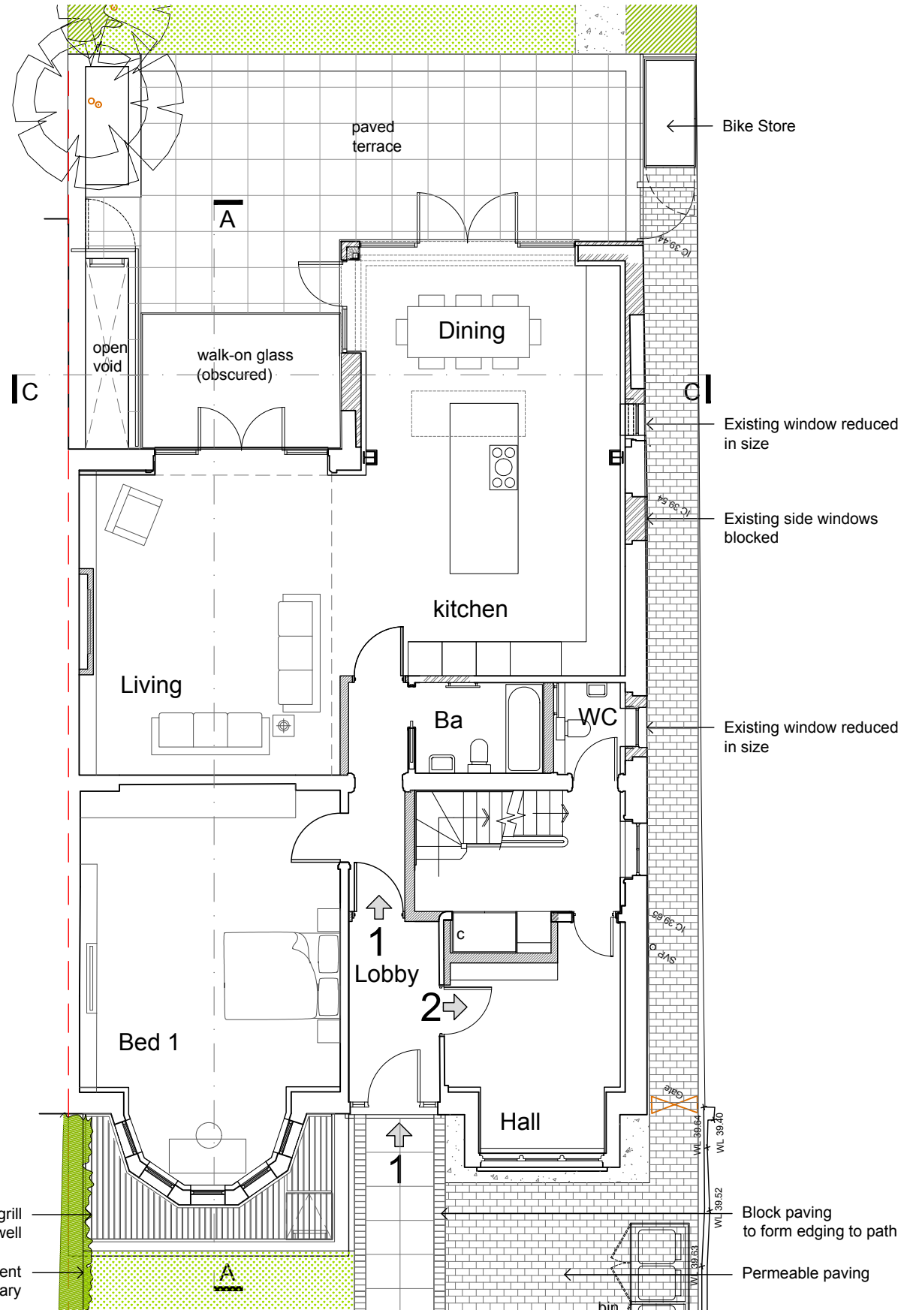
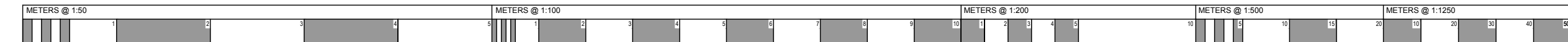


BASEMENT PLAN



GROUND FLOOR PLAN

- NOTES:
- 1. This drawing remains the copyright of Hudson and Madigan Ltd. and shall not be copied in any format without written consent. The issue of the drawing in digital format only entitles the recipient to use the information visible in paperspace at the time of issue for the purposes of the named project only.
 - 2. All dimensions to be checked on site by those undertaking the work.
 - 3. Where reference is given to a written specification that shall take precedence over the drawing.
 - 4. Where two or more drawings illustrate the same element, the larger scale drawing takes precedence.
 - 5. Later drawing revisions and/or issue dates always take precedence over earlier versions.
 - 6. Elements that are subject to detailed design by others are purely indicative and you should make reference to the relevant information provided by those designers which will at all times take precedence over this drawing.
 - 7. All works are to be carried out to the satisfaction of Building Control and in accordance with current British Standards.
 - 8. Steel work design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 - 9. Full M&E design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 - 10. Flues in walls to be surveyed prior to installation of beams.

