

X (Easting) 527385 , Y (Northing) 184761

LBMVarchitects

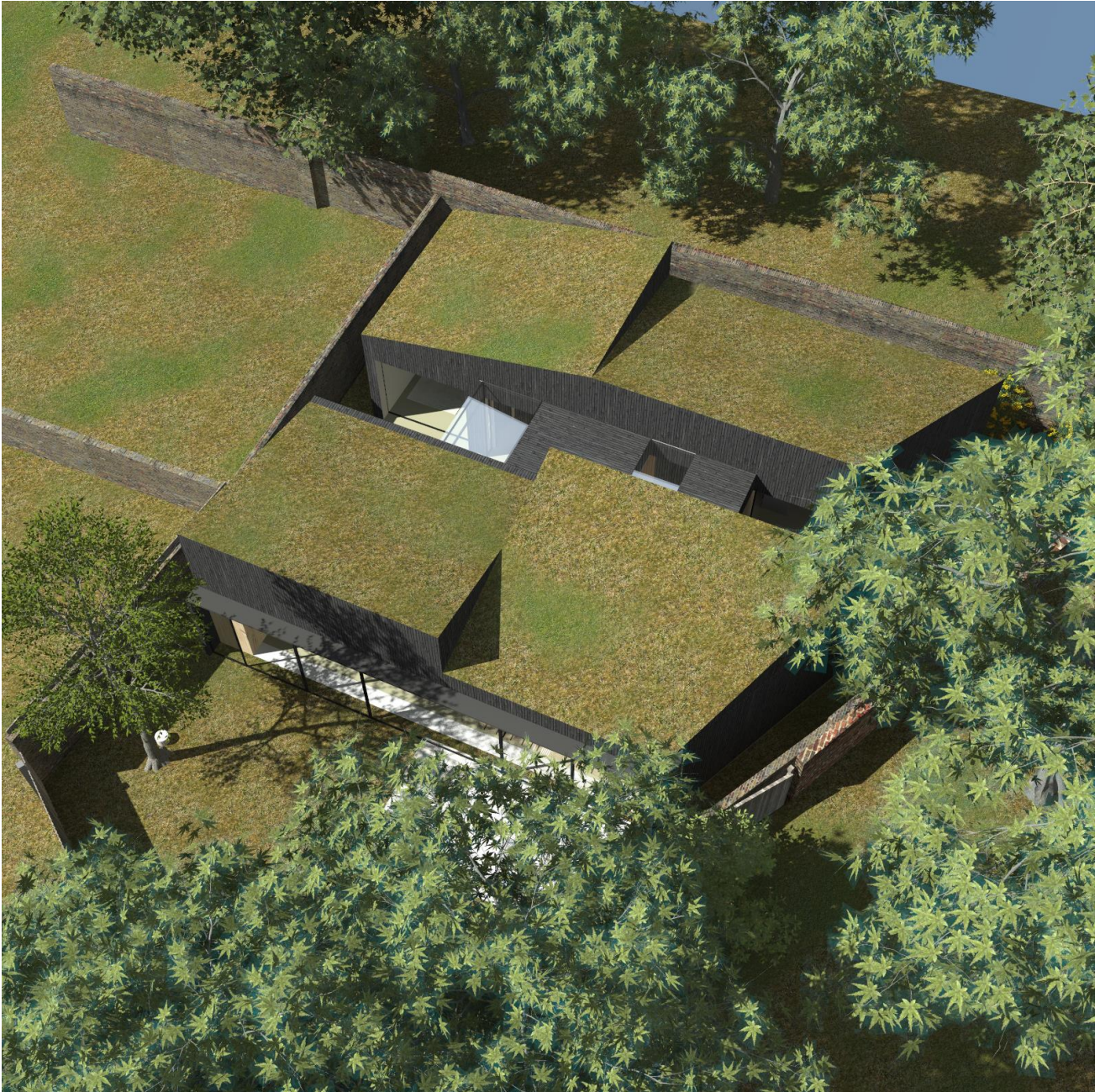
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DESIGN AND ACCESS STATEMENT

Project ref.: 0087

Client: Cara and Stuart Horwich

Site: Grid reference : X (Easting) 527385 , Y (Northing) 184761

Proposed Development in Brief

The enclosed full planning application relates to the following works:

- Demolition of existing art studio and garden shed
- Proposed new *single-storey detached house*
- Removal of Trees, *Refer to Arboricultural report*

Enclosed documents:

- Architectural Drawings: Existing, Proposed, Details
- Design Statement
- Arboriculture Report
- Sustainability Report with attachments
- Construction Management plan Draft
- CIL FORM
- Heritage Report

1. APPLICATION SITE

Currently the Site is occupied by an art studio of **GIA 66 sqm** surrounded by a **290 sqm** private garden.

