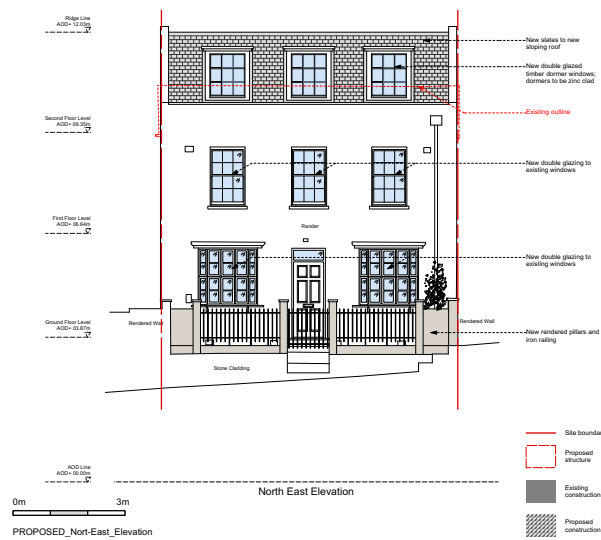
Response: The massing at the rear of the building has been reduced and is now following the existing outline. The privacy of nos. 47-51 is safeguarded by the setting back of the roof terrace and the raised flank wall, which will prevent overlooking. A daylight and sunlight study has been carried out, which shows that all neighbouring windows (that have a requirement for daylight or sunlight) pass the relevant BRE diffuse daylight and direct sunlight tests. The development also passes the BRE overshadowing to gardens and open spaces test.



North-East Elevation  
Pre-App Proposal



South-West Elevation  
Pre-App Proposal



North-East Elevation  
Planning Application



South-West Elevation  
Planning Application

## 4 PRE-APP ADVICE

### 4.1 RESPONSE TO PRE-APP ADVICE

- *No Basement Impact Assessment (BIA) or Basement Construction Plan have been submitted along with the application and means this part of the application cannot be properly assessed. These documents are required under policies BA1 and BA2 of the Hampstead Neighbourhood Plan and policy A5 of the Local Plan.*

- *However, looking at the sections and plans submitted, it is clear that the basement would have a full site coverage and exceed 50% of the garden of the property, which does not comply with criteria in policy A5. Para 6.130 states in particular that ‘A basement development that does not extend beyond the footprint of the original building and is no deeper than one full storey below ground level is often the most appropriate way to extend a building below ground’.*

Response: The basement extension has been completely omitted from this application, which not only makes the need for a BIA and Basement Construction Plan redundant, but will also significantly reduce the impact of the building works on the local community.

*No details of energy or sustainability measures have been provided as part of the pre-application document. Retrofitting the building with more energy efficient measures to minimise energy consumption (draft proofing, thermally efficient windows and insulation) should be considered*

Response: In order to improve the energy rating of the building it is proposed to replace all single glazing with double glazing and add internal wall insulation to all external walls. The new roof will of course be insulated to meet current building regulations.

## 5 CONCLUSION

For the reasons set out in this report and within the Heritage Report compiled by Jon Lowe Heritage Consultants, we believe that this proposal should be recommended for approval by the Local Authority.

We believe the extension to the house at 4 Lutton Terrace will be a sensitive and appropriate contributor to the existing building and conservation area.



Drawings in this document are not to be scaled from. Drawings and images are illustrative only. For scaled drawings refer to a separate set of existing and proposed drawings as detailed on the Drawing Issue Sheet submitted alongside with this document.

This design and access statement for pre-planning application was compiled by Hugh Cullum Architects LTD for the property at: 4 Lutton Terrace, London NW3 1HB

**HUGH CULLUM**  
ARCHITECTS LTD  
Bloomsbury Design  
61b Judd Street  
London WC1H 9QT  
t 020 7383 7647  
f 020 7387 7645  
mail@hughcullum.com