No.	Date	Description	Drawn	Chk'd
P1	11/06/22	Paving & landscape altered, bike shed added	GM	-

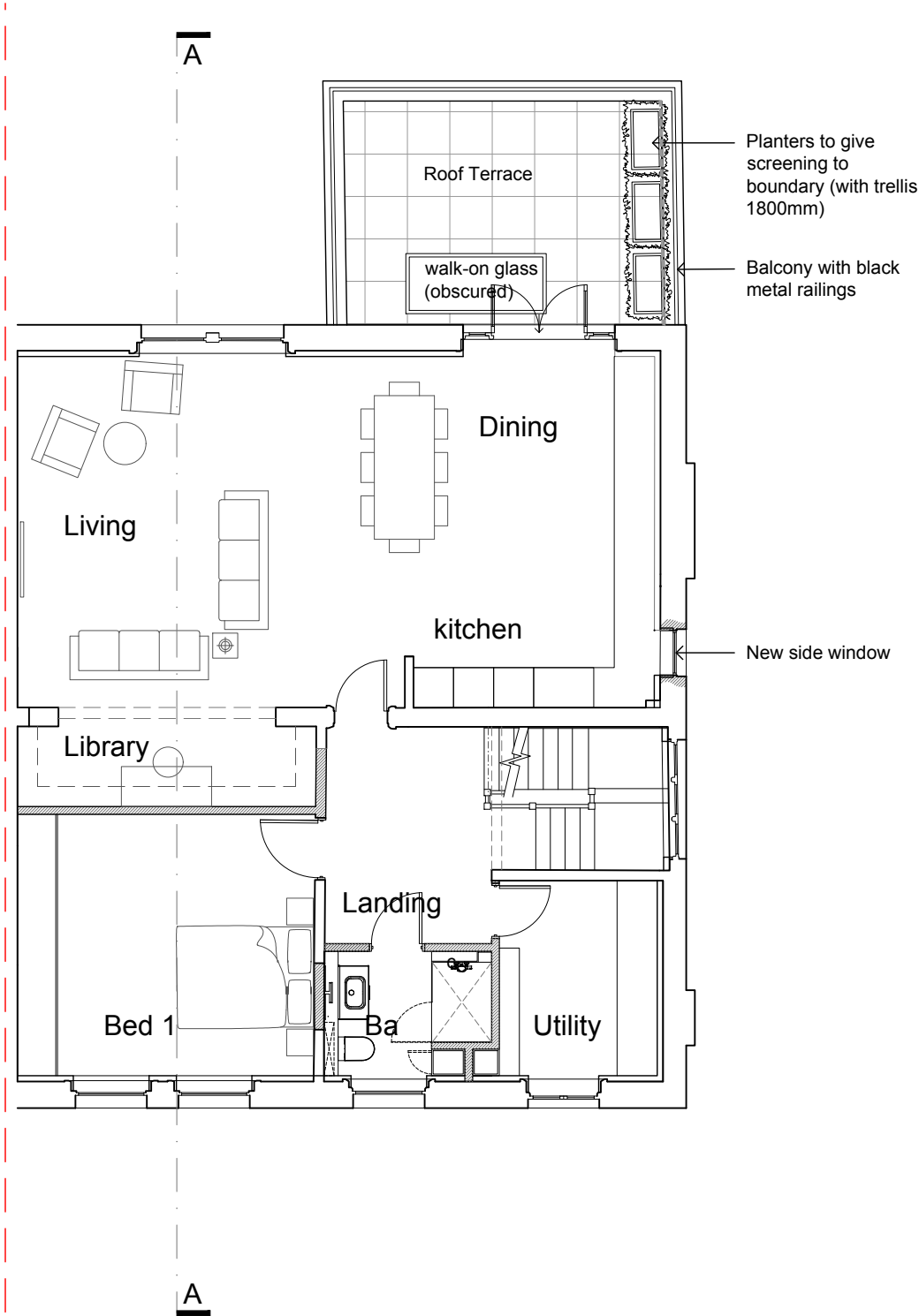
Hudson+Madigan

PROJECT TITLE:
52 Aberdare Gardens, London NW6 3QD

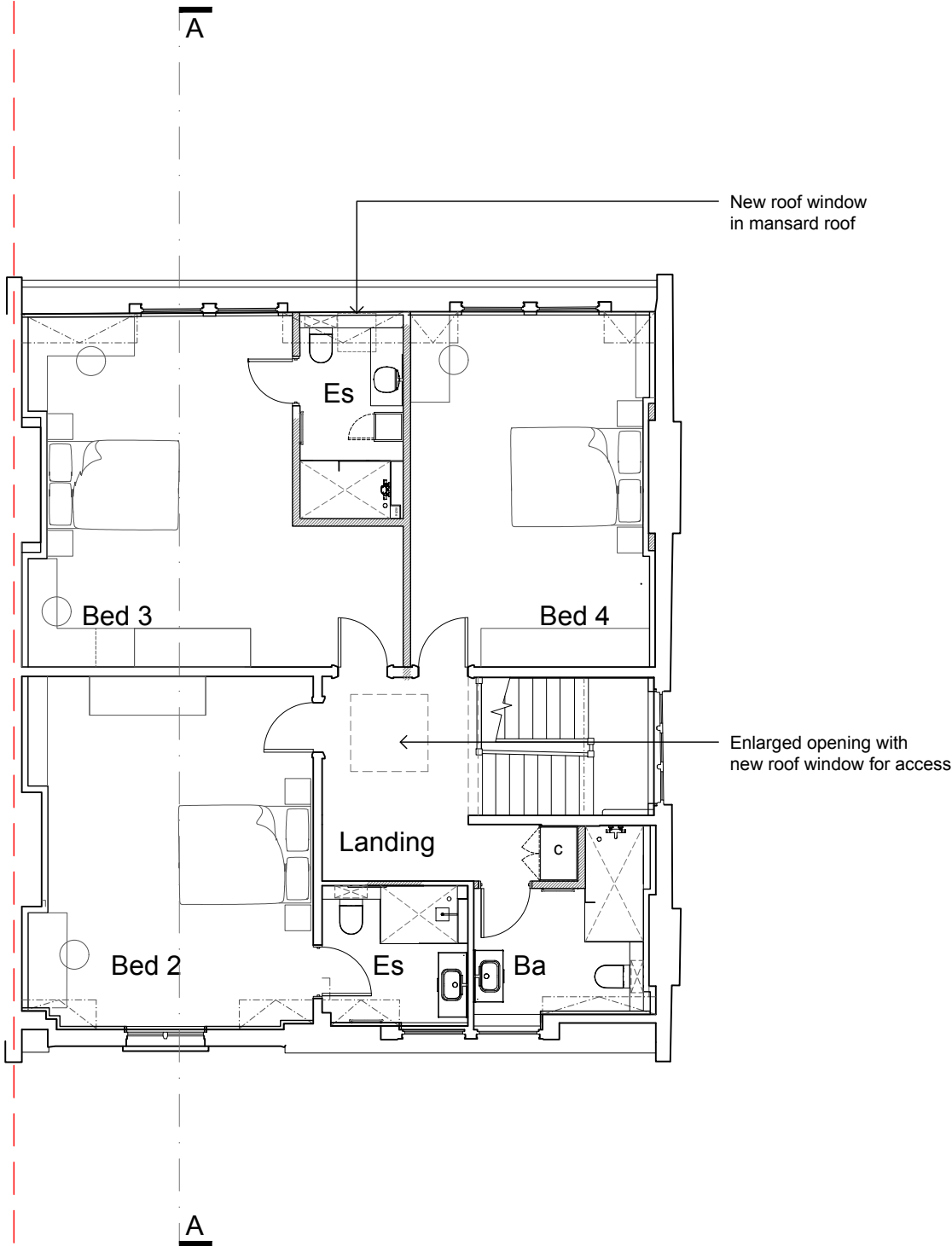
DRAWING TITLE:
Basement & Ground Floor Plan as Proposed