The existing site is a very substantial plot of land behind Belsize Grove, Primrose Gardens and Belsize Park Gardens, currently occupied by a large timber building, a former artist's studio, and a generous garden.

The site has access from Primrose Gardens.

The existing building measures 10,90 m in length, 7,60 m in width, and 4,10m in height.

It contains a big open plan space with a kitchen, shower and cloak room, and a separate room used to store artworks.

The studio has two big skylights and full height patio doors facing the south east side of the garden.

The garden is very generous in proportion to the structure and surrounded by neighbours' gardens, and it has a footprint of **290sqm**.

A small garden shed is located on the North-west side of the garden.

The site is set on a gentle slope making around 0,70 meter of difference between the highest and lowest point, as visible from section 02.

The site presents a waste system for foul water and rain water.

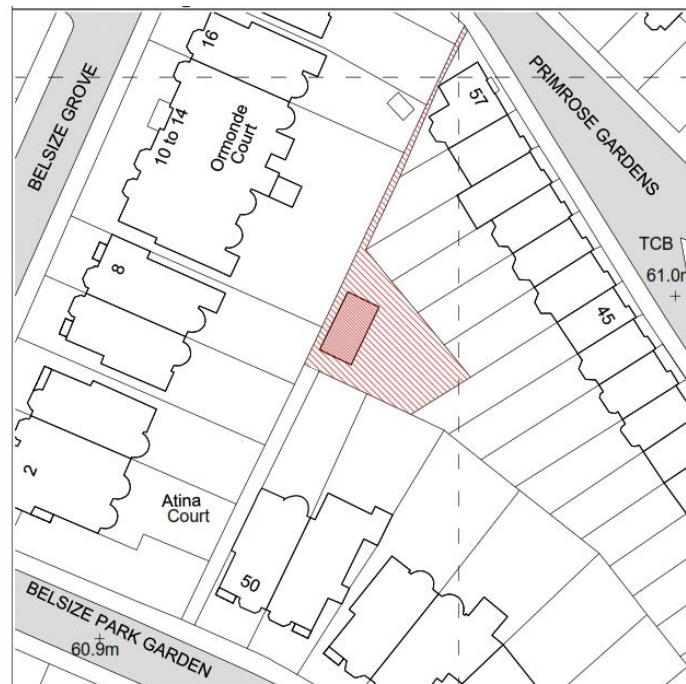




Photo of the existing art studio



Photo of the existing garden



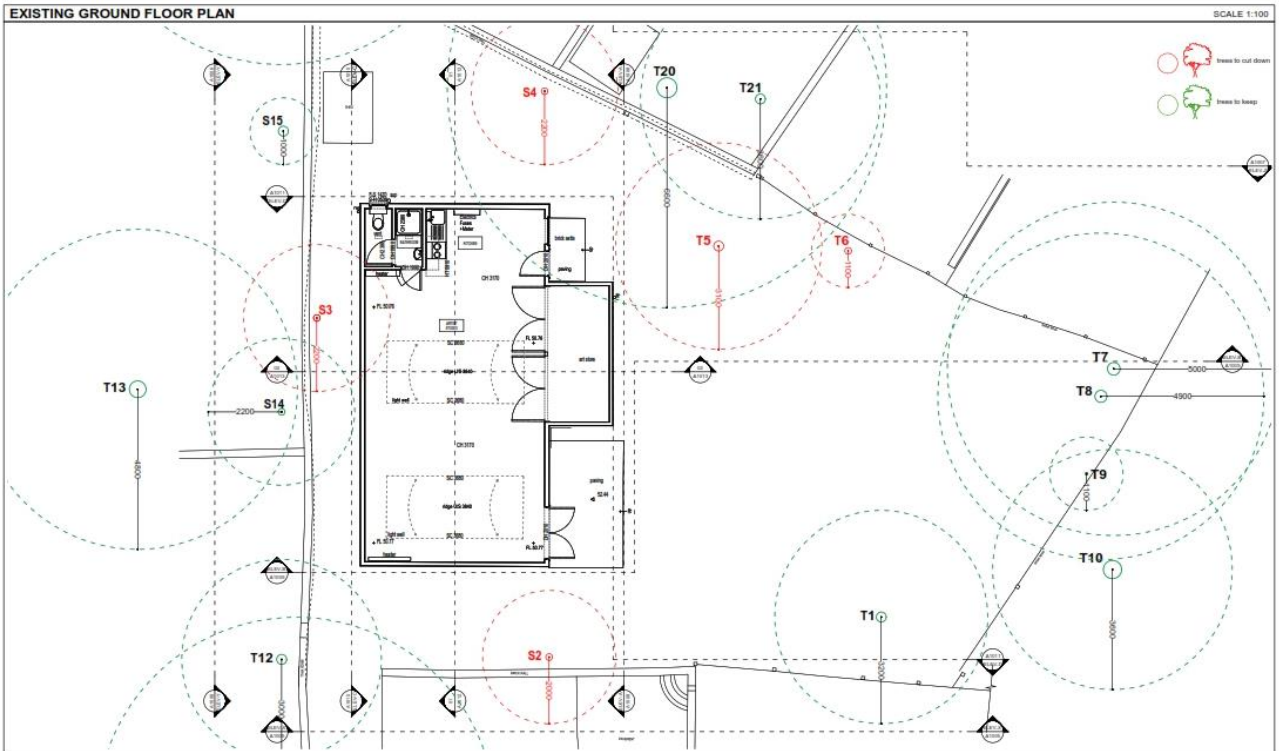
Photo of the existing art studio patio doors