DRAWING No:	REVISION:
P02	P1
DATE:	STATUS:
06.09.21	Planning
JOB No:	SCALE:
HM120	1:100 @ A3
DRAWN:	CHECKED:
GM	-

Hudson Madigan Ltd
First Floor, 85 Great Portland Street, W1W 7LT
T: 020 7193 67250 E: studio@hudsonmadigan.com
Company No: 10096617 Registered Address: 12a Marlborough Place, Brighton, BN1 1WN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

- NOTES:
1. This drawing remains the copyright of Hudson and Madigan Ltd. and shall not be copied in any format without written consent. The issue of the drawing in digital format only entitles the recipient to use the information visible in paperspace at the time of issue for the purposes of the named project only.
 2. All dimensions to be checked on site by those undertaking the work.
 3. Where reference is given to a written specification that shall take precedence over the drawing.
 4. Where two or more drawings illustrate the same element, the larger scale drawing takes precedence.
 5. Later drawing revisions and/or issue dates always take precedence over earlier versions.
 6. Elements that are subject to detailed design by others are purely indicative and you should make reference to the relevant information provided by those designers which will at all times take precedence over this drawing.
 7. All works are to be carried out to the satisfaction of Building Control and in accordance with current British Standards.
 8. Steel work design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 9. Full M&E design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 10. Flues in walls to be surveyed prior to installation of beams.

No.	Date	Description	Drawn	Chk'd
P1	11/06/22	Trellis added to roof terrace	GM	-

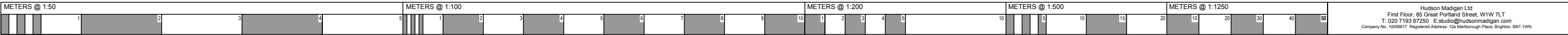
Revisions

Hudson+Madigan

PROJECT TITLE:
52 Aberdare Gardens, London NW6 3QD

DRAWING TITLE:
First & Second Floor Plan as Proposed

DRAWING No:		REVISION:	
P03		P1	
DATE:	06.09.21	STATUS:	Planning
JOB No:	HM120	SCALE:	1:100 @ A3
DRAWN:	GM	CHECKED:	-



Hudson Madigan Ltd
First Floor, 85 Great Portland Street, W1W 7LT
T: 020 7193 67250 E: studio@hudsonmadigan.com
Company No. 10096617 Registered Address: 12a Marlborough Place, Brighton, BN1 1WN

- NOTES:
1. This drawing remains the copyright of Hudson and Madigan Ltd. and shall not be copied in any format without written consent. The issue of the drawing in digital format only entitles the recipient to use the information visible in paperspace at the time of issue for the purposes of the named project only.
 2. All dimensions to be checked on site by those undertaking the work.
 3. Where reference is given to a written specification that shall take precedence over the drawing.
 4. Where two or more drawings illustrate the same element, the larger scale drawing takes precedence.
 5. Later drawing revisions and/or issue dates always take precedence over earlier versions.
 6. Elements that are subject to detailed design by others are purely indicative and you should make reference to the relevant information provided by those designers which will at all times take precedence over this drawing.
 7. All works are to be carried out to the satisfaction of Building Control and in accordance with current British Standards.
 8. Steel work design to be submitted by engineers- these takes precedence over these drawings and any discrepancies must be reported immediately.
 9. Full M&E design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 10. Flues in walls to be surveyed prior to installation of beams.