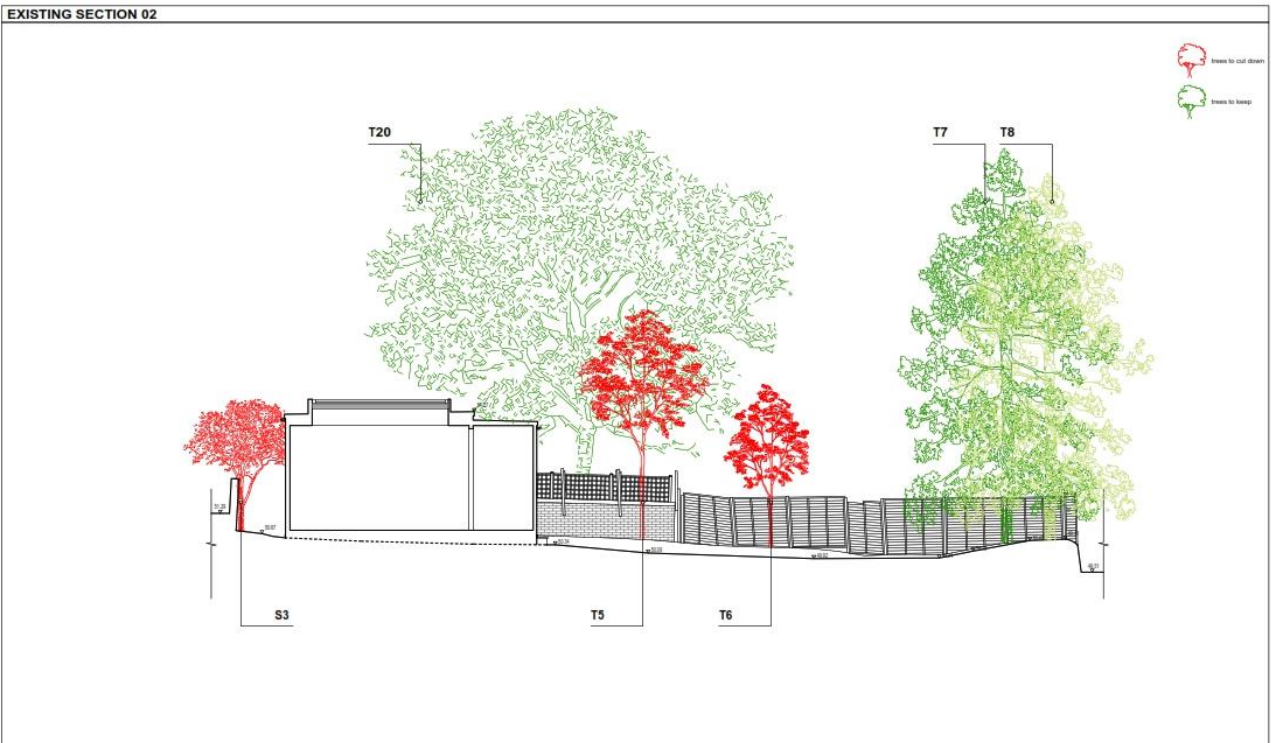
Photo of the internal existing art studio