NORTH WEST ELEVATION

Hudson+Madigan

PROJECT TITLE:
52 Aberdare Gardens, London NW6 3QD

DRAWING TITLE:
North West Elevation as proposed

DRAWING No:		REVISION:	
P04		P1	
DATE:	06.09.21	STATUS:	Planning
JOB No:	HM120	SCALE:	1:100 @ A3
DRAWN:	GM	CHECKED:	-

METERS @ 1:50					METERS @ 1:100					METERS @ 1:200					METERS @ 1:500					METERS @ 1:1250					Hudson Madigan Ltd First Floor, 85 Great Portland Street, W1W 7LT T: 020 7193 67250 E: studio@hudsonmadigan.com Company No. 10096617 Registered Address: 12a Marlborough Place, Brighton, BN1 1WN
1	2	3	4	5	1	2	3	4	5	1	2	3	4	5	1	2	3	4	5	1	2	3	4	5	
6	7	8	9	10	6	7	8	9	10	6	7	8	9	10	6	7	8	9	10	6	7	8	9	10	
11	12	13	14	15	11	12	13	14	15	11	12	13	14	15	11	12	13	14	15	11	12	13	14	15	



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

- NOTES:
1. This drawing remains the copyright of Hudson and Madigan Ltd. and shall not be copied in any format without written consent. The issue of the drawing in digital format only entitles the recipient to use the information visible in paperspace at the time of issue for the purposes of the named project only.
 2. All dimensions to be checked on site by those undertaking the work.
 3. Where reference is given to a written specification that shall take precedence over the drawing.
 4. Where two or more drawings illustrate the same element, the larger scale drawing takes precedence.
 5. Later drawing revisions and/or issue dates always take precedence over earlier versions.
 6. Elements that are subject to detailed design by others are purely indicative and you should make reference to the relevant information provided by those designers which will at all times take precedence over this drawing.
 7. All works are to be carried out to the satisfaction of Building Control and in accordance with current British Standards.
 8. Steel work design to be submitted by engineers- these takes precedence over these drawings and any discrepancies must be reported immediately.
 9. Full M&E design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 10. Flues in walls to be surveyed prior to installation of beams.

No.	Date	Description	Drawn	Chkd
P1	11/06/22	Trellis & bike store added	GM	-

Revisions

Hudson+Madigan

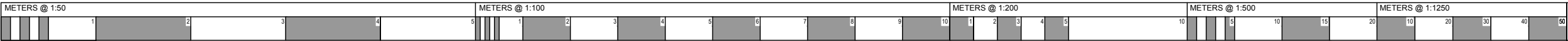
PROJECT TITLE:

52 Aberdare Gardens, London NW6 3QD

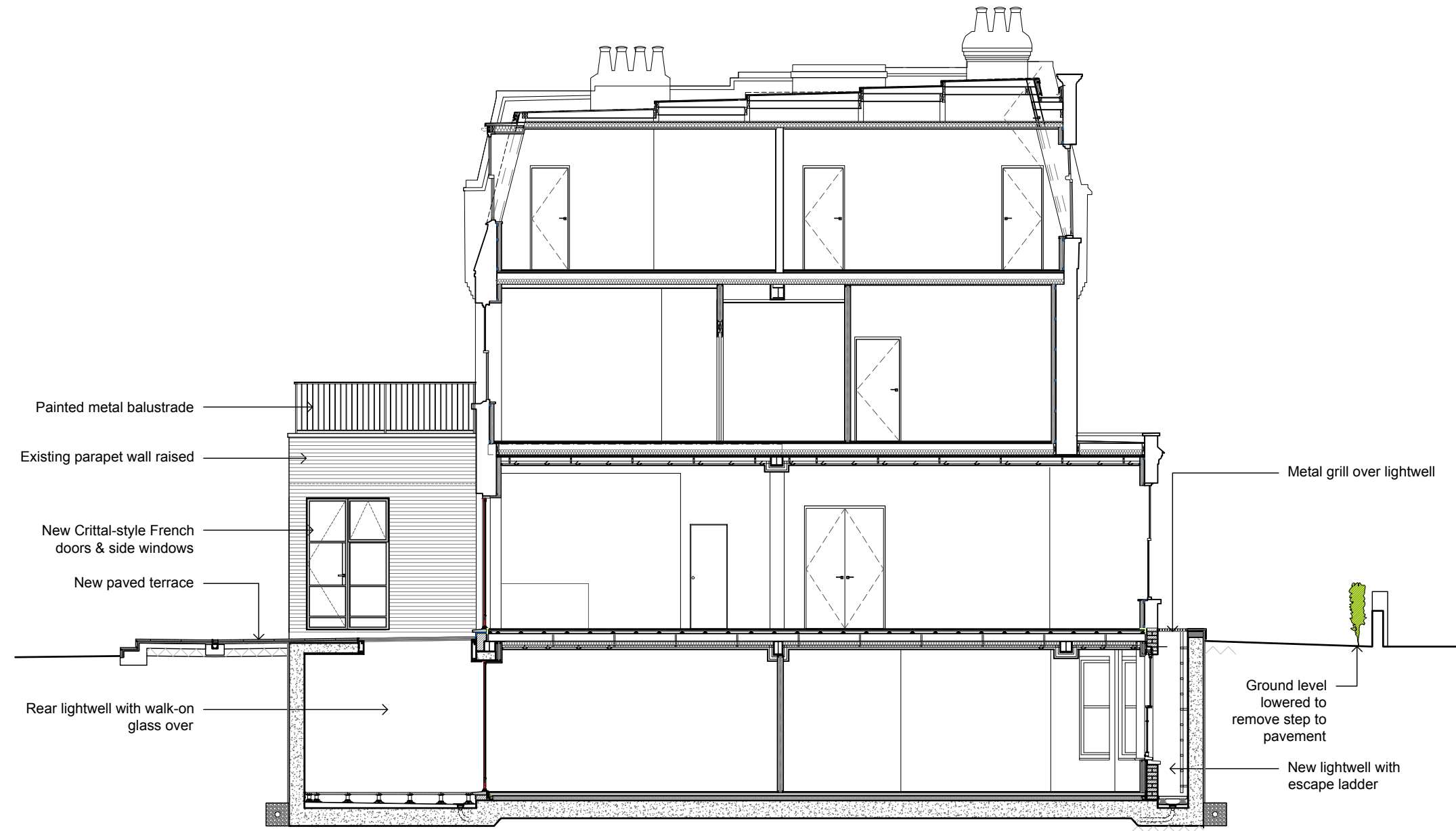
DRAWING TITLE:

South West & South East Elevations as proposed

DRAWING No:		REVISION:	
P05		P1	
DATE:	06.09.21	STATUS:	Planning
JOB No:	HM120	SCALE:	1:100 @ A3
DRAWN:	GM	CHECKED:	-



Hudson Madigan Ltd
First Floor, 85 Great Portland Street, W1W 7LT
T: 020 7193 67250 E: studio@hudsonmadigan.com
Company No. 10096617 Registered Address: 12a Marlborough Place, Brighton, BN1 1WN



SECTION CC

- NOTES:
1. This drawing remains the copyright of Hudson and Madigan Ltd. and shall not be copied in any format without written consent. The issue of the drawing in digital format only entitles the recipient to use the information visible in paperspace at the time of issue for the purposes of the named project only.
 2. All dimensions to be checked on site by those undertaking the work.
 3. Where reference is given to a written specification that shall take precedence over the drawing.
 4. Where two or more drawings illustrate the same element, the larger scale drawing takes precedence.
 5. Later drawing revisions and/or issue dates always take precedence over earlier versions.
 6. Elements that are subject to detailed design by others are purely indicative and you should make reference to the relevant information provided by those designers which will at all times take precedence over this drawing.
 7. All works are to be carried out to the satisfaction of Building Control and in accordance with current British Standards.
 8. Steel work design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 9. Full M&E design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 10. Flues in walls to be surveyed prior to installation of beams.

No.	Date	Description	Drawn	Chk'd
P1	11/06/22	Front garden altered to remove step	GM	-