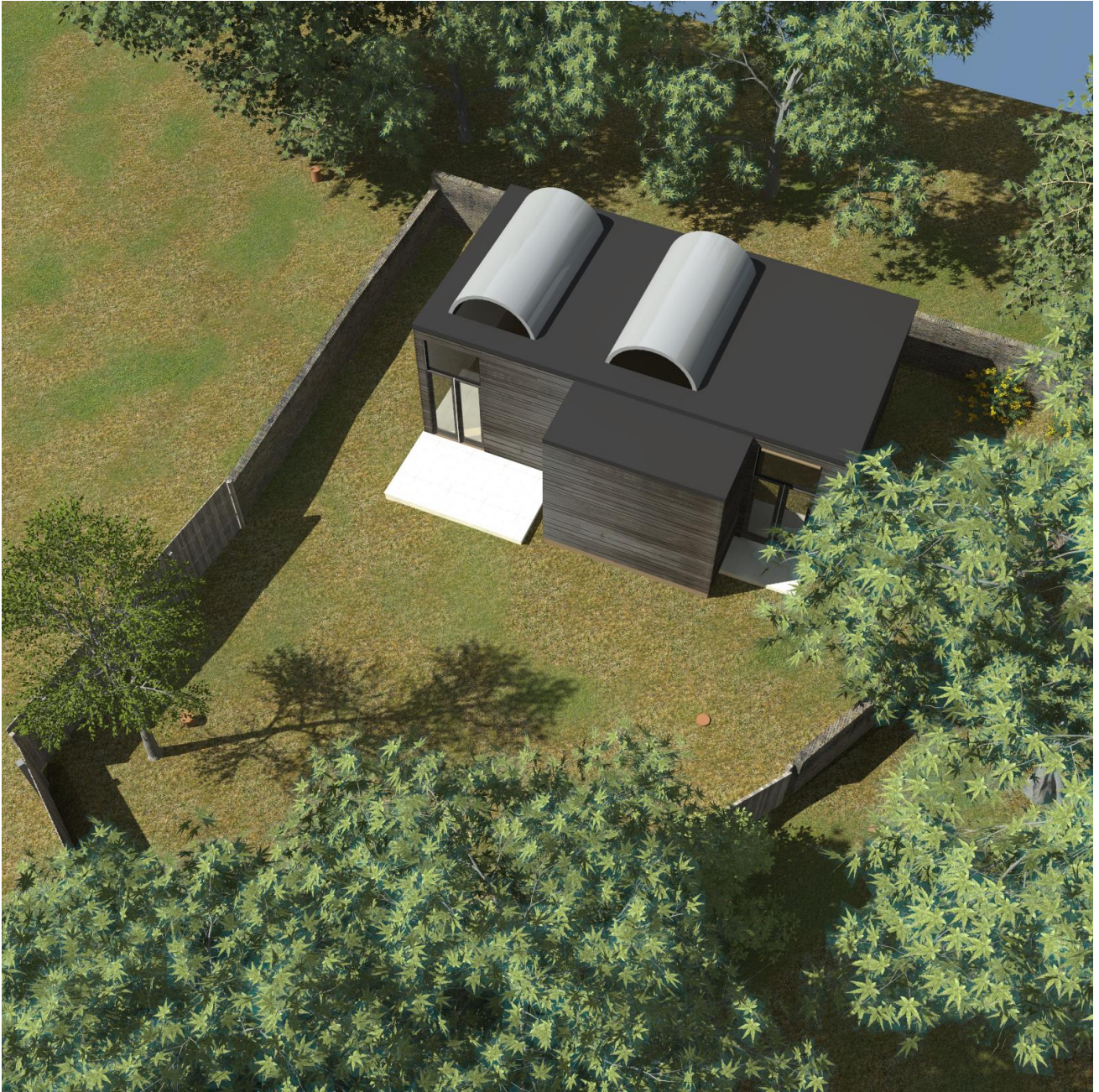
Photo of the existing garden shed



Existing plan of the site



Existing long section 02



Bird's eye view of the site with the existing studio - Computer generated image



Existing South east elevation towards the garden - Computer generated image



Existing Long section - Computer generated image

2. PROPOSED

The design proposal is to replace the existing studio with a new single story detached house of **GIA of 140 sqm** surrounded by a dense vegetation.