Revisions

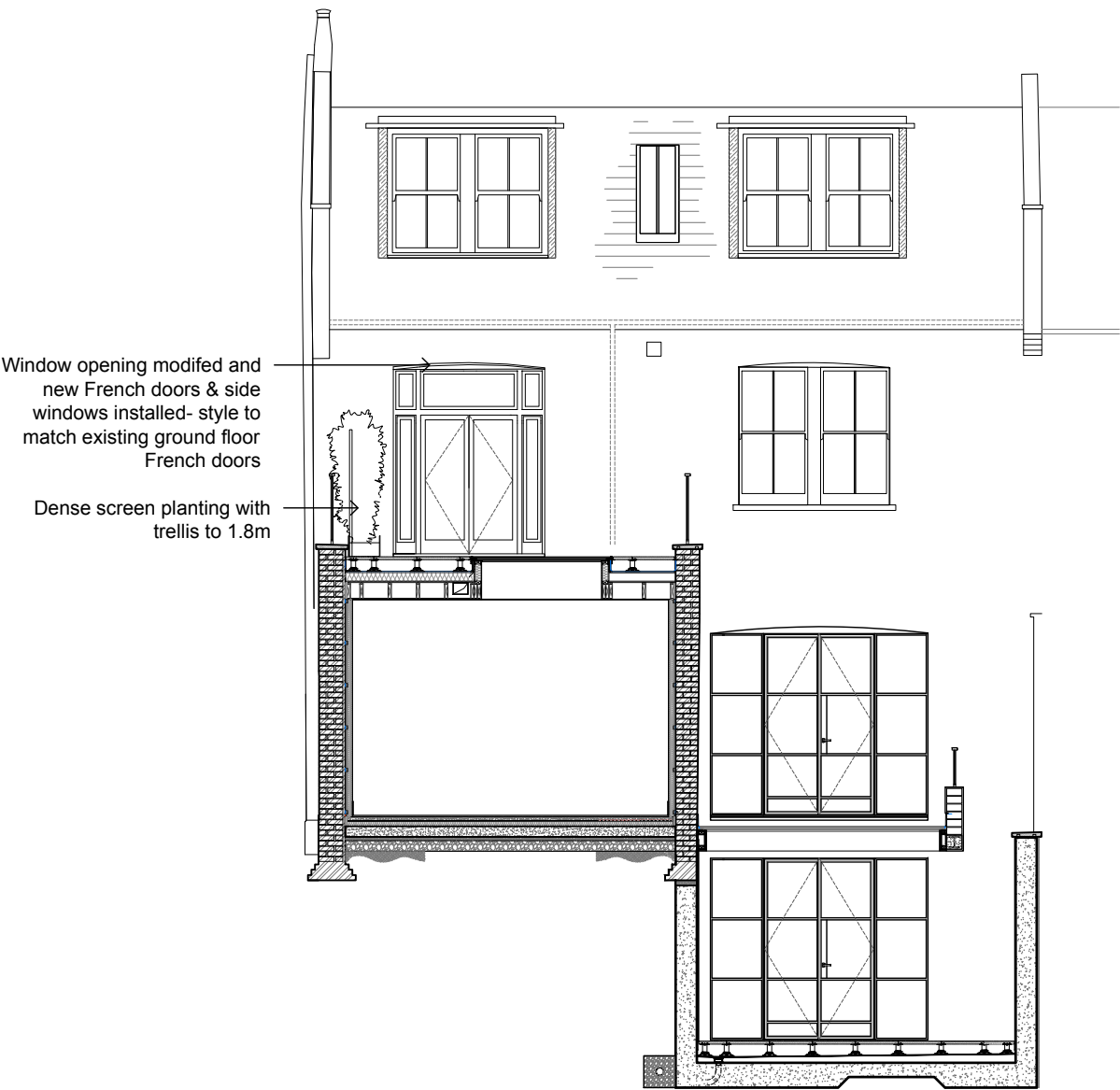
Hudson+Madigan

PROJECT TITLE:
52 Aberdare Gardens, London NW6 3QD

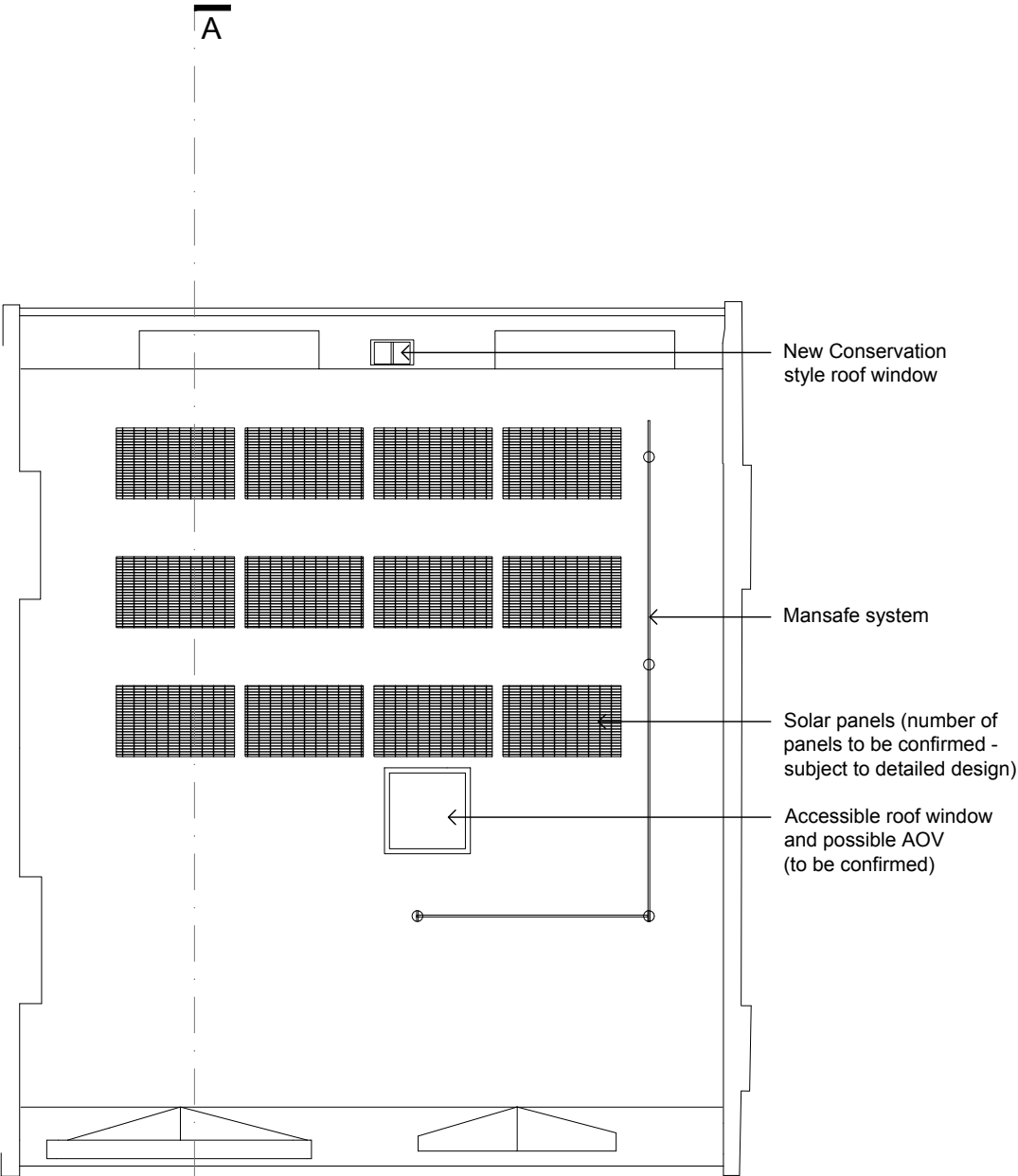
DRAWING TITLE:
Section CC as proposed

DRAWING No:	REVISION:
P06	P1
DATE:	STATUS:
06.09.21	Planning
JOB No:	SCALE:
HM120	1:100 @ A3
DRAWN:	CHECKED:
GM	-

METERS @ 1:50	METERS @ 1:100	METERS @ 1:200	METERS @ 1:500	METERS @ 1:1250	
1 2 3 4 5	1 2 3 4 5 6 7 8 9 10	1 2 3 4 5 10	1 5 10 15 20	10 20 30 40 50	Hudson Madigan Ltd First Floor, 85 Great Portland Street, W1W 7LT T: 020 7193 67250 E: studio@hudsonmadigan.com Company No. 10096617 Registered Address: 12a Marlborough Place, Brighton, BN1 1WN



SECTION CC



ROOF PLAN

- NOTES:
1. This drawing remains the copyright of Hudson and Madigan Ltd. and shall not be copied in any format without written consent. The issue of the drawing in digital format only entitles the recipient to use the information visible in paperspace at the time of issue for the purposes of the named project only.
 2. All dimensions to be checked on site by those undertaking the work.
 3. Where reference is given to a written specification that shall take precedence over the drawing.
 4. Where two or more drawings illustrate the same element, the larger scale drawing takes precedence.
 5. Later drawing revisions and/or issue dates always take precedence over earlier versions.
 6. Elements that are subject to detailed design by others are purely indicative and you should make reference to the relevant information provided by those designers which will at all times take precedence over this drawing.
 7. All works are to be carried out to the satisfaction of Building Control and in accordance with current British Standards.
 8. Steel work design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 9. Full M&E design to be submitted by engineers - these takes precedence over these drawings and any discrepancies must be reported immediately.
 10. Flues in walls to be surveyed prior to installation of beams.

No.	Date	Description	Drawn	Chkd
P1	11/06/22	Trellis added	GM	-

Revisions

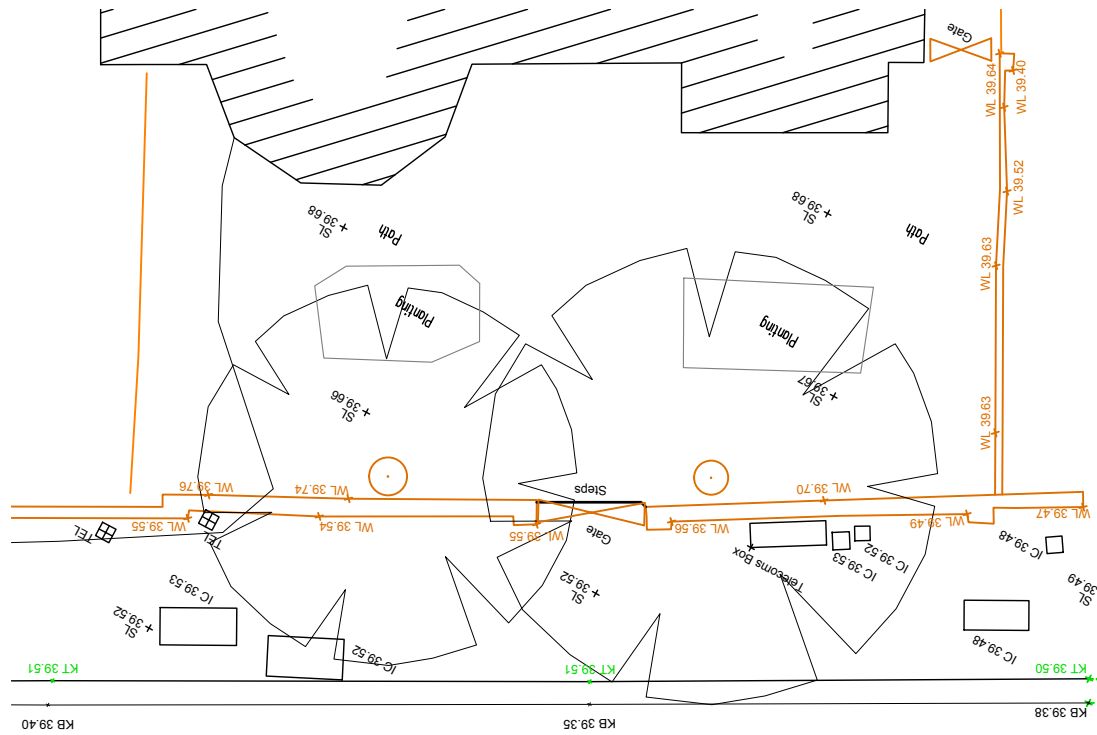
Hudson+Madigan

PROJECT TITLE:
52 Aberdare Gardens, London NW6 3QD

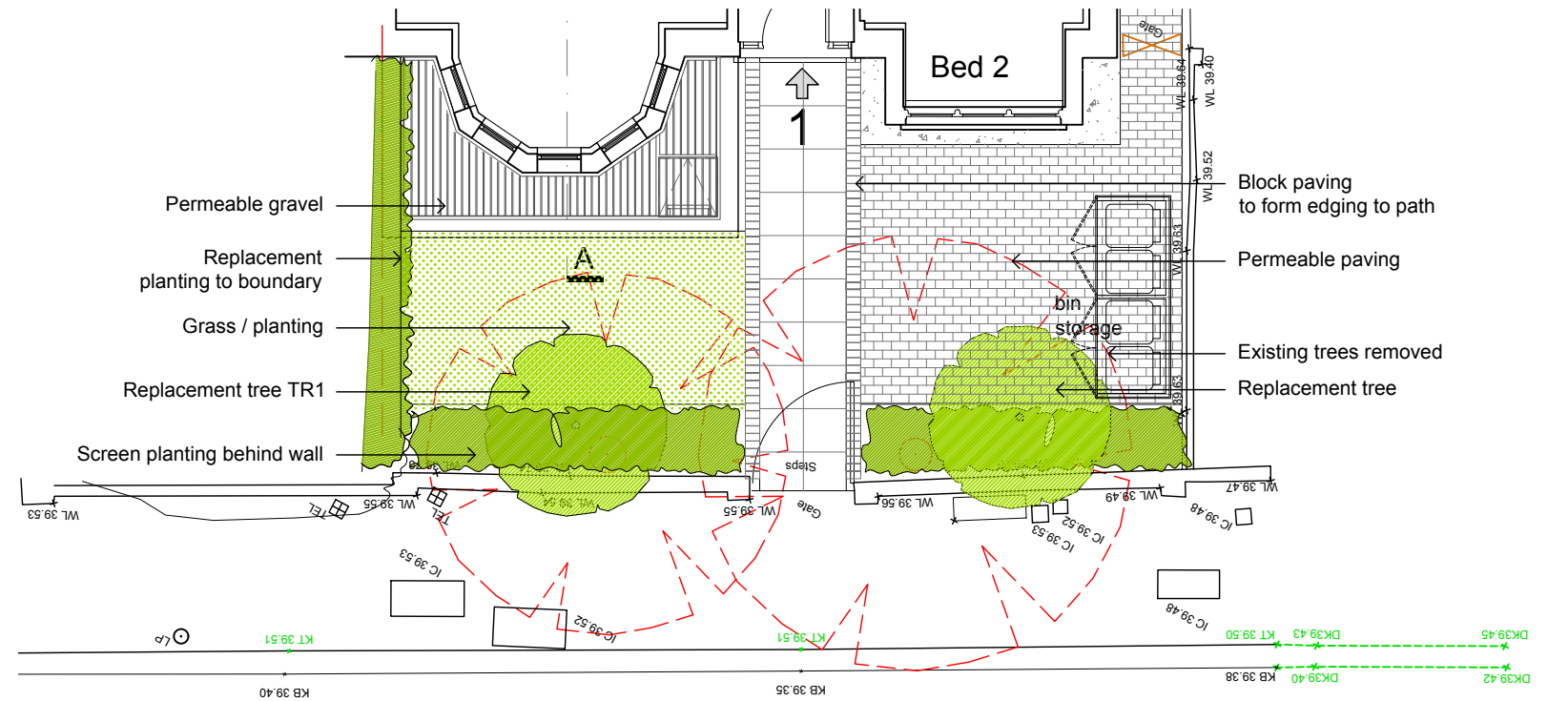
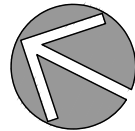
DRAWING TITLE:
Section DD & Roof Plan as proposed