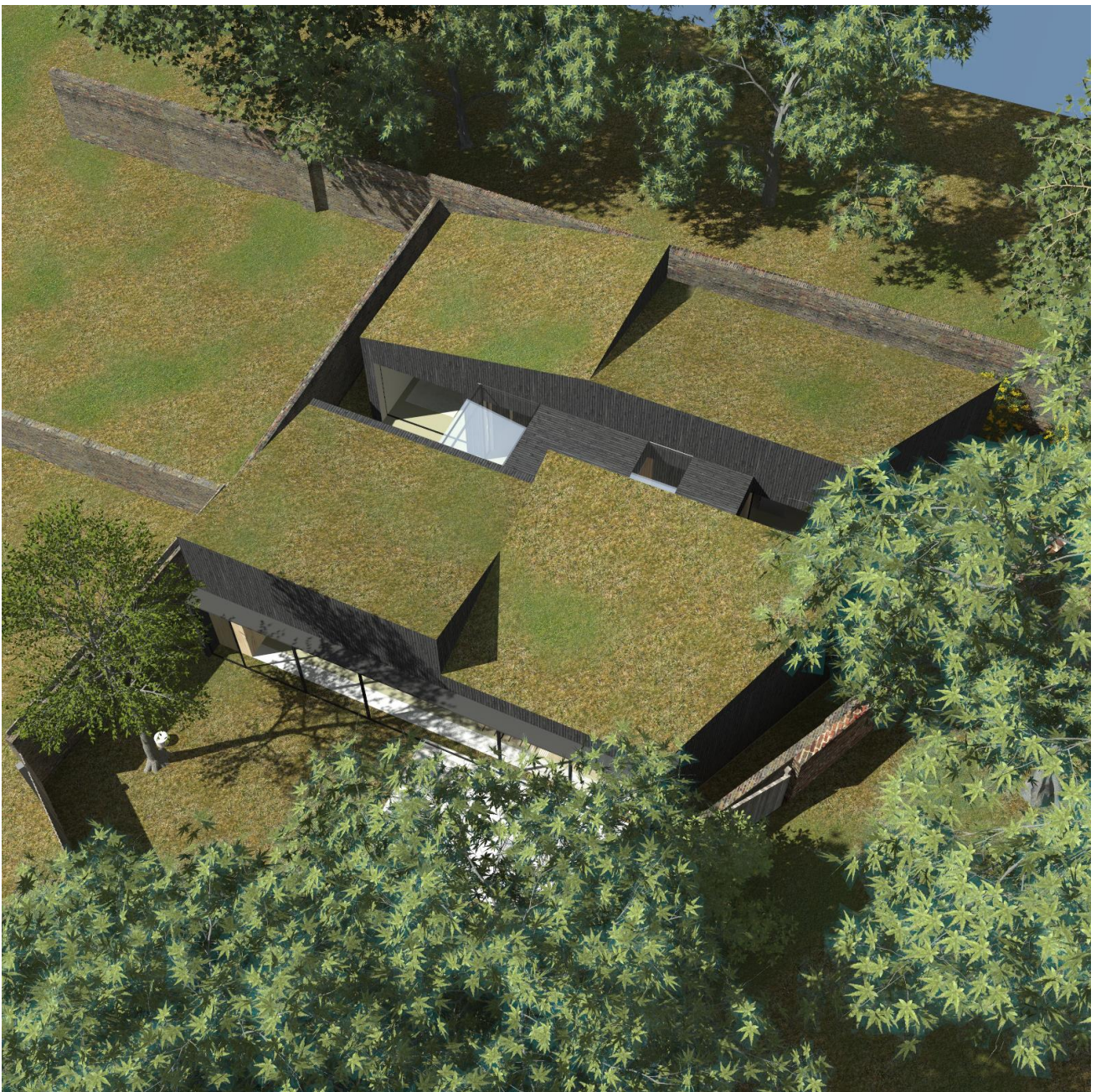
The living accommodation is proposed at the south-east pavilion, and all bedrooms are located in the north-west.

The proposal is for a

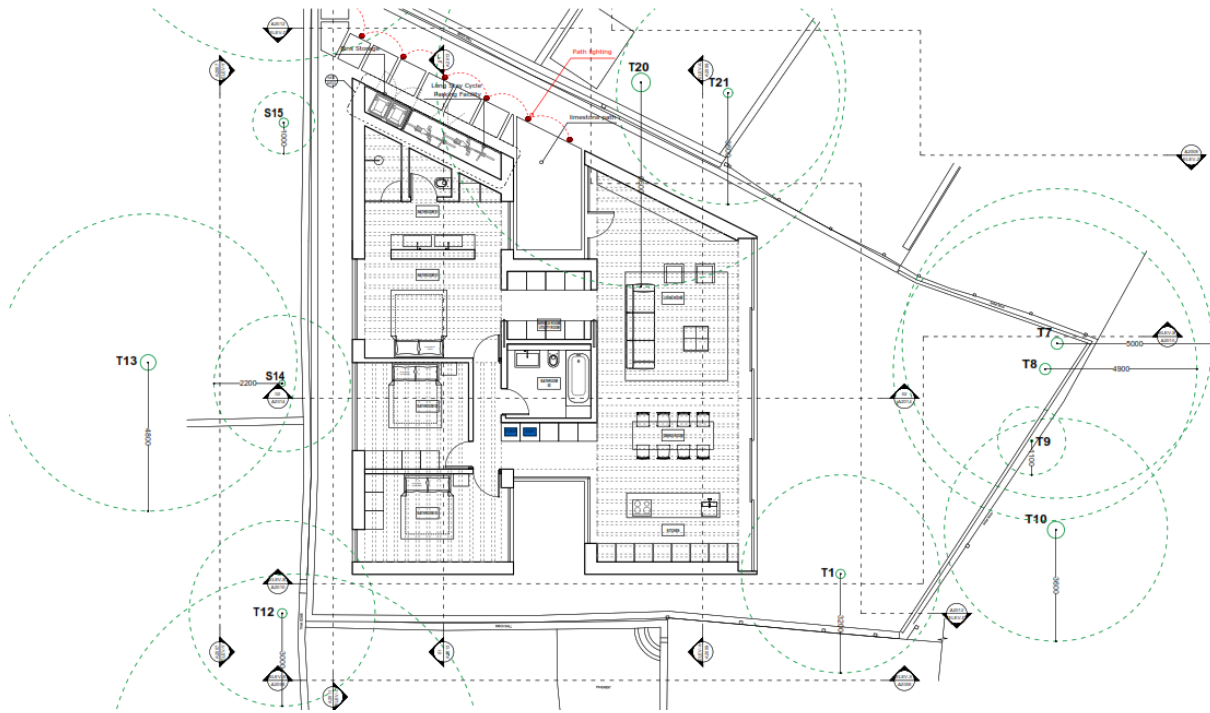
SIZE: The proposed house is smaller in height compared to the existing studio to reduce the visual impact

from the surrounding garden.

MASSING: The house is designed to appear as a series of garden pavilions broken up into small volumes connected with a glass link.



Bird's eye view of the site with the proposed scheme



Proposed ground floor plan



Proposed roof and garden plan



Proposed South west elevation - Computer generated image



Proposed South east elevation towards the garden - Computer generated image



Proposed living area - Computer generated image



Proposed kitchen area - Computer generated image



DESIGN REFERENCE: The proposed house has a series of sloped roofs covered with a very dense vegetation to be perceived as part of the surrounding gardens.

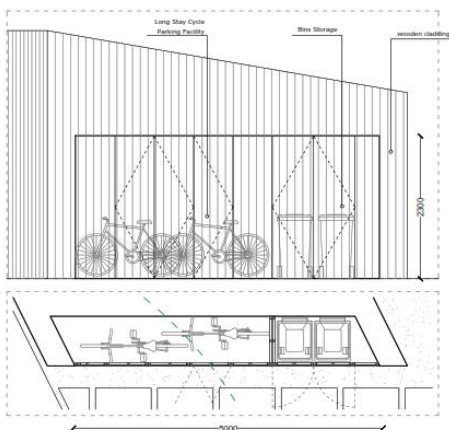
ORGANIC: The proposed volumetric composition is generated by the adaptation of the building to the site boundaries resulting in a very organic form in line with the character of the site.

MATERIALS: To achieve a very lightweight appearance, as a reminiscence of the artist's studio, very large portions of the walls are glazed or clad with black stained thermal ash timber.

CYCLE PARKING :

Policy T1 of the Local Plan promotes sustainable transport by prioritising walking, cycling and public transport in the borough. The policy seeks to ensure that development provides for accessible, secure cycle parking facilities exceeding minimum standards outlined within the London Plan and the Council's design guidance. The London Plan requires 1x long-stay cycle parking space per studio or 1-bed unit and 2x long-stay cycle parking spaces for all other types of dwelling.

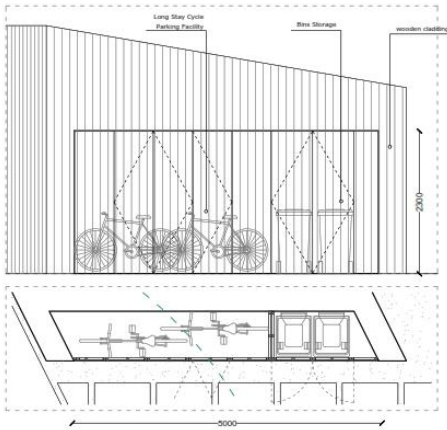
2 Long stay Cycle parking spaces have been allowed and built into the building envelope



WASTE AND RECYCLING :

The Council is seeking to make Camden a low waste borough. Policy CC5 of the Local Plan aims to reduce the amount of waste produced in the borough and increase recycling and the re-use of materials and it seeks to ensure that developments include facilities for the storage and collection of waste and recycling.

Details of waste storage has been allowed into the building envelope



EXTERNAL LIGHTING PLAN :

An external lighting plan has been provided.

Low level path lights have been proposed for the entrance path and a minor number of spike light into the garden area.