DRAWING No:	REVISION:
P07	P1
DATE:	STATUS:
06.09.21	Planning
JOB No:	SCALE:
HM120	1:100 @ A3
DRAWN:	CHECKED:
GM	-

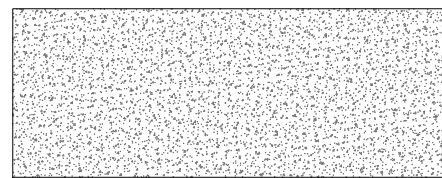
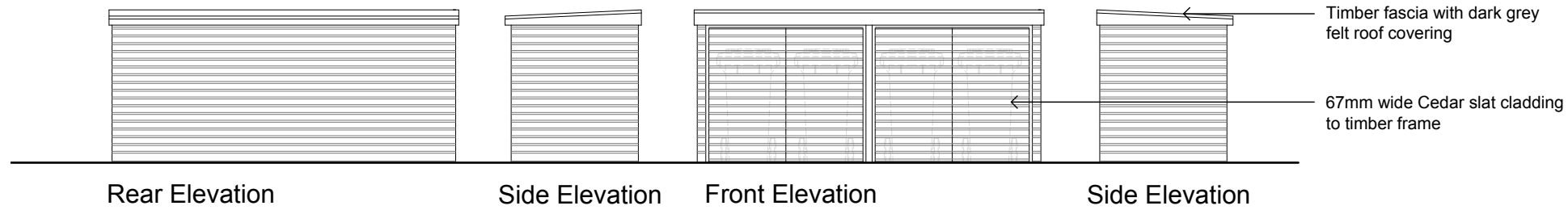
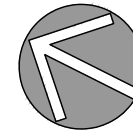
METERS @ 1:50	METERS @ 1:100	METERS @ 1:200	METERS @ 1:500	METERS @ 1:1250	
1 2 3 4	1 2 3 4 5 6 7 8 9 10	1 2 3 4 5	10 15 20	10 20 30 40 50	Hudson Madigan Ltd First Floor, 85 Great Portland Street, W1W 7LT T: 020 7193 67250 E: studio@hudsonmadigan.com Company No. 10096617 Registered Address: 12a Marlborough Place, Brighton, BN1 1WN



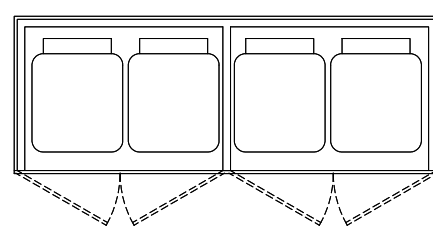
FRONT GARDEN PLAN AS EXISTING @ 1:100



FRONT GARDEN PLAN AS PROPOSED @ 1:100



Roof Plan



Floor Plan

BIN STORE AS PROPOSED @ 1:50

No.	Date	Description	Drawn	Chkd
P1	11/06/22	Paving & landscape altered, bike shed added	GM	-

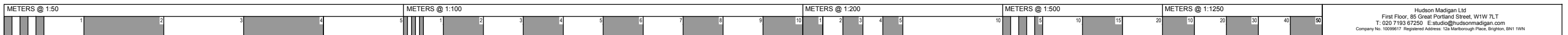
Revisions

Hudson+Madigan

PROJECT TITLE:
52 Aberdare Gardens, London NW6 3QD

DRAWING TITLE:
Front garden wall existing & Proposed

DRAWING No:	REVISION:
P08	P1
DATE:	STATUS:
06.09.21	Planning
JOB No:	SCALE:
HM120	1:50 / 1:100 @ A3
DRAWN:	CHECKED:
GM	-





KEY TO DRAWING

- Replacement tree
- Tree removed
- General planting
- Grass/lawn
- Permeable gravel
- Paving slabs
- Permeable paving

No.	Date	Description	Drawn	Chkd
P1	11/06/22	Paving & landscape altered, bike shed added	GM	-

Revisions

Hudson+Madigan

PROJECT TITLE:
52 Aberdare Gardens, London NW6 3QD

DRAWING TITLE:
Site Plan as proposed

DRAWING No: P10 REVISION: P1

DATE: 16.11.21 STATUS: Planning

JOB No: HM120 SCALE: 1:200 @ A3

DRAWN: GM CHECKED: -

Hudson Madigan Ltd
First Floor, 85 Great Portland Street, W1W 7LT
T: 020 7193 67250 E: studio@hudsonmadigan.com
Company No. 10096617 Registered Address: 12a Marlborough Place, Brighton, BN1 1WN

SITE PLAN AS PROPOSED @ 1:200