Refer to plans for more details

Path lighting



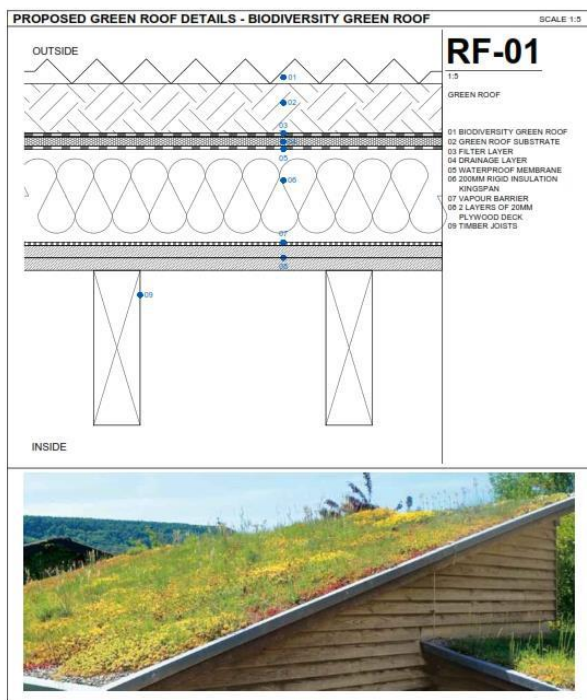
NATURE CONSERVATION AND BIODIVERSITY

The Council has a statutory duty to consider the conservation, protection and enhancement of biodiversity when determining a planning application. Policy A3 of the Local Plan aims to support the London Biodiversity Strategy and the Camden Biodiversity Action Plan (BAP) by ensuring that Camden's growth is accompanied by a significant enhancement in the borough's biodiversity. The policy expects developments to incorporate trees and vegetation wherever possible. The policy notes that the Council will assess developments against their ability to realise benefits for biodiversity through the layout, design and materials used in the built structure and landscaping elements of a proposed development, proportionate to the scale of development proposed.

A biodiversity green roof is proposed to optimize the insulation and the appearance of the building and a very biodiverse landscape will keep the character of the site.

Artificial nests are also provided in different locations.

Refer to Arboriculture report and proposed landscape plan for more details.



Sustainability

Building Materials and methods: All building materials will be sustainably sourced according to their low carbon footprint.

A minimum of concrete materials will be used and the main envelope will be made of lightweight timber construction.

Insulation: The building will be insulated over the current standards to reduce the carbon footprint of the building.

Triple glazing windows are proposed to all glazed areas.

A use of heat pump system is proposed as main source of heat.

A rain water recovery system will be used to optimized water consumption.

Refer to The Sustainability report

3. PLANNING POLICY

Land use / the principle of development

Extracts from the London Plan 2021:

Policy D03

A. All development must make the best use of land by following a design-led approach that optimises the capacity of sites, including site allocations.

D. 12) Development proposals should be of high quality, with architecture that pays attention to detail, and gives thorough consideration to the practicality of use, flexibility, safety and building lifespan through appropriate construction methods and the use of attractive, robust materials which weather and mature well

E. 3.31 For London to accommodate the growth identified in this Plan in an inclusive and responsible way every new development needs to make the most efficient use of land by optimising site capacity. This means ensuring the development's form is the most appropriate for the site and land uses meet identified needs. The optimum capacity for a site does not mean the maximum capacity; it may be that a lower density development – such as gypsy and traveller pitches – is the optimum development for the site.

The proposed scheme would be a great opportunity to add a new residential unit into what is currently an unused and abandoned site, developing a sense of safety for the surrounding community, in fact ensure good natural surveillance.

A very high standard of design, details and sustainability is proposed for the new build house and the external landscape.

To ensure the high quality and housing standards, the new development has been designed with a comfortable and functional shape, balancing the proportion of new build and green area.

The proposed volumetric composition is generated by the adaptation of the building to the site boundaries, to result as an organic form in line with the character of the site.

In order to provide sufficient daylight and sunlight to the surrounding housing and minimising overshadowing, the new build is proposed lower in height compared to the existing building.

Heritage and design

Extracts from the London Plan 2021:

Policy HC1

C. Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

To guarantee the respect of the local context and the character of the site, it has been taking in consideration the green as the principal aspect of this area. The proposed design has been shaped by the site and the natural surroundings, also including the vegetation over the new roof to minimize the visual impact of the new building.

To achieve a very lightweight appearance, as a reminiscence of the existing art studio, part of the external walls is clad with thermally treated ash timber.
Refer to Heritage report for more details

Trees and landscaping

Extracts from the London Plan 2021:

Policy G7

C. Development proposals should ensure that, wherever possible, existing trees of value are retained. If planning permission is granted that necessitates the removal of trees there should be adequate replacement based on the existing value of the benefits of the trees removed, determined by, for example, i-tree or CAVAT or another appropriate valuation system. The planting of additional trees should generally be included in new developments – particularly large-canopied species which provide a wider range of benefits because of the larger surface area of their canopy.

The new proposed design considers the existing vegetation and trees as fundamental part of the environment. A tree survey has been done in order to retain and protect the historic trees and vegetation considered to have more impact for the environment.

The landscape project works together with the architectural design and includes new planting in the area to ensure smooth transition between hard and soft landscapes.

The proposed house is topped of sloped green roofs make with very dense vegetation to be perceived as part of the surrounding gardens.

Refer to Heritage report for more details

Nature conservation and biodiversity

Extracts from the London Plan 2021:

Policy G6

B. Boroughs, in developing Development Plans, should:

3) support the protection and conservation of priority species and habitats that sit outside the SINC network, and promote opportunities for enhancing them using Biodiversity Action Plans

4) seek opportunities to create other habitats, or features such as artificial nest sites, that are of particular relevance and benefit in an urban context

The new architectural and landscape design is finalized to the protection and development of the biodiversity. In fact, to minimise the overall spatial impact and mitigate it by improving the quality and the management of the site, it is proposed a new living roof and an external wood cladding, different plantations, comprehensive of living walls, and also, artificial nest sites as bird and bat boxes carefully placed in the area.

The biodiversity green roof is proposed to optimize the insulation and the appearance of the building, and a very biodiverse landscape will keep the character of the site.

Some artificial nests site will be provided in different locations of the site.

Energy and sustainability

Extracts from the London Plan 2021:

Policy D6

- C. *Qualitative aspects of a development are key to ensuring sustainable housing. Table 3.2 sets out key qualitative aspects which should be addressed in the design of housing developments.*

The design of development should provide sufficient daylight and sunlight to new and surrounding housing that is appropriate for its context, whilst avoiding overheating, minimising overshadowing and maximising the usability of outside amenity space.

All building materials would be sustainably sourced according to their low carbon footprint.

A minimum of concrete materials would be used, and the main envelope will be made of lightweight timber construction.

The building would be insulated over the current standards to reduce the carbon footprint of the building. Triple glazing windows are proposed to all glazed areas. Also, the windows height optimizes the exposure to sunlight and ventilation of all rooms.

A use of heat pump system is proposed as main source of heat.

A rain water recovery system is preferred to optimized water consumption.

Refer to sustainability report for more details

Quality of residential accommodation

Extracts from the London Plan 2021:

Policy D6

- A. *Housing development should be of high quality design and provide adequately-sized rooms (see Table 3.1) with comfortable and functional layouts which are fit for purpose and meet the needs of Londoners without differentiating between tenures.*

Private internal space

1) *Dwellings must provide at least the gross internal floor area and built-in storage area set out in Table 3.1.*

2) *A dwelling with two or more bedspaces must have at least one double (twin) bedroom that is at least 2.75m wide. Every other additional double (or twin) bedroom must be at least 2.55m wide.*

3) *A one bedspace single bedroom must have a floor area of at least 7.5 sq.m and be at least 2.15m wide.*

4) *A two bedspace double (or twin) bedroom must have a floor area of at least 11.5 sq.m.*

8) *The minimum floor to ceiling height must be 2.5m for at least 75 per cent of the Gross Internal Area of each dwelling.*

The new dwelling is proposed within the height of the former art studio, it is lower in terms of the maximum height reached by the pitched roofs, in order to reduce the built visual impact from the surrounding gardens.

The proposed development is taking into consideration all the current standard for rooms size and functional layouts.

The new 162 sqm footprint building provides three bedrooms, to accommodate a maximum of 6 people in total. All bedrooms are more the 3 meters wide, and the each GIAs are more the 11,50sqm. These sizes are over the minimum standards required of internal space for new dwellings.

The house is designed as two separate volumes that accommodated living area and sleeping area, that can be closed to isolate the two areas.

The two volumes are connected to each other in the middle by a smaller and lower volume. This accommodates the bathroom, service room, storage, and the hallway that connects living and sleeping areas.

The height of every room goes from 2,30 m to 3,10m, and depends on the slopes of the roofs above, but more of 75 per cent of the GIA is over 2,50m high.

Storages are located inside and outside the house.

Transport

Extracts from the London Plan 2021:

Policy T5 Cycling

- A. Development Plans and development proposals should help remove barriers to cycling and create a healthy environment in which people choose to cycle.*
- C. Development Plans requiring more generous provision of cycle parking based on local evidence will be supported.*

To promote and facilitate the use of the cycles, the house has a cycle parking storage, accessible from the outside, and directly connected to the path that reach the site entrance.

Impact on neighbouring land uses

The new building would be lower in height than the existing studio that it would replace, and also the windows would be below the level of the boundary walls, to avoid loss of sunlight or daylight or overshadowing to neighbouring properties.

Extracts from the London Plan 2021:

Policy D7

3.7. 5 As set out in Approved Document M of the Building Regulations, Volume 1: Dwellings, to comply with requirements M4(2) or M4(3), step-free access into the dwelling must be provided.

PART M

The proposed house will meet Requirement m4(2). Within the curtilage of the dwelling it is possible to approach and gain step-free access to the dwelling and to any associated communal facilities intended for the occupants to use.

There is a step free access to the wc and other accommodations.

Waste and recycling

Extracts from the London Plan 2021:

Policy D6

E. Housing should be designed with adequate and easily accessible storage space that supports the separate collection of dry recyclables (for at least card, paper, mixed plastics, metals, glass) and food waste as well as residual waste.

The recycling bins area is appropriately integrated within building.

The collection of dry recyclables will be from Primrose Gardens access.

DESIGN REFERENCES:



Sample of building perceived as landscape

Sample of building perceived as landscape



LBMVarchitects - Completed Projects in NW3

Lyndhurst Gardens NW3 5NR



Lawn road NW3 2XB



Buckland Crescent NW3 5DJ